

BEECHWOOD

78-88 BEECHWOOD AVENUE
69-93 BARRETTE STREET

MINTO COMMUNITIES

Project: 19064
Date: 2020-12-18
Issued for: REISSUED FOR REZONING + ISSUED FOR SITE PLAN CONTROL

ARCHITECTURAL DRAWING LIST

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PROJECT CONSULTANTS

ARCHITECTURAL

RAW DESIGN INC.
405-317 ADELAIDE STREET WEST
TORONTO, ON M5V 1P9
T: 416 599 9729

MECHANICAL & ELECTRICAL

SMITH & ANDERSEN
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OTTAWA, ON K1Z 1G3
T: 613 230 1186

STRUCTURAL

CUNLIFFE & ASSOCIATES
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OTTAWA, ON K1Z 8S8
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PLANNING

FOTENN
396 COOPER ST, SUITE 300
OTTAWA, ON K2P 0Z8
T: 613 730 5709

LANDSCAPE

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CIVIL

IBI GROUP
400-333 PRESTON STREET
OTTAWA, ON K1S 5N4
T: 613 225 1311

TRAFFIC

IBI GROUP
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WIND+NOISE

GRADIENT WIND
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OTTAWA, ON K0A 1L0
T: 613 836 0934

HERITAGE CONSULTANT

MTBA ASSOCIATES INC.
222 LAURIER AVENUE EAST, STUDIO 201
OTTAWA, ON K1N 7R5

ENERGY MODELLING & BUILDING CERTIFICATION CONSULTANT

EQ BUILDING PERFORMANCE
25 ADELAIDE ST EAST, SUITE 1500
TORONTO, ON M5C 3A1
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SURVEY

ANNIS O'SULLIVAN VOLLEBEKK LTD.
14 CONCOURSE GATE, SUITE 500
OTTAWA, ON K2E 7S6
T: 613 727 0850



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ISSUED RECORD
2020-12-18 REZONING
20-12-18 REISSUED FOR REZONING + ISSUED FOR SPC

REVISION RECORD
NO Date Description

NORTH

RAW
405-317 ADELAIDE STREET WEST
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19064

BEECHWOOD

78-88 BEECHWOOD AVE & 69-93 BARRETTE ST
OTTAWA | ON

MINTO COMMUNITIES

COVER / DRAWING LIST

SCALE:

A000

78 BEECHWOOD, Ottawa, Ontario
Preliminary Site Stats
2020-12-17

Official Plan
Current Zoning

Site Area	Gross	4,153 sq.m.	44,703 sq.ft.
Widening		148 sq.m.	1,593 sq.ft.
Site Area	Net	4,005 sq.m.	43,109 sq.ft.

FL/FL Height	Units	Unit w/o Balc.					Retail GFA (as per Zoning By-law 2008-250)	Residential GFA (as per Zoning By-law 2008-250)	Total GFA (as per Zoning By-law 2008-250)	Communal Indoor Amenity		Communal Outdoor Amenity		Private Outdoor Amenity		GCA* interior		GCA** exterior		Total GCA		Res. NSA (per Tarron)						
		Studio	1B	2B-JR	2B-SR	2B+D				Total	m2	sf	m2	sf	m2	sf	m2	sf	m2	sf	m2	sf	m2	sf	m2	sf		
P2	2850																3,380	36,382			3,380	36,382						
P1	3800																3,380	36,382			3,380	36,382						
																	6,760	72,764			6,760	72,764						
1	4800	3	13	1	1	18	561	6,039	1,172	12,615	1,733	18,654	200	2,153	365	3,929	124	1,335	2,603	28,018	489	5,264	3,092	33,282	991	10,667		
2	2950	7	18	5	7	37			2,116	22,776	2,116	22,776					214	2,303	2,642	28,438	287	3,089	2,929	31,527	2,159	23,239		
3	2950	6	21	8	5	40			2,256	24,283	2,256	24,283					189	2,034	2,621	28,212	189	2,034	2,810	30,247	2,337	25,155		
4	2950	4	20	8	4	37			2,144	23,078	2,144	23,078					291	3,132	2,499	26,899	291	3,132	2,790	30,031	2,222	23,917		
5	3250	1	17	7	6	32			1,960	21,097	1,960	21,097					334	3,595	2,312	24,886	334	3,595	2,646	28,481	2,036	21,915		
6	3250		11	4	6	22			1,463	15,748	1,463	15,748					338	3,638	1,766	19,009	637	6,857	2,403	25,866	1,481	15,941		
7	2950		11	2	5	19			1,172	12,615	1,172	12,615					201	2,164	1,372	14,768	485	5,220	1,857	19,989	1,215	13,078		
8	3250		2	1	7	14			1,093	11,765	1,093	11,765					173	1,862	1,284	13,821	173	1,862	1,457	15,683	1,134	12,206		
9	3550				5	5			868	9,343	868	9,343					272	2,928	1,040	11,194	272	2,928	1,312	14,122	895	9,634		
Mech/ Penthouse	10	4500				10											306	3,294	743	7,998	1,049	11,291						
Totals	34400	21	113	36	46	13	229	16	561	6,039	14,244	153,321	14,877	160,135	239	2,573	650	6,997	2,136	22,992	25,205	271,304	3,900	41,979	29,105	313,284	14,470	155,754

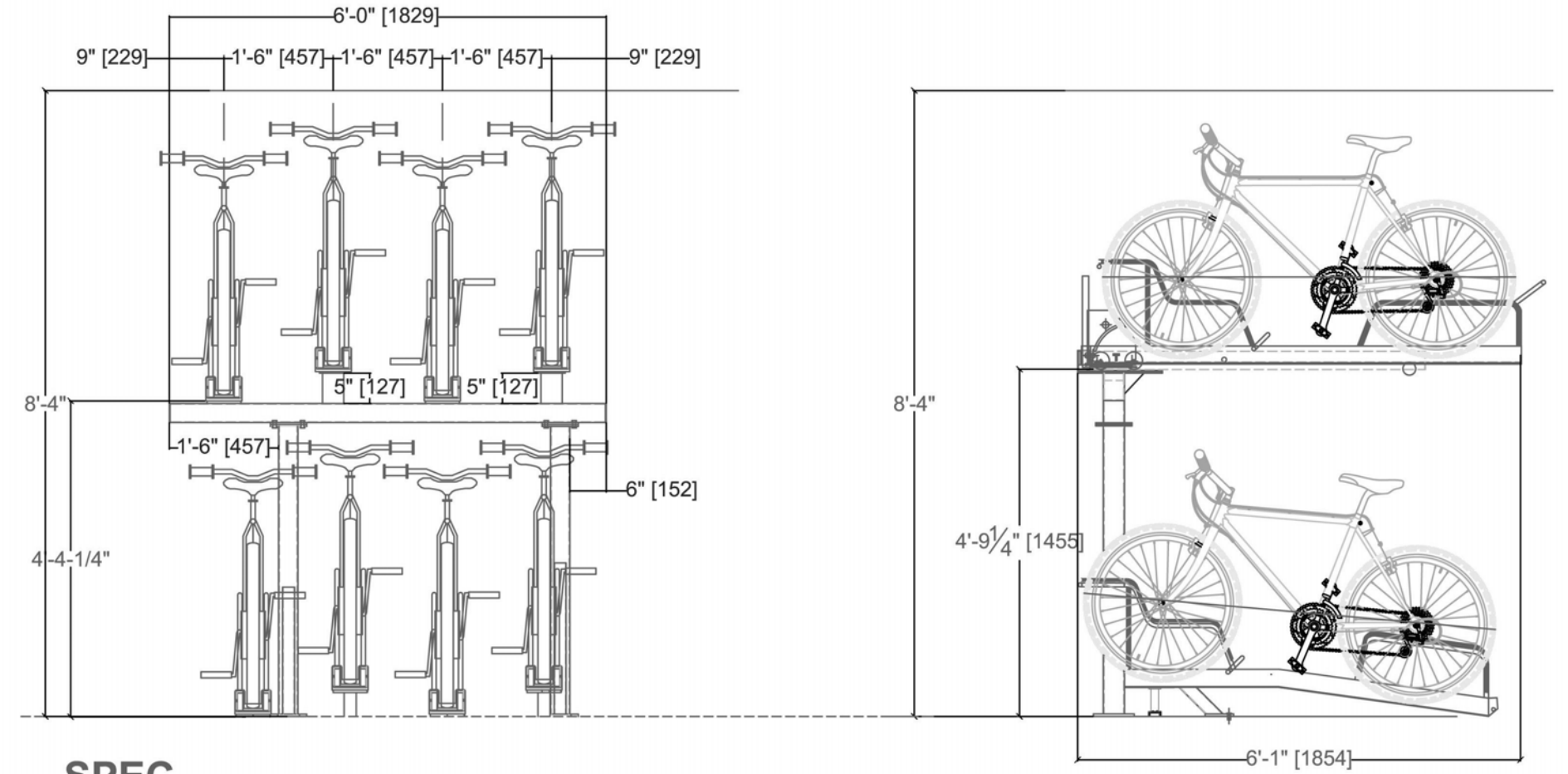
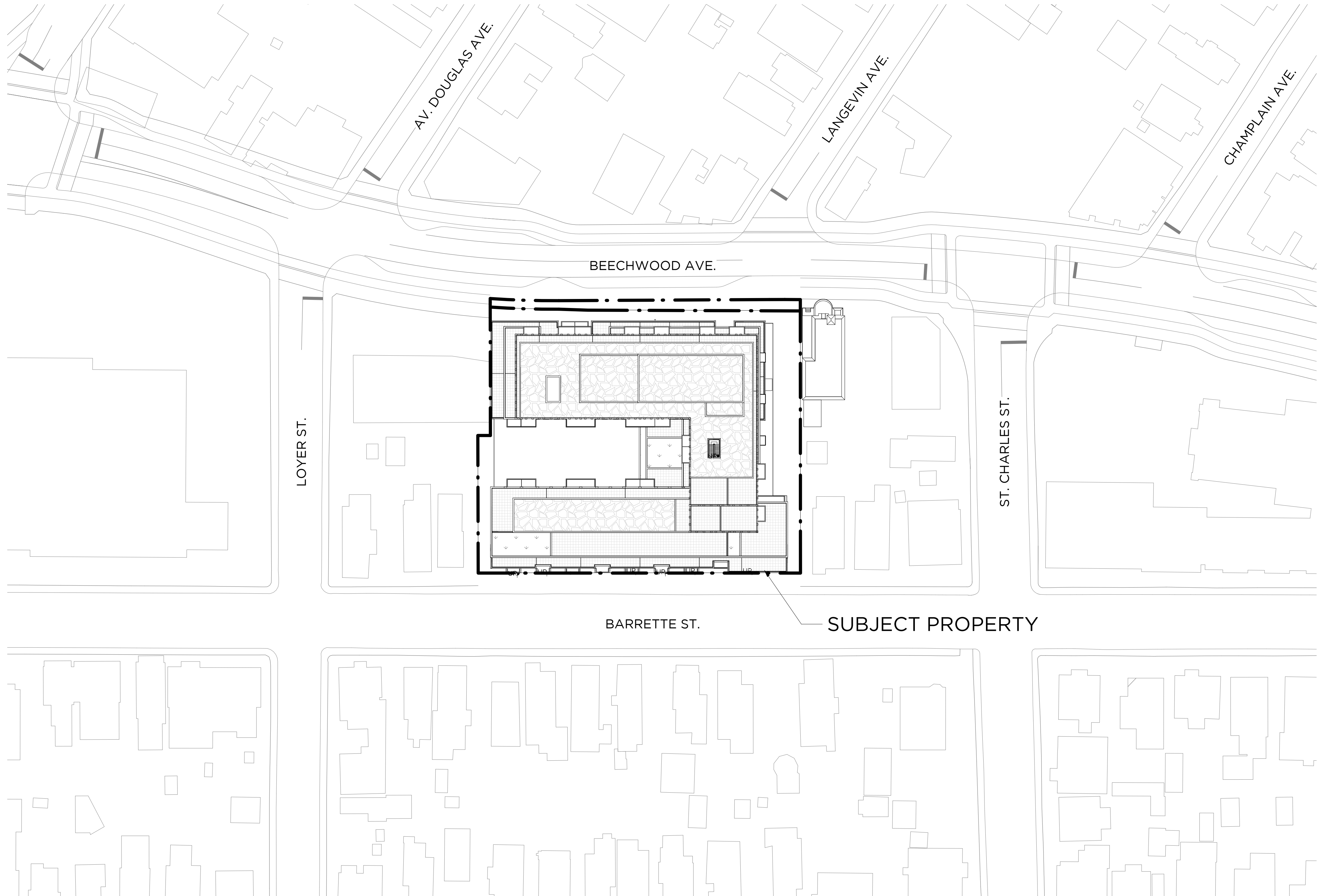
TARGETS	9%	49%	16%	20%	6%	incl. in total																						
	10%	50%	15%	20%	5%																							
NSA (m2) average	900	6,246	2,362	3,660	1,302																							
	43	55	66	80	100																							

FSI	Retail	0.1
	Residential	3.6
	Total	3.7
Required Parking	Res. (total units - 12) * 0.5 per unit	109
	Visitors (total units - 12) * 0.1 per unit	22
	Total	131
Proposed Parking	Residential	137
	Visitors	21
	Total	158
Required Bike Parking	Residential (0.5 per unit)	115
	Retail (1 per 250m2)	2
	Total	117
Proposed Bike Parking	Residential at Ground	8
	Residential at P1	118
	Residential at P2	118
	Retail at grade	8
	Total	252
Lockers	P2	34
	P1	0
	L2	13
	L3	9
	L4	9
	L5	9
	Total	74

Amenity	
Required	Provided
6m2 per unit	1374 m2
min 50% as communal areas	687 m2
	3,025 m2
	889 m2

Target 151 0.7

2 PROJECT STATS



SPEC
PRODUCT- The Lock-up stackable bike rack
Multiple stackable bike rack
SECTIONS- 8" sections, 6" sections + Single sections
CAPACITY- 8 bikes, 6 bikes, or 2 bikes
MATERIAL- HSS steel
FINISHES- Hot Dipped Galvanized
SPACE USE/SETBACKS- 18" center to center

Single Stackable Bike Rack Section
Bike Rack MFG Dist.
416-927-7499

3 PROPOSED BIKE RACK

1 CONTEXT PLAN

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ISSUED RECORD
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20-12-18 REQUIRED FOR REZONING + ISSUED FOR IFC

REVISION RECORD
No Date Description

**TOPOGRAPHIC PLAN OF SURVEY OF
PART OF LOTS 10, 11, 12, 13, AND 21
ALL OF LOTS 18, 19, AND 20
REGISTERED PLAN 101
CITY OF OTTAWA**

Prepared by Annis, O'Sullivan, Vollebæk Ltd.
Plan updated January 8th, 2020 - Additional
Details along Beechwood Avenue added
Plan updated June 19, 2020 - Topography for part of Lots 20 and
21 added.

Scale 1:200
METRIC
DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 3.048

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ISSUED RECORD
2020-18 REVISION
20-12-18 REQUIRED FOR REZONING -
ISSUED FOR CPC

Surveyor's Certificate

1. This survey and plan are correct and in accordance with the Survey Act, the Surveyors Act and the Land Titles Act and the regulations made under them.
2. The survey was completed on the 2nd day of July 2020.

July 7, 2020
Annis, O'Sullivan, Vollebæk Ltd.
Charter Land Surveyor

Notes & Legend

- | | |
|-----|---|
| —○— | Survey Monument Planted |
| —●— | Survey Monument Found |
| —■— | Standard Iron Bar |
| —□— | Short Standard Iron Bar |
| —○— | Iron Bar |
| —○— | 0.30 Long Survey Monument |
| —○— | Cut Cross |
| —○— | Concrete Pin |
| —○— | Measured |
| —○— | Area, O'Sullivan, Vollebæk Ltd. |
| —○— | Registered Plan 101 |
| —○— | (ACOC) Plan 101, 1987 |
| —○— | Plan 58-257 |
| —○— | Plan 58-253 |
| —○— | Expropriation Plan N303403 |
| —○— | Plan by (CST) September 26, 1986 |
| —○— | (ACOC) Plan September 1, 1986 |
| —○— | (ACOC) Plan March 29, 2000 |
| —○— | (ACOC) Plan dated May 18, 1988 |
| —○— | (ACOC) Plan December 15, 2001 |
| —○— | Decision Tree |
| —○— | Coniferous Tree |
| —○— | Fire Hydrant |
| —○— | Water Valve |
| —○— | Water Street Post |
| —○— | Manhole Valve (Storm Sewer) |
| —○— | Manhole Valve (Sanitary) |
| —○— | Manhole Valve (Storm Sewer) |
| —○— | Valve Chamber (Storm Sewer) |
| —○— | Underground Storm Sewer |
| —○— | Underground Sanitary Sewer |
| —○— | Underground Water |
| —○— | Overhead Water |
| —○— | Underground Power |
| —○— | Underground Gas |
| —○— | Catch Basin |
| —○— | Gas Meter |
| —○— | Hydro Meter |
| —○— | Sign |
| —○— | Billboard |
| —○— | Sign |
| —○— | Chain Link Fence |
| —○— | Aluminum Fence |
| —○— | Post and Wire |
| —○— | Manhole |
| —○— | Utility Pole |
| —○— | Utility Pole With Light |
| —○— | Utility Pole With Transformer and Light |
| —○— | Transformer Box |
| —○— | Manhole |
| —○— | Anchor |
| —○— | Light Standard |
| —○— | Light Pole |
| —○— | Air Conditioner |
| —○— | Diameter |
| —○— | Location of Elevation |
| —○— | Top of Concrete Curb Elevation |
| —○— | Top of Concrete Retaining Wall |
| —○— | Carburetor |
| —○— | Property Line |
| —○— | Corner Line |

ELEVATION NOTES

1. Elevations shown are geoids and are referred to the CGVD05 geoid datum.
2. It is the responsibility of the user of the information on this plan to determine if the information has not been altered or distorted and that it is relative elevation and description agree with the information shown on this drawing.

UTILITY NOTES

1. This drawing cannot be accepted as acknowledging all of the utilities and will be the responsibility of the user to locate the respective utility authorities for confirmation.
2. Only visible surface utilities were located.
3. A field location of underground utility for the purposes of utility authority is necessary unless they are shown on existing ground, utility, engineering etc.
4. Underground Services and Utilities are taken from City of Ottawa Engineering Plans E, 2006, N15222-01, C1, C2 and C1-07.

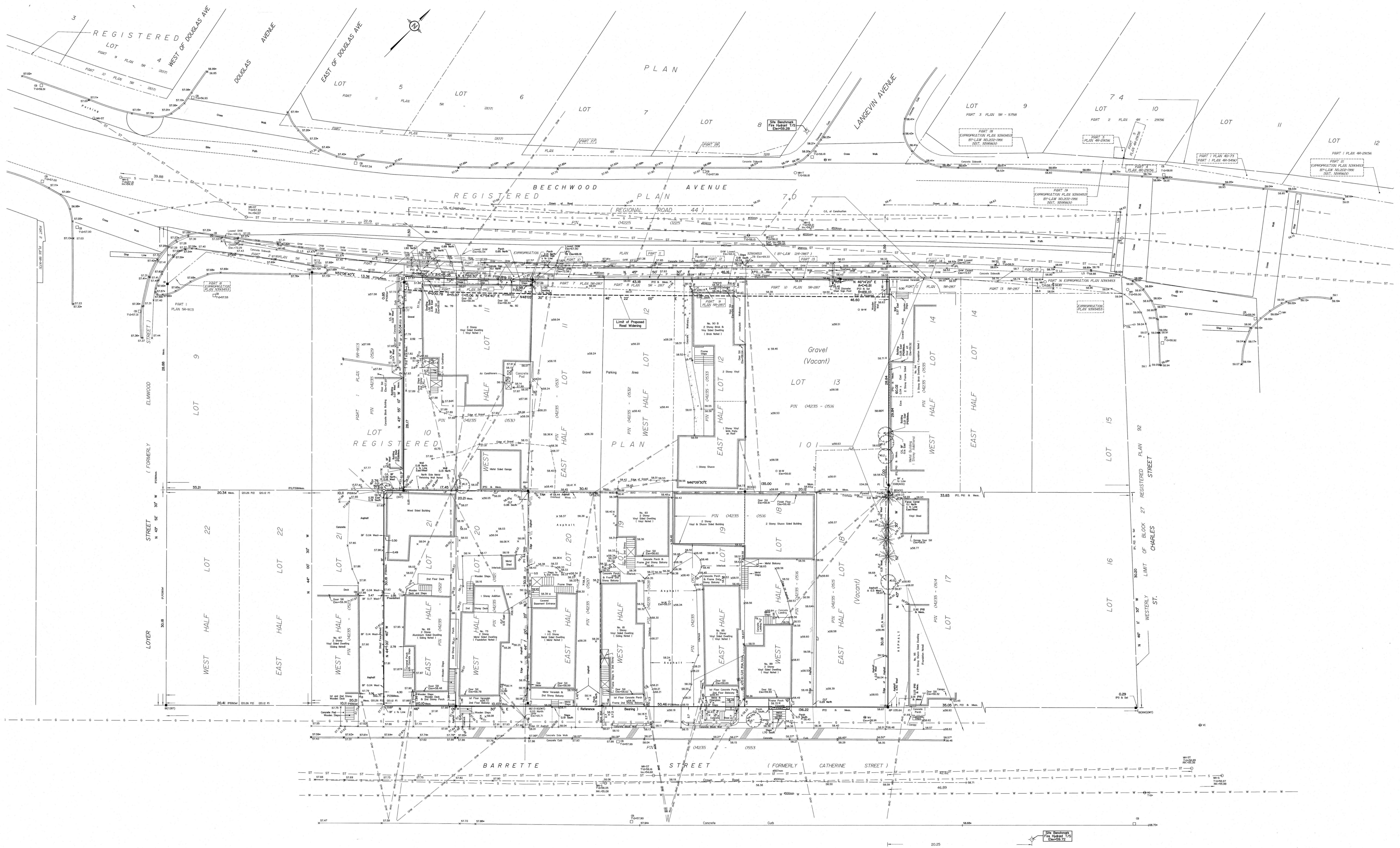
Bearings are grid and are referred to the Central Meridian of NAD 83 (Project).
Zone 9 (17°30' West Longitude) NAD-83 (Project).

NORTH

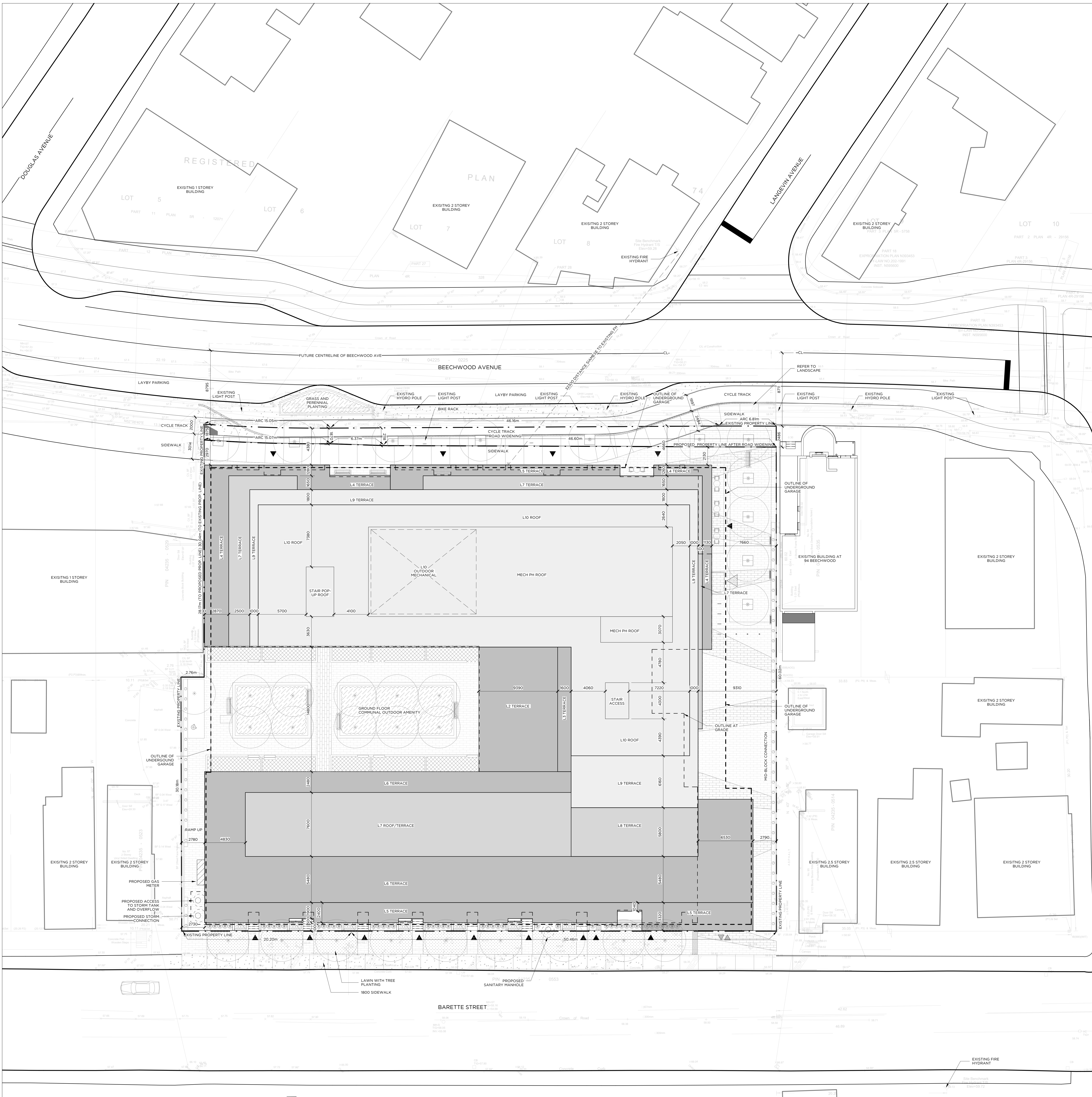


19064
BEECHWOOD
78-88 BEECHWOOD
AVE &
69-93 BARRETTE ST
OTTAWA | ON
MINTO
COMMUNITIES
SURVEY

SCALE: AS INDICATED
A006



ASSOCIATION OF ONTARIO
LAND SURVEYORS
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Fax: 416-593-9226
www.aosls.org



- ### SITE PLAN NOTES
1. THE BUILDING IS TO BE [NOT SPRINKLERED] / [SPRINKLERED].
 2. THE SOLID WASTE ROOMS IS XX SM AND WILL ACCOMMODATE GARBAGE VIA USE OF ONE CHUTE. GARBAGE CHUTE ACCESS OCCURS ON LEVELS X.X AND X. ADDITIONAL BULK STORAGE IS PROVIDED AT A MINIMUM OF XXSM.
 3. COLLECTION OF WASTE MATERIALS FOR THIS DEVELOPMENT WILL TAKE PLACE ON SITE IN THE LOADING AREA DESIGNATED ON THE GROUND FLOOR PLAN. AN ON-SITE TRAINED STAFF/ MAINTENANCE PERSON IS RESPONSIBLE FOR MOVING THE BINS FROM THE SOLID WASTE ROOM TO THE COLLECTION POINT AND PROVIDE VEHICULAR DIRECTIVES TO THE COLLECTION VEHICLE OPERATOR AS REQUIRED. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE CITY, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
 4. SIDEWALKS AND BOULEVARDS WITHIN THE RIGHT OF WAY TO HAVE A MINIMUM 2% AND MAXIMUM 4% SLOPE TOWARDS THE ROADWAY.
 5. REFER TO SITE SERVICING PLAN, FOR SEWER AND WATER SERVICE INFORMATION.
 6. ALL EXISTING ACCESSES, CURB CUTS, TRAFFIC CONTROL SIGNS, ETC. ALONG THE DEVELOPMENT SITE FRONTAGE THAT ARE NO LONGER REQUIRED ARE TO BE REMOVED. THE BOULEVARD WITHIN THE PUBLIC RIGHT OF WAY, IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF TECHNICAL SERVICES ARE TO BE REINSTATED.
 7. PROPOSED ACCESS TO THE DRIVEWAY FOR THIS PROJECT TO BE DESIGNED IN ACCORDANCE WITH CITY STANDARD NO. T30-0501 FOR CURB AND SIDEWALK VEHICULAR ENTRANCES.
 8. THIS BUILDING IS DESIGNED WITH A SHARED LOADING SPACE. A FLASHING WARNING LIGHT SYSTEM AND/ OR APPROPRIATE SIGNAGE ADJACENT TO THE SPACE, AT NO COST TO THE CITY, WILL BE IN PLACE AND ACTIVATED DURING COLLECTION AND REMAIN ACTIVE UNTIL THE VEHICLE EXITS THE SITE.
 9. SOLID WASTE MANAGEMENT TO BE NOTIFIED UPON COMPLETION OF THE DEVELOPMENT AND SHOULD PUBLIC WASTE COLLECTION BE USED, ALL NECESSARY APPLICATION AND WAIVER FORMS TO BE COMPLETED PRIOR TO COMMENCEMENT OF CITY REFUSE COLLECTION.
 10. NO SPEED BUMPS SHALL BE INSTALLED ON ANY MAIN DRIVEWAY AISLE OR DESIGNATED FIRE ROUTE.

SITE PLAN LEGEND

<ul style="list-style-type: none"> EXISTING ELEVATION PROPOSED ELEVATION TOP OF STRUCTURE TOP OF WALL TOP OF CURB VEHICULAR EXIT/ENTRANCE PEDESTRIAN EXIT/ENTRANCE PRIMARY RES ENTRANCE EXISTING EXTERIOR TO REMAIN NEW WALLS ITEM ABOVE SCREEN REF. # WALL TYPE DOOR REF. # 	<p>NOTES:</p> <p>REFER TO CONSULTANTS DRAWINGS FOR INFORMATION RELATING TO SITE SERVICING, GRADING AND LANDSCAPE. ALL ITEMS NEW CONSTRUCTION UNLESS NOTED OTHERWISE</p> <p>Abbreviations:</p> <table border="0"> <tr><td>AD</td><td>AREA DRAIN</td></tr> <tr><td>CACF</td><td>CENTRAL ALARM CONTROL FACILITY</td></tr> <tr><td>CB</td><td>CATCH BASIN</td></tr> <tr><td>FH</td><td>FIRE HYDRANT</td></tr> <tr><td>FD</td><td>FLOOR FIN</td></tr> <tr><td>HB</td><td>HOSE BIB</td></tr> <tr><td>HLP</td><td>HYDRO LIGHT POLE</td></tr> <tr><td>MH</td><td>MAN HOLE</td></tr> <tr><td>TLS</td><td>TRAFFIC LIGHT STANDARD</td></tr> </table> <p>SITE PLAN INFORMATION TAKEN FROM:</p> <p>TOPOGRAPHIC PLAN SURVEY OF PART OF LOTS 10, 11, 12, 13, AND 21 ALL OF LOTS 18, 19, AND 20 REGISTERED PLAN 101 CITY OF OTTAWA PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. LAND SURVEYORS (UPDATED JUNE 19, 2020)</p> <p>58.50m = AVERAGE GRADE 58.50m = TOS GROUND FLOOR</p>	AD	AREA DRAIN	CACF	CENTRAL ALARM CONTROL FACILITY	CB	CATCH BASIN	FH	FIRE HYDRANT	FD	FLOOR FIN	HB	HOSE BIB	HLP	HYDRO LIGHT POLE	MH	MAN HOLE	TLS	TRAFFIC LIGHT STANDARD
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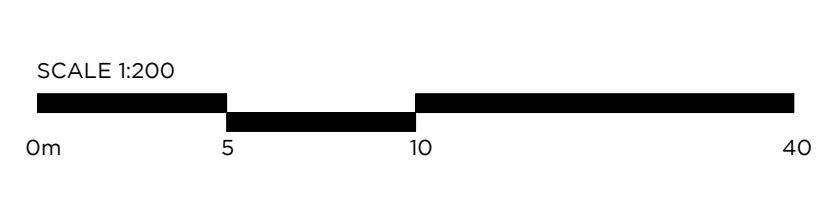
ZONING: TMB (HCS)

Zoning Mechanism	Zoning Provision	Provided
Uses	No residential or office uses within 6 metres of front facade Residential uses may occupy a maximum of 50% of the ground floor area of a building that faces Barrette Street and the uses must face Barrette Street.	Retail proposed fronting Beechwood 75 percent of the ground floor is occupied by residential uses
Minimum Lot Area	No minimum	4,153 m ²
Minimum Lot Width	No minimum	68 m
Front Yard Setback	Max: 2 m (where hydro pole) Min: 0 m (first 3 storeys) + 2 m (above 3 rd storey)	Floors 1-4: 4.3 m Floors 5-6: 5.6 m Floors 7-8: 7.3 m Floor 9: 9.1 m
Interior Side Yard Setback	Maximum: 3 m, except where: Allowing for driveway: max. 6 m Abutting R-zone: min. 3 m	East: Varies/min 2.7 m West: Varies/min 0 m abutting T4, min 2.7 m abutting R-zone
Minimum Rear Yard Setback	First 3 storeys: 3 m Above the 3 rd storey: provided setback + 2 m.	Floors 1-4: 0.0 m Floor 5: 3.3 m Floor 6-7: 8.8 m Floor 8: 14.3 m Floor 9: 20.7 m
Front Facade	50% of ground floor facade facing main street, up to 4.5m, must be transparent windows and active entrances	>66 percent
Active Entrances	Front facade must include at least one active entrance serving each use occupying the ground floor.	4 retail uses and 4 active entrances facing Beechwood
Building Height	Minimum: 6.7 m Maximum: 20 m	Facing Beechwood: 29.9 m Facing Barrette: 20.2 m
Minimum Landscaped Area	Abutting R-zone: 3 m buffer	2.7 m pathway (west edge)
Amenity Area Requirements	6m ² per unit, and 50% communal: 1,374 m ² total, 697 m ² communal. One area min 54 m ²	Communal: 889 m ² Total: 3,025 m ²
Permitted projections above height limit	Landscaped Areas Mechanical/Service Penthouse	Height of Mechanical Penthouse: 34.4 m (4.5 m)
Access	Driveway: 6 m (double-lane) Aisle in a parking garage: 6m	Driveway: 6 m Aisle: 6 m
Minimum Parking Spaces (Area Y)	Residential: 0.5/unit after first 12 units (229-12*0.5 = 109) Visitor: 0.1/unit after first 12 units = (229-12*0.1) = 22 Retail: No requirement Total: 131	Residential: 137 Visitor: 21 Total: 158
Bicycle Parking Spaces	Residential: 0.5/unit; 229*0.5 = 115 Retail: 1/250 m ² GFA: 2 Total: 117	Residential (at PI/92): 244 Retail (at-grade): 8 Total: 252
Loading Spaces	0 required	1 provided
Outdoor Commercial Patio	At least 30 m from a lot in a residential zone and screened and physically separate from that same lot by a structure, screen, or wall that is 2 m or more in height so as to mitigate noise and light from the outdoor commercial patio	16 m with 2.1m vegetated screen

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No Date Description



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BEECHWOOD

78-88 BEECHWOOD AVE & 69-93 BARRETTE ST OTTAWA | ON

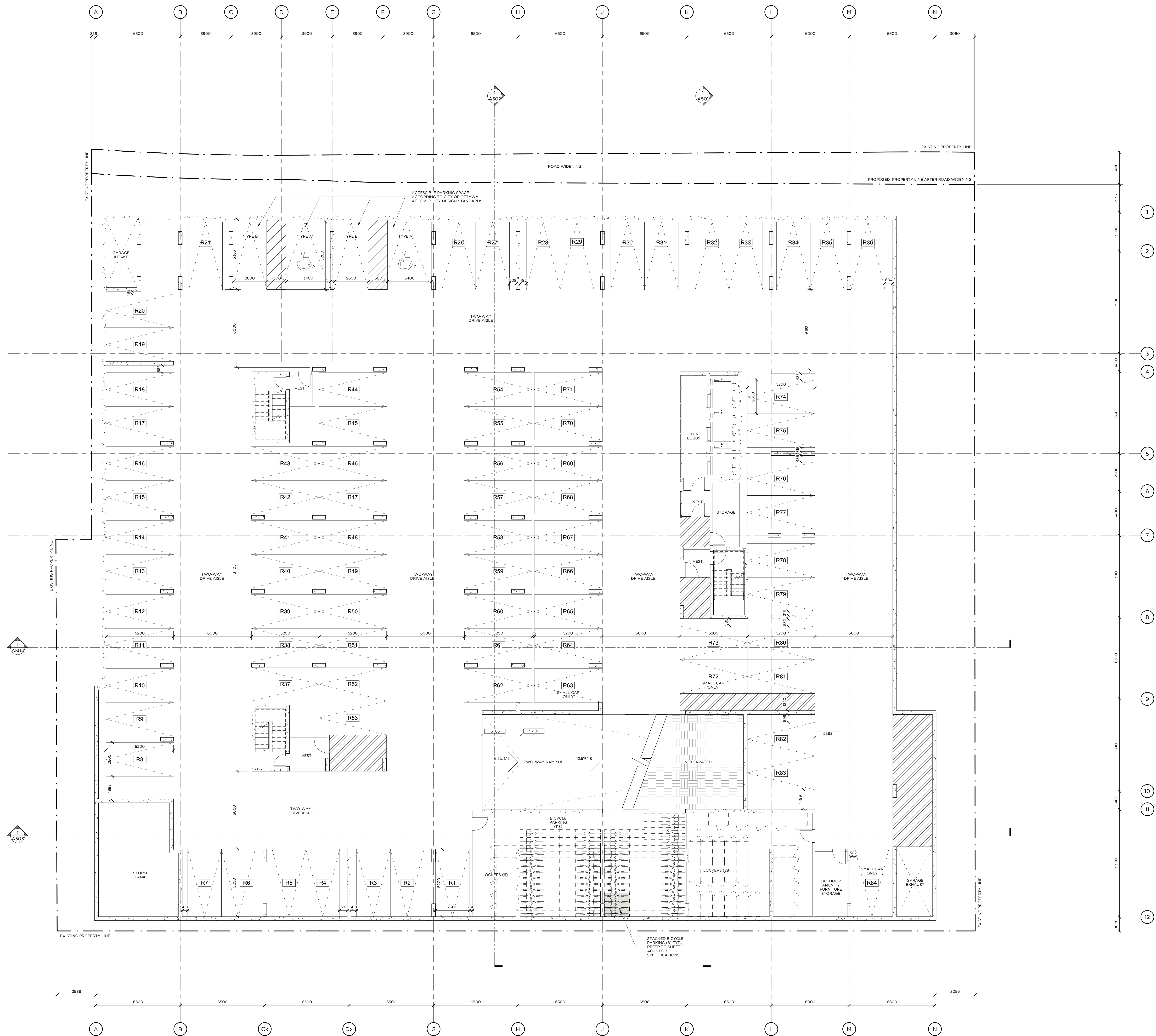
MINTO COMMUNITIES

SITE PLAN

SCALE: As indicated

A100

GENERAL PARKING NOTES
 ALL DRIVEWAYS AND AISLES SHALL HAVE A MINIMUM VERTICAL CLEARANCE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE



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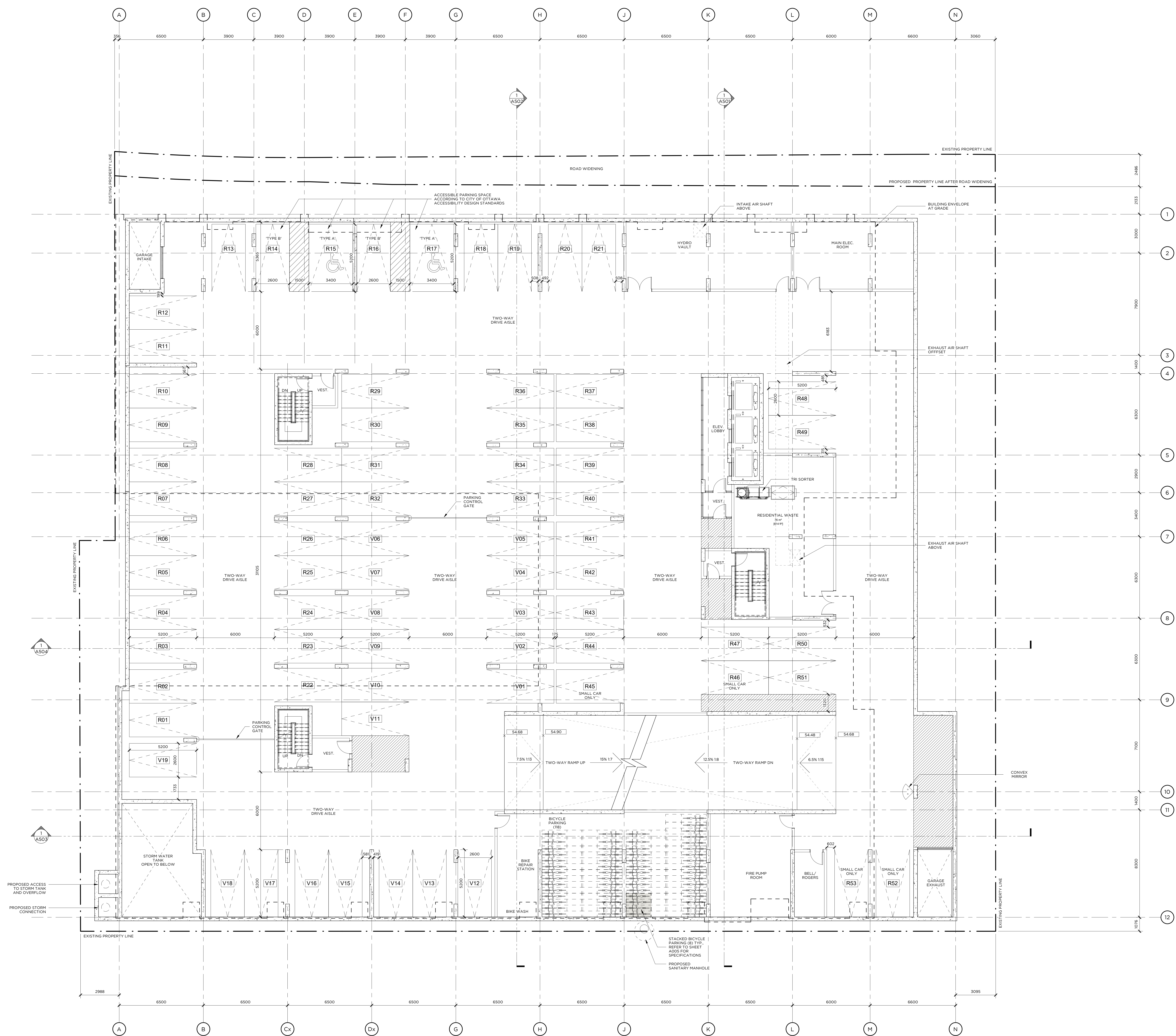
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BEECHWOOD
 78-88 BEECHWOOD AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO COMMUNITIES
 P2 PARKING PLAN

SCALE: 1:100
A101

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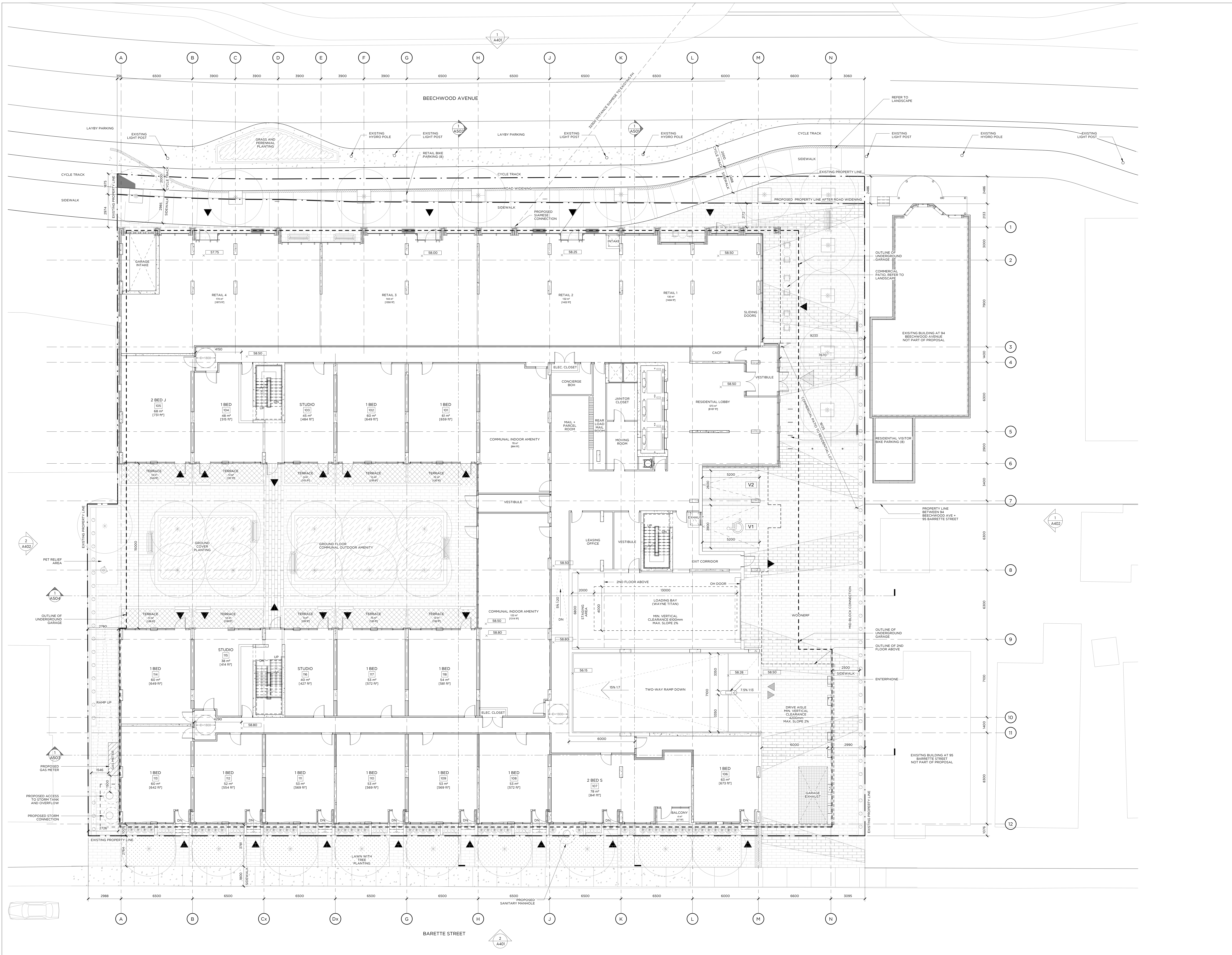
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 NO. Date Description

RAW
 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 416-595-9729
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO COMMUNITIES
 P1 PARKING PLAN

SCALE: 1:100
A102



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ISSUED RECORD
 2020-12-18: BEZONING
 20-12-18: REQUIRED FOR BEZONING + ISSUED FOR IFC

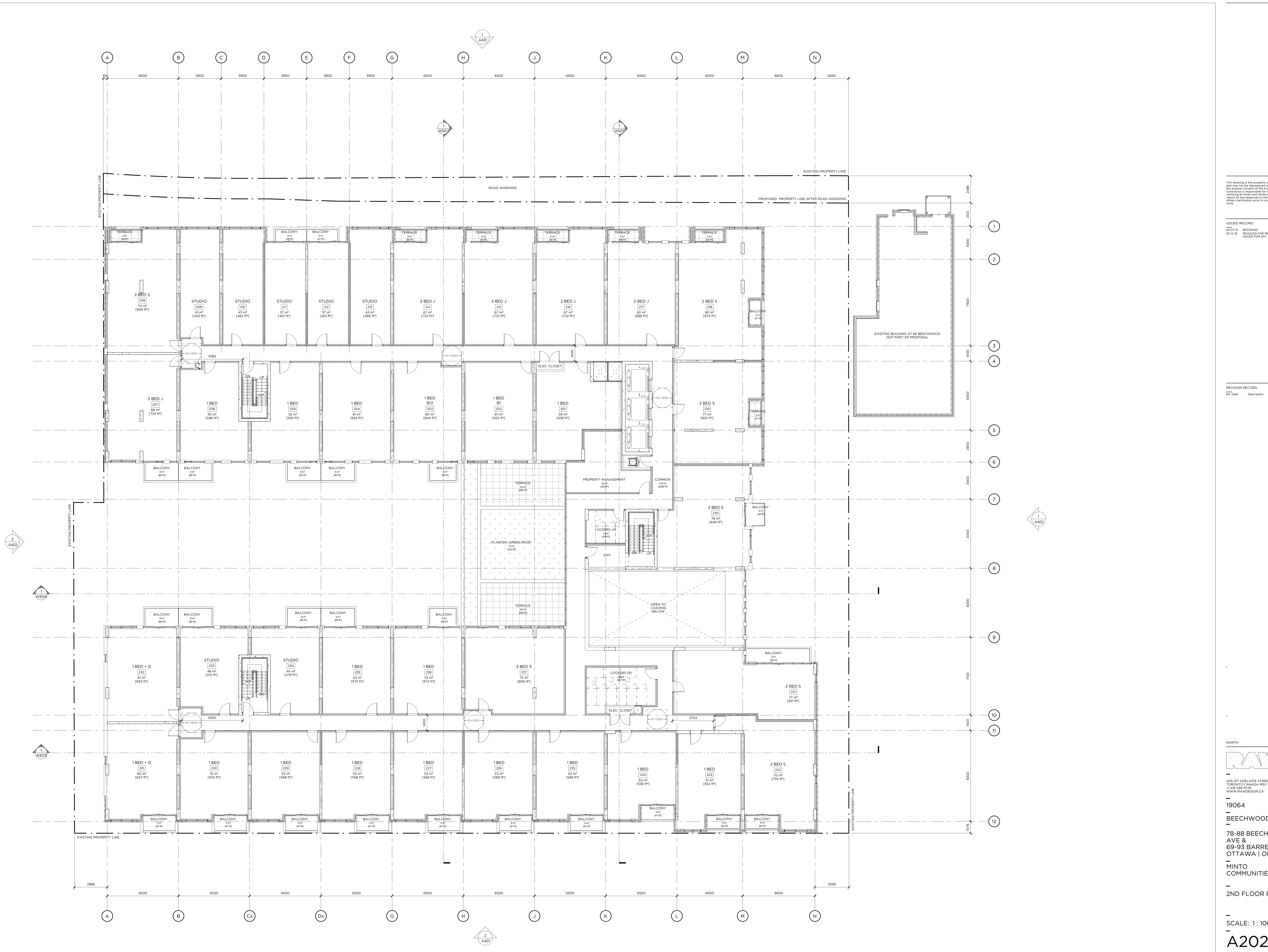
REVISION RECORD
 No. Date Description

NORTH

 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 416-593-9232
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD
 AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO
 COMMUNITIES
 GROUND FLOOR
 PLAN

SCALE: 1:100
A201



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ISSUED RECORD
 2020-18 RECORDING
 20-12-18 REQUIRED FOR BEZONING + ISSUED FOR IFC

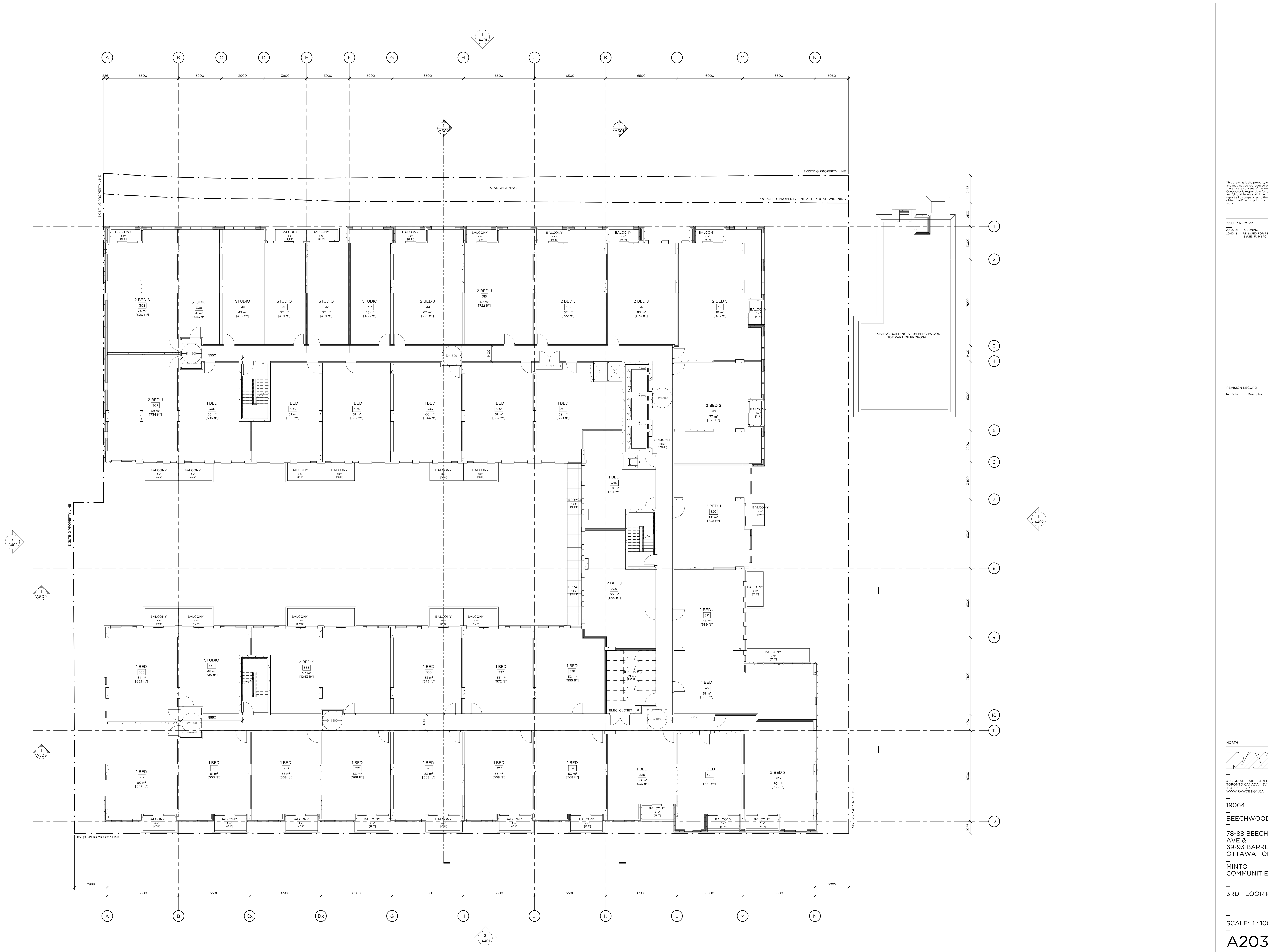
REVISION RECORD
 NO Date Description

NORTH

RAW
 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1-416-599-9729
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO COMMUNITIES
 2ND FLOOR PLAN

SCALE: 1:100
A202



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ISSUED RECORD
 2020-18 BEZONING
 20-12-18 REQUIRED FOR BEZONING + ISSUED FOR IFC

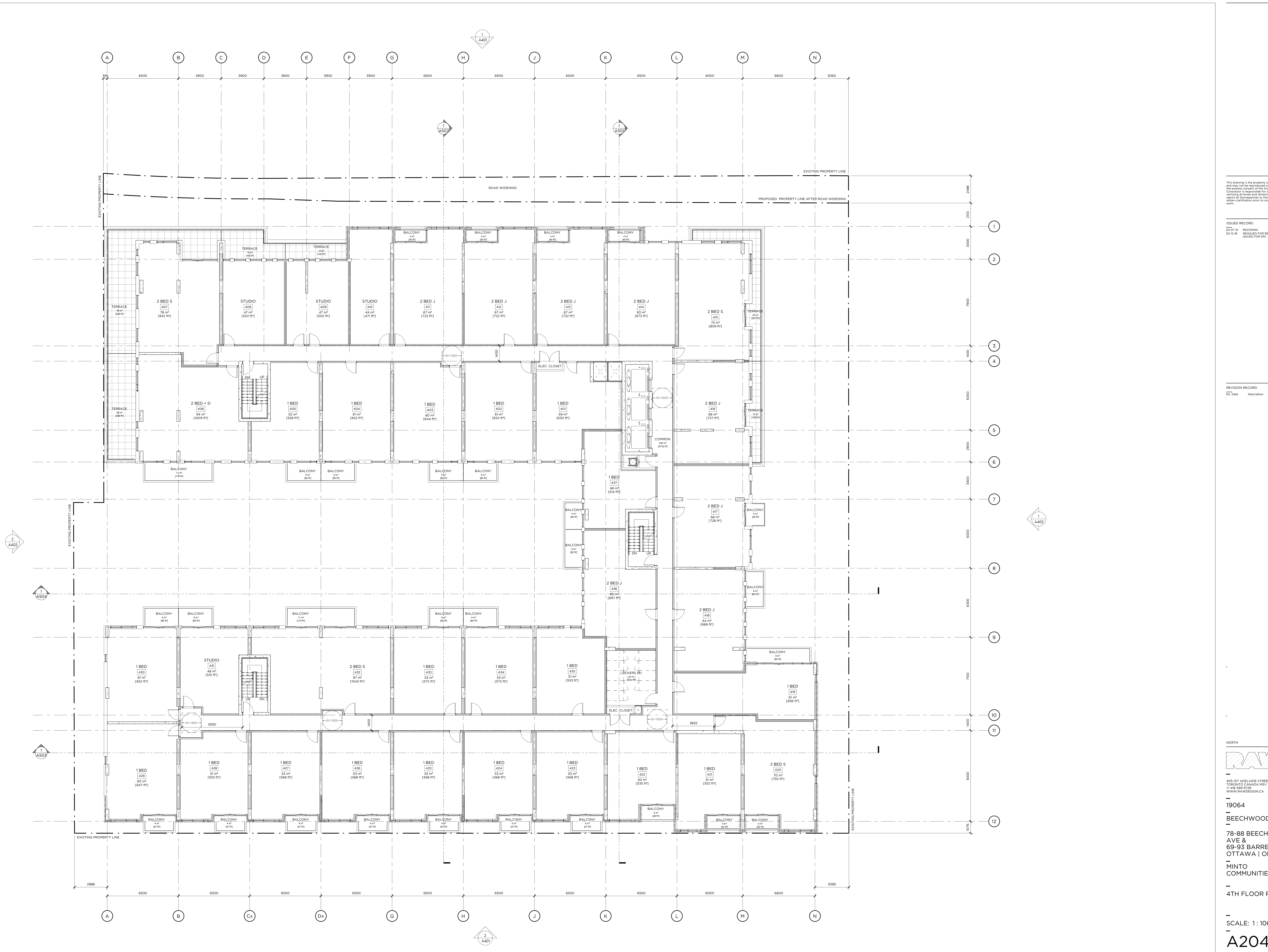
REVISION RECORD
 NO Date Description

NORTH

 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9729
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO COMMUNITIES
 3RD FLOOR PLAN

SCALE: 1:100
A203



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ISSUED RECORD
 2020-12-18 RECORD
 20-12-18 REQUIRED FOR BEZONING + ISSUED FOR IFC

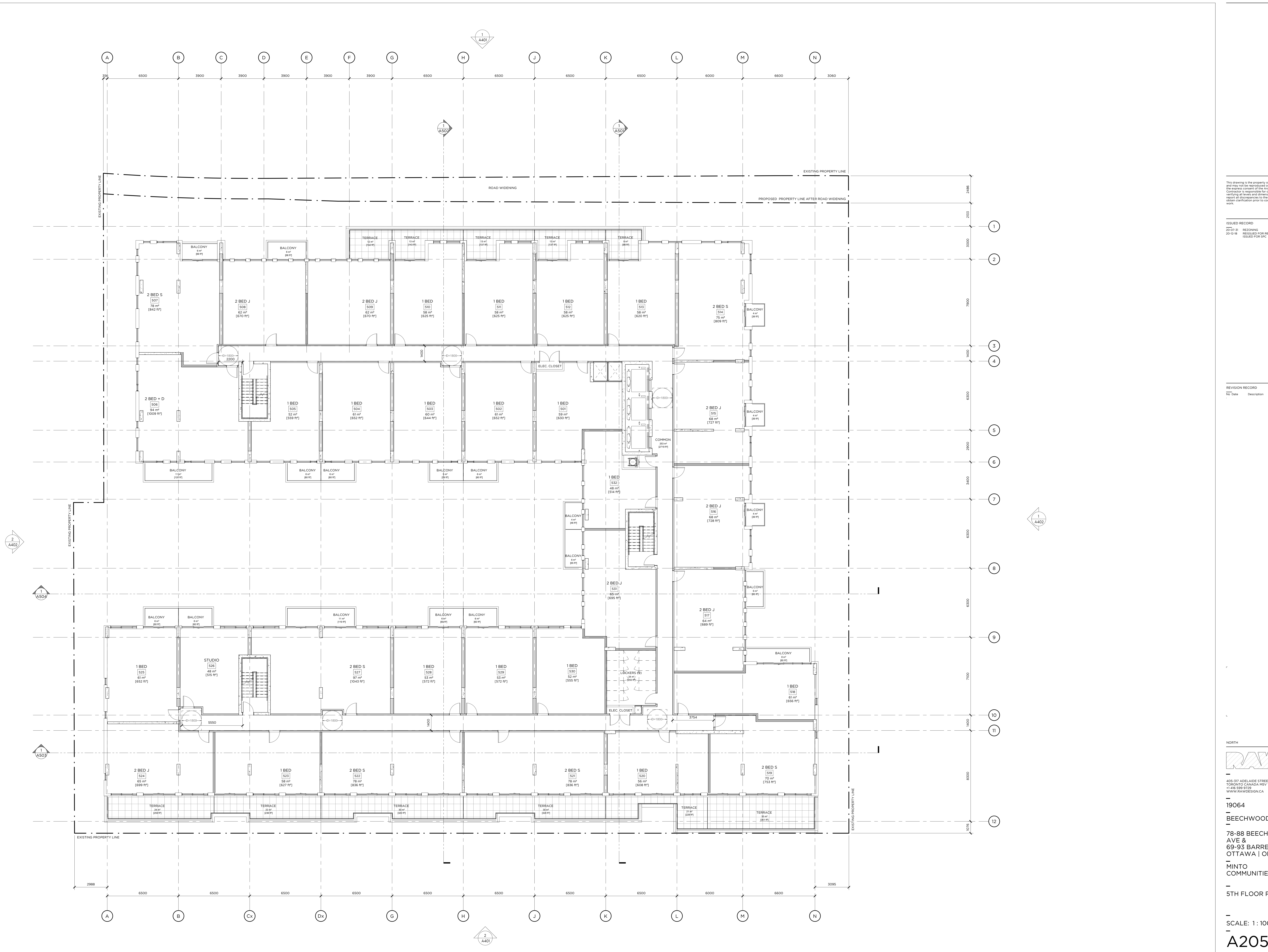
REVISION RECORD
 NO. Date Description

NORTH

 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 416-599-9729
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD AVE & 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO COMMUNITIES
 4TH FLOOR PLAN

SCALE: 1:100
A204



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ISSUED RECORD
 2020-12-18: BEZONING
 20-12-18: REQUIRED FOR BEZONING + ISSUED FOR IFC

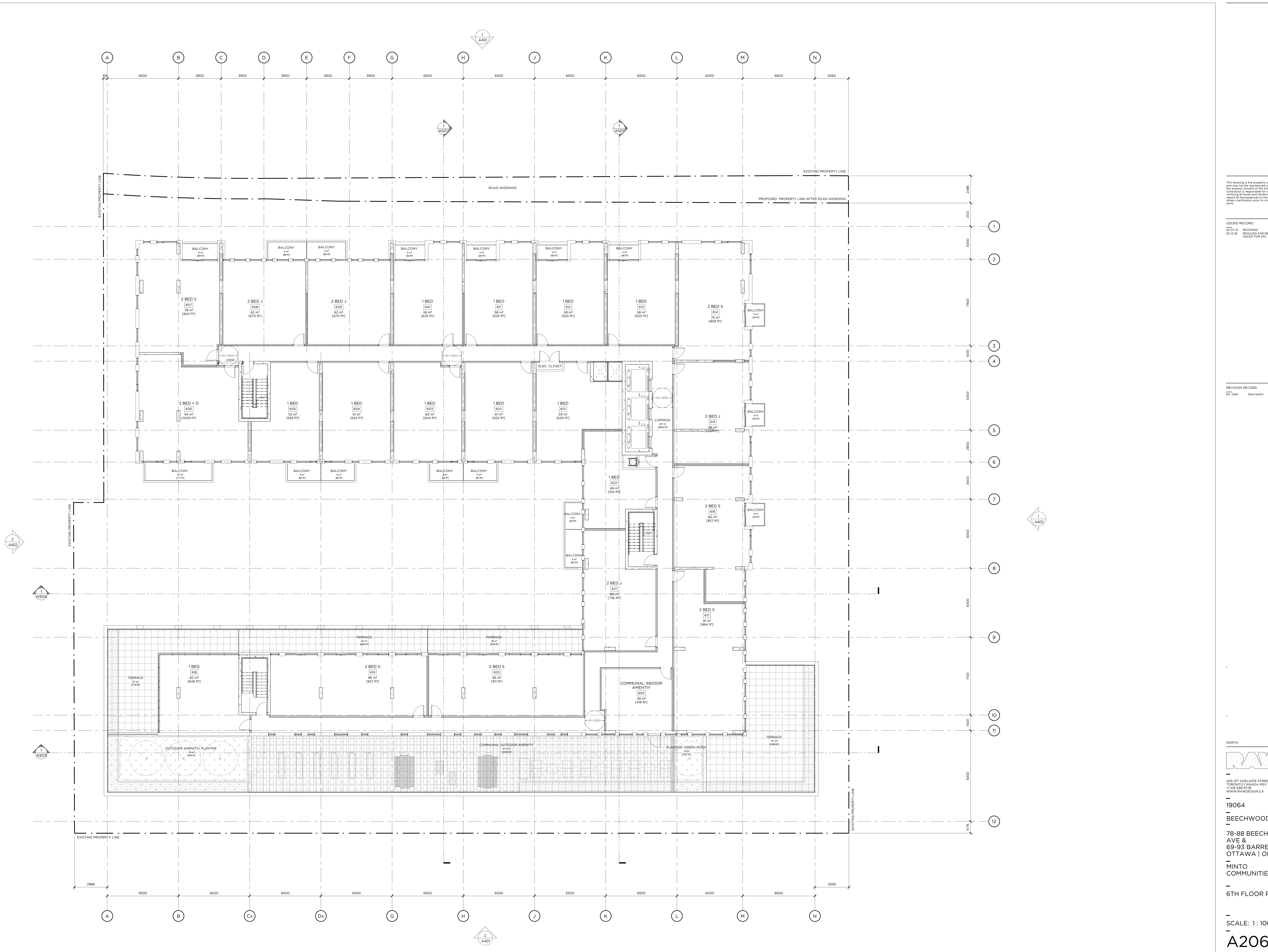
REVISION RECORD
 NO. Date Description

NORTH

 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 416-599-9729
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO COMMUNITIES
 5TH FLOOR PLAN

SCALE: 1:100
A205



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ISSUED RECORD
 2020-12-18: RECORDING
 20-12-18: REQUIRED FOR BEZONING + ISSUED FOR IFC

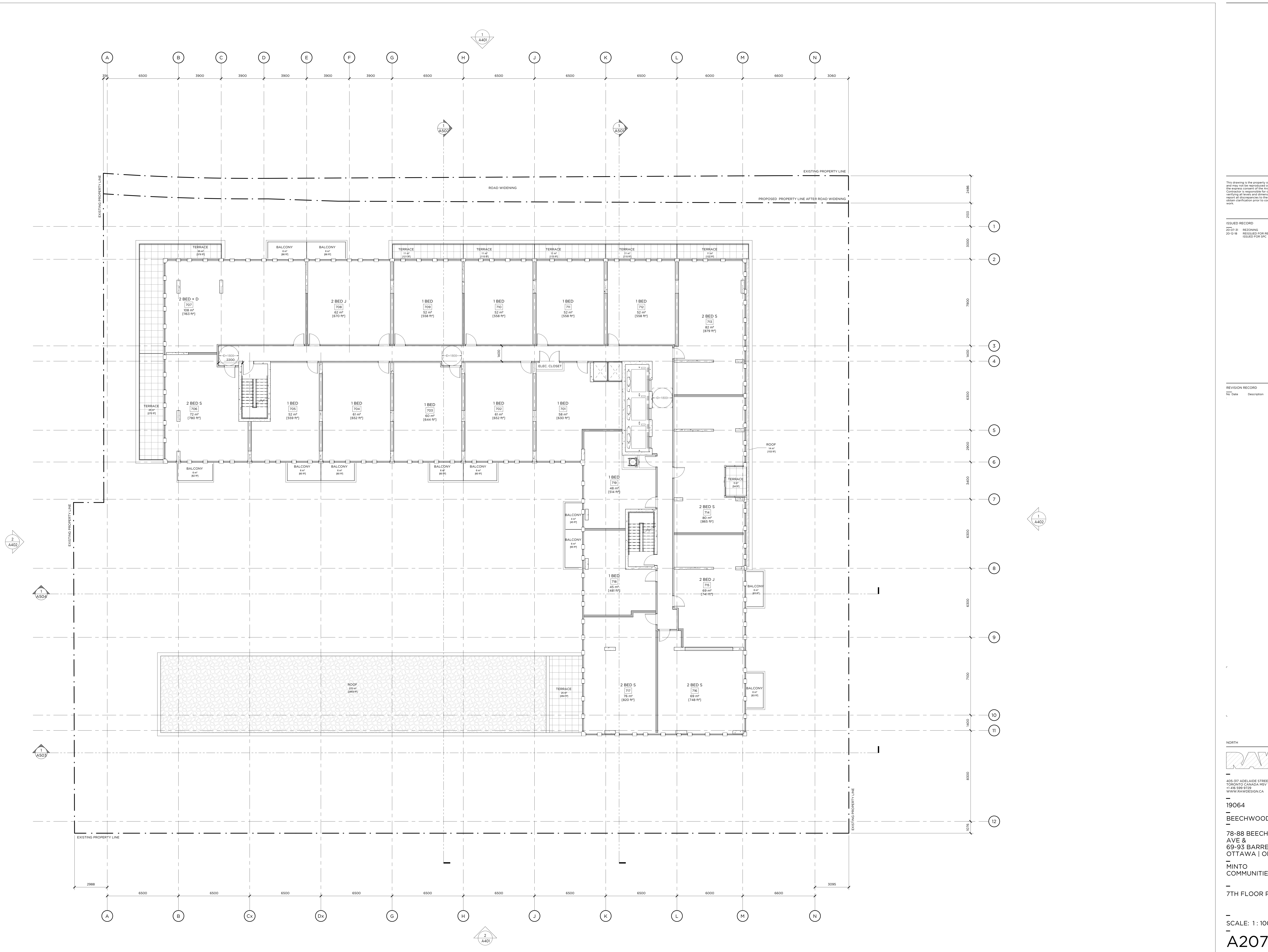
REVISION RECORD
 NO. Date Description

NORTH

RAW
 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9729
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD
 AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO
 COMMUNITIES
 6TH FLOOR PLAN

SCALE: 1:100
A206



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ISSUED RECORD
 2020-12-18: REVISION
 20-12-18: REQUIRED FOR BEZONING + ISSUED FOR O.P.C.

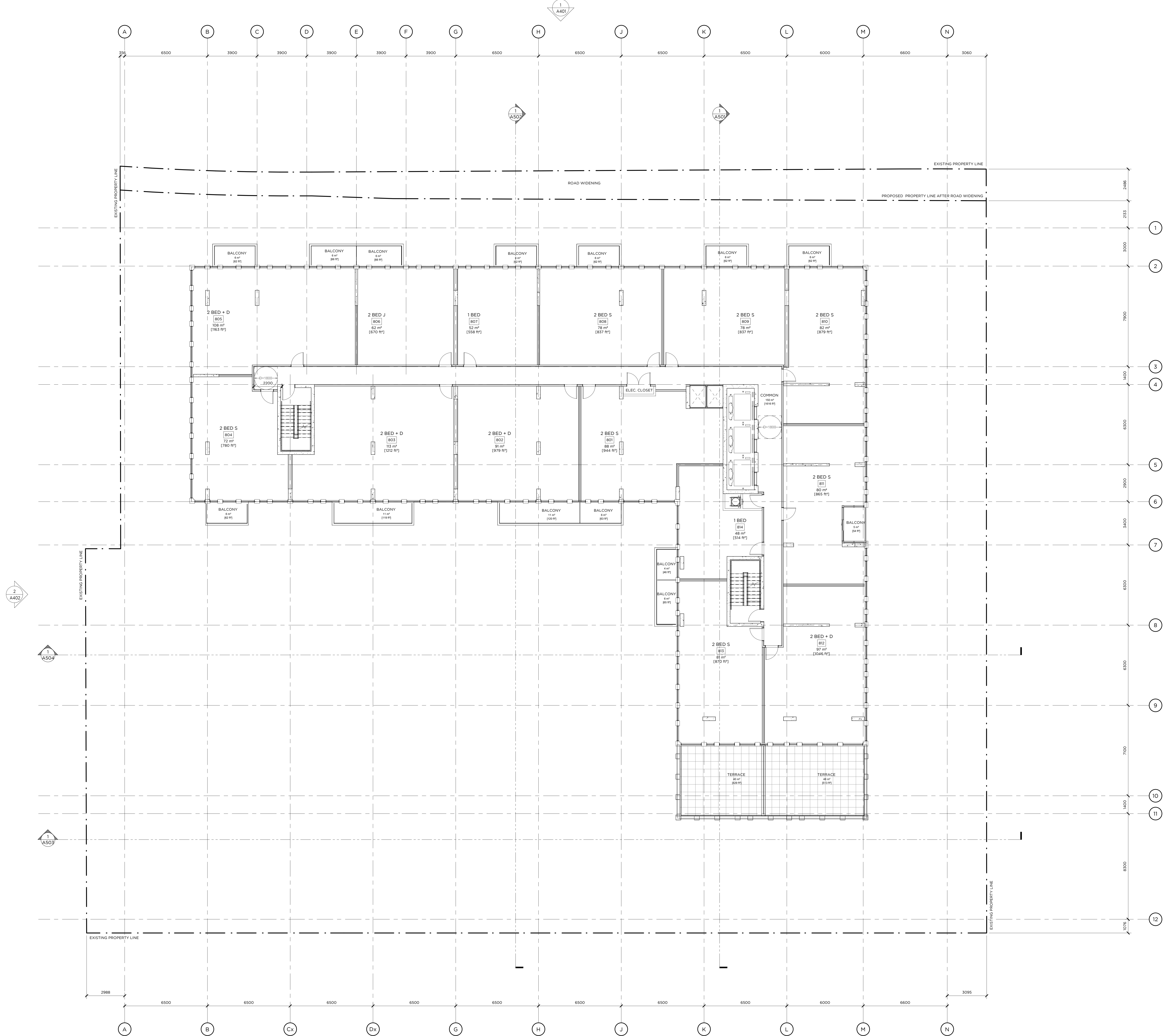
REVISION RECORD
 NO. Date Description

NORTH

 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9729
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO COMMUNITIES
 7TH FLOOR PLAN

SCALE: 1:100
A207



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ISSUED RECORD
 2020-12-18: RECORDING
 20-12-18: REQUIRED FOR BEZONING + ISSUED FOR IFC

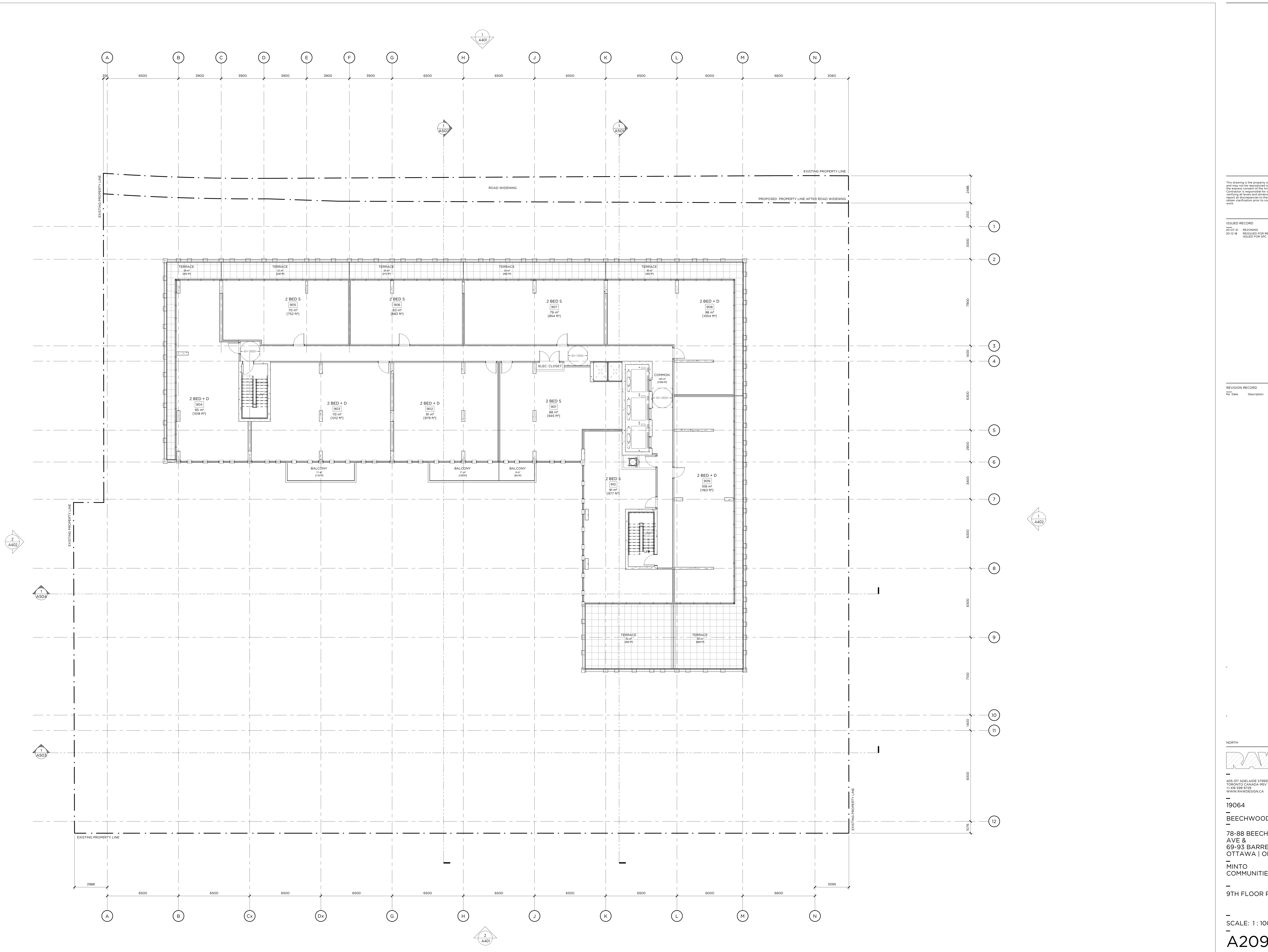
REVISION RECORD
 NO. Date Description

NORTH

RAW
 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 593 9729
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD
 AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO
 COMMUNITIES
 8TH FLOOR PLAN

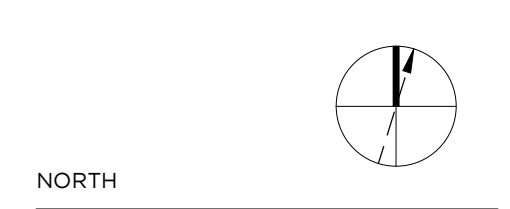
SCALE: 1:100
 A208



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ISSUED RECORD
 2020-12-18: RECORDING
 20-12-18: REVISED FOR BEZONING + ISSUED FOR IFC

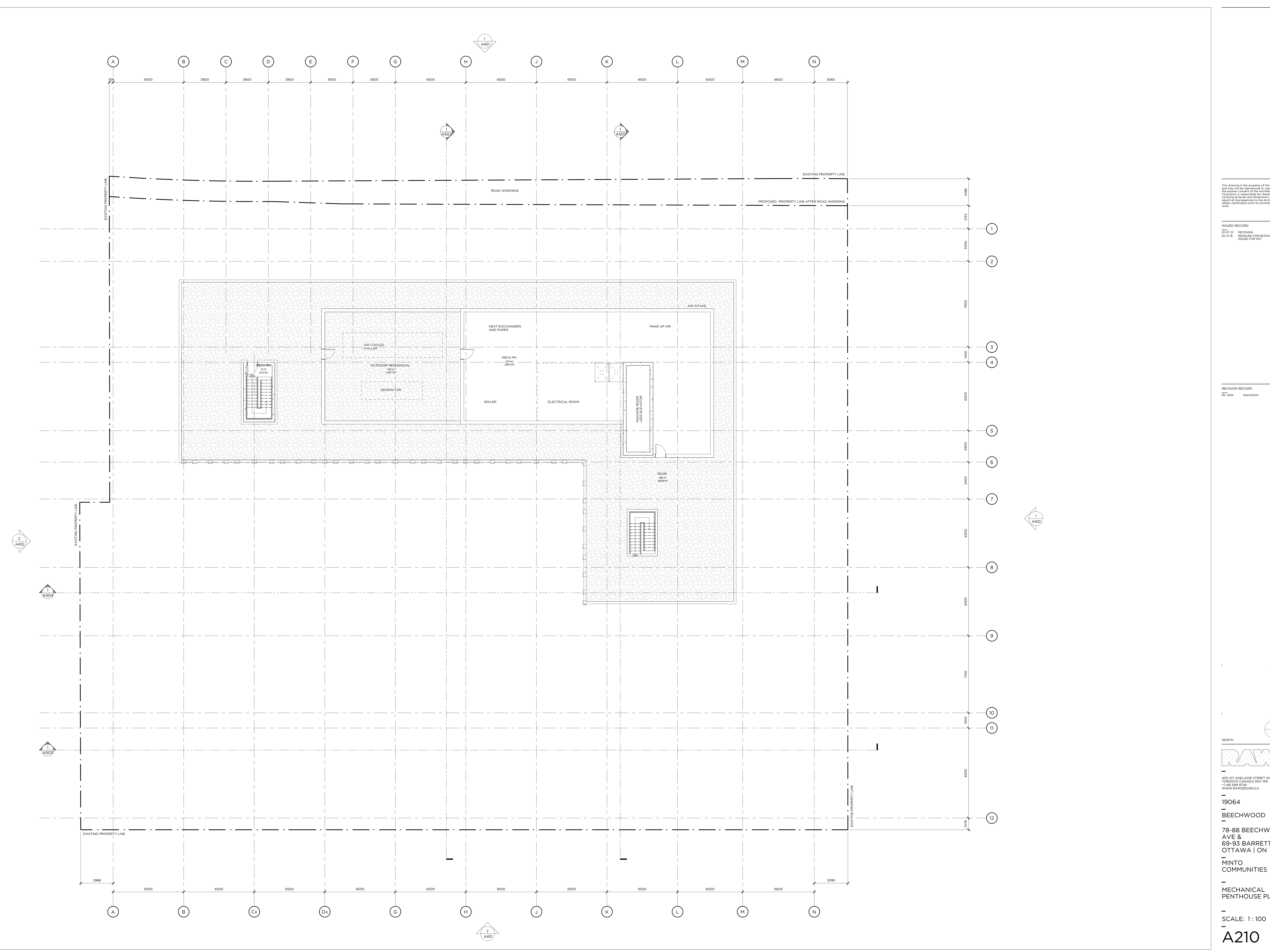
REVISION RECORD
 NO. Date Description



RAW
 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 595 9722
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO COMMUNITIES
 9TH FLOOR PLAN

SCALE: 1:100
A209



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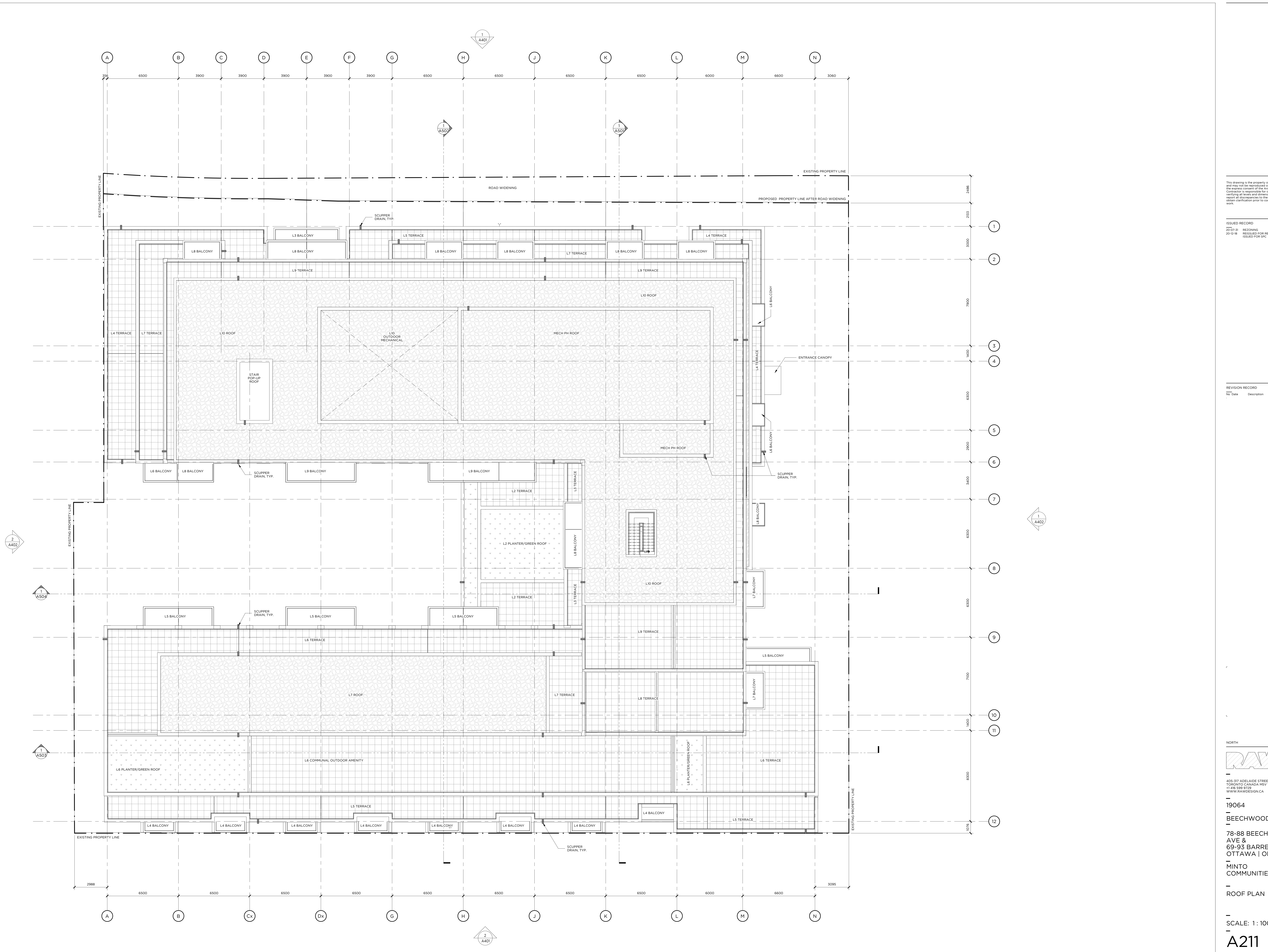
ISSUED RECORD
 2021-18 BEZONING
 20-12-18 REQUIRED FOR BEZONING + ISSUED FOR IPC

REVISION RECORD
 NO. Date Description

RAW
 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 416-595-9722
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO COMMUNITIES
 MECHANICAL PENTHOUSE PLAN

SCALE: 1:100
A210



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ISSUED RECORD
 2020-12-18: REVISION
 20-12-18: REQUIRED FOR BEZONING + ISSUED FOR IFC

REVISION RECORD
 NO. Date Description

NORTH

RAW
 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 416-595-9729
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO COMMUNITIES
 ROOF PLAN

SCALE: 1:100
A211



MATERIAL LEGEND

1	CLEAR GLAZING IN CURTAIN WALL
2	CLEAR GLAZING IN WINDOW WALL
3	SPANDREL GLASS IN WINDOW WALL
4	CLEAR GLASS GUARD RAIL
5	ARCHITECTURAL LOUVRE
6	BRICK/MASONRY/PRECAST 1
7	BRICK/MASONRY/PRECAST 2
8	METAL PANEL IN WINDOW WALL

NOTE
ALL GLAZING TO COMPLY WITH BIRD FRIENDLY DESIGN GUIDELINES

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ISSUED RECORD
2020-12-18 RECORDING REQUIRED FOR BEZONING + ISSUED FOR IFC

REVISION RECORD
NO Date Description

2 SOUTH ELEVATION
A401/1:100



1 NORTH ELEVATION
A401/1:100

NORTH

RAW

405-317 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P9
416-595-9729
WWW.RAWDESIGN.CA

19064
BEECHWOOD
78-88 BEECHWOOD
AVE &
69-93 BARRETTE ST
OTTAWA | ON
MINTO
COMMUNITIES
NORTH AND SOUTH BUILDING
ELEVATIONS
SCALE: 1:100

A401

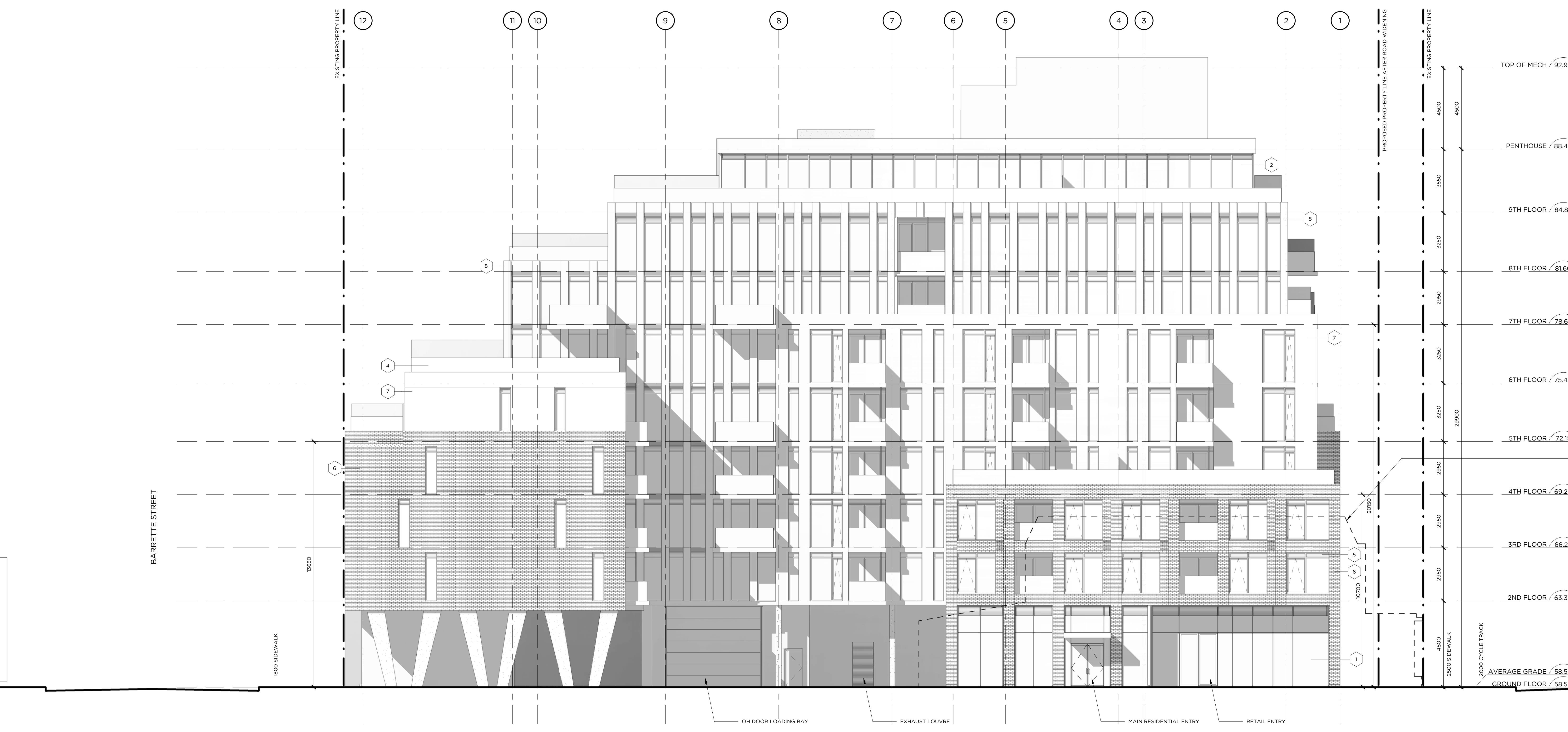


MATERIAL LEGEND

1	CLEAR GLAZING IN CURTAIN WALL
2	CLEAR GLAZING IN WINDOW WALL
3	SPANDREL GLASS IN WINDOW WALL
4	CLEAR GLASS GUARD RAIL
5	ARCHITECTURAL LOUVRE
6	BRICK/MASONRY/PRECAST 1
7	BRICK/MASONRY/PRECAST 2
8	METAL PANEL IN WINDOW WALL

NOTE:
ALL GLAZING TO COMPLY WITH BIRD FRIENDLY DESIGN GUIDELINES

2 WEST ELEVATION
A402 1:100



1 EAST ELEVATION
A402 1:100

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ISSUED RECORD
2020-12-18 BEZONING
20-12-18 REQUIRED FOR BEZONING + ISSUED FOR IFC

REVISION RECORD
NO Date Description

NORTH

405-317 ADELAIDE STREET WEST
TORONTO CANADA M5V 1P9
+1 416 599 9723
WWW.RAWDESIGN.CA

19064
BEECHWOOD
78-88 BEECHWOOD
AVE &
69-93 BARRETTE ST
OTTAWA | ON

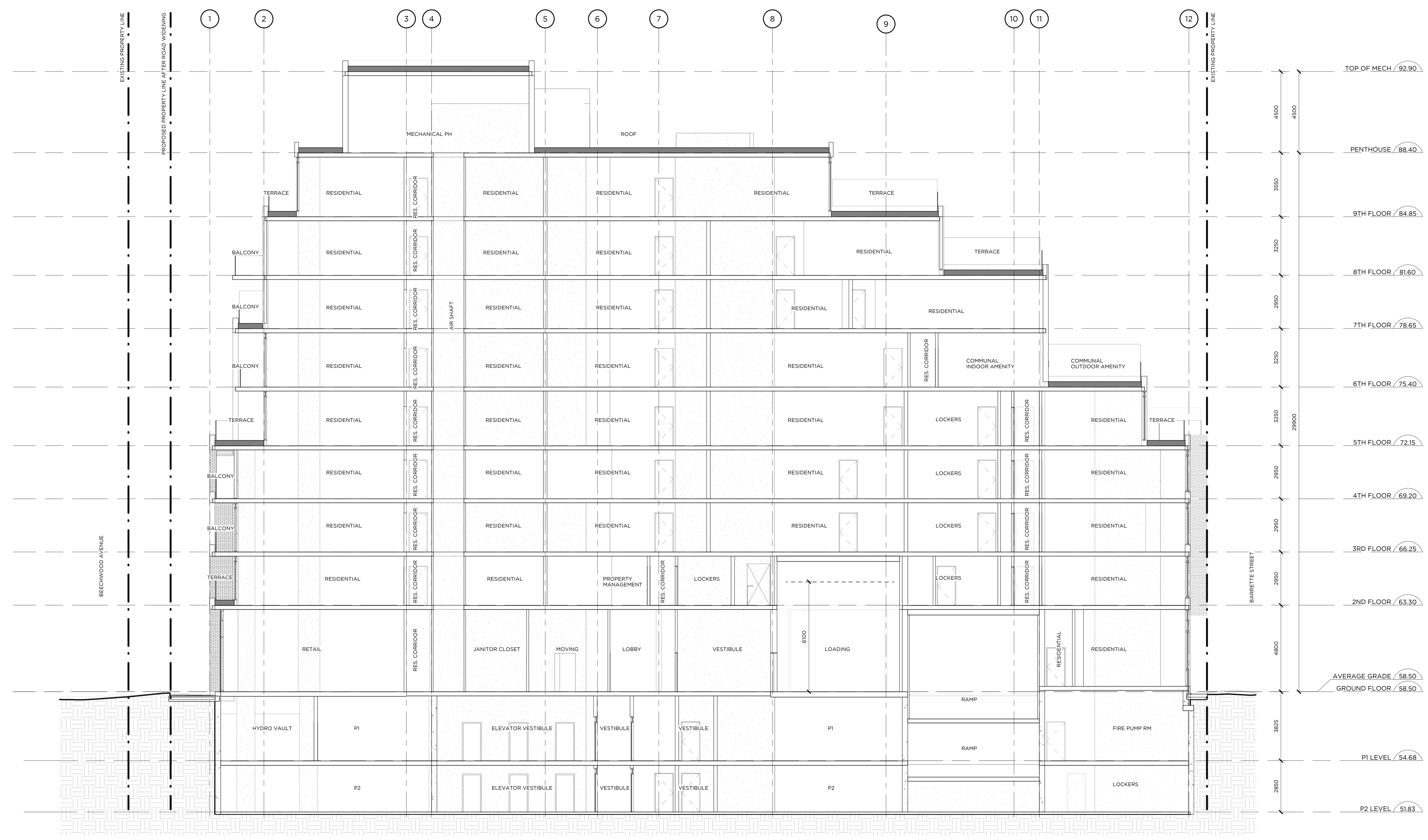
MINTO
COMMUNITIES
EAST AND WEST
BUILDING
ELEVATIONS

SCALE: 1:100
A402

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ISSUED RECORD
 2020-12-18 RECORDING
 20-12-18 REQUIRED FOR BEZONING + ISSUES FOR IFC

REVISION RECORD
 NO Date Description



NORTH

RAW

405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 416-599-9729
 WWW.RAWDESIGN.CA

19064

BEECHWOOD

78-88 BEECHWOOD
 AVE &
 69-93 BARRETTE ST
 OTTAWA | ON

MINTO
 COMMUNITIES

BUILDING
 SECTIONS

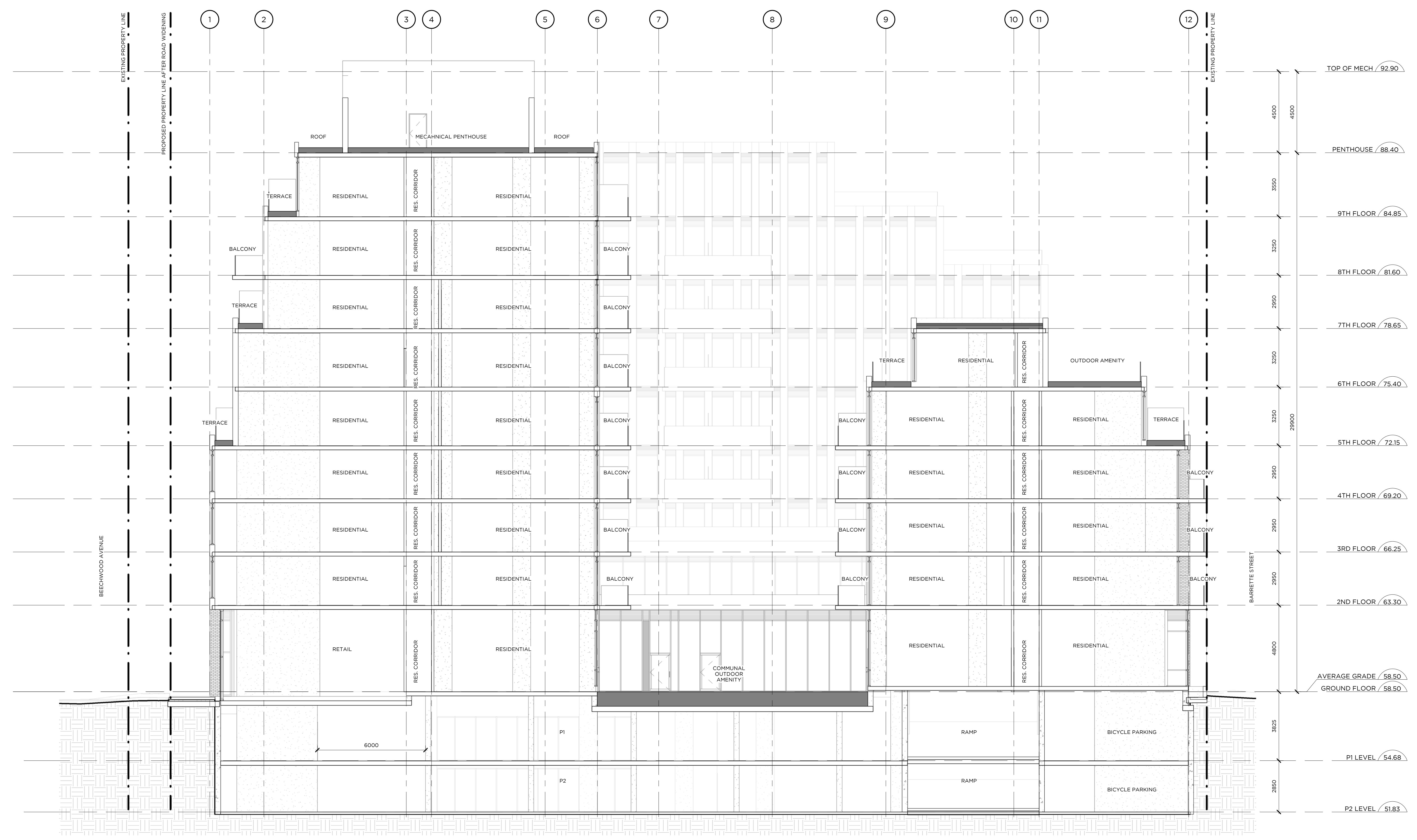
SCALE: 1:100

A501

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ISSUED RECORD
 25/01/18 BEZONING
 20-12-18 REVISED FOR BEZONING + ISSUED FOR IFC

REVISION RECORD
 No Date Description



NORTH

 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9729
 WWW.RAWDESIGN.CA

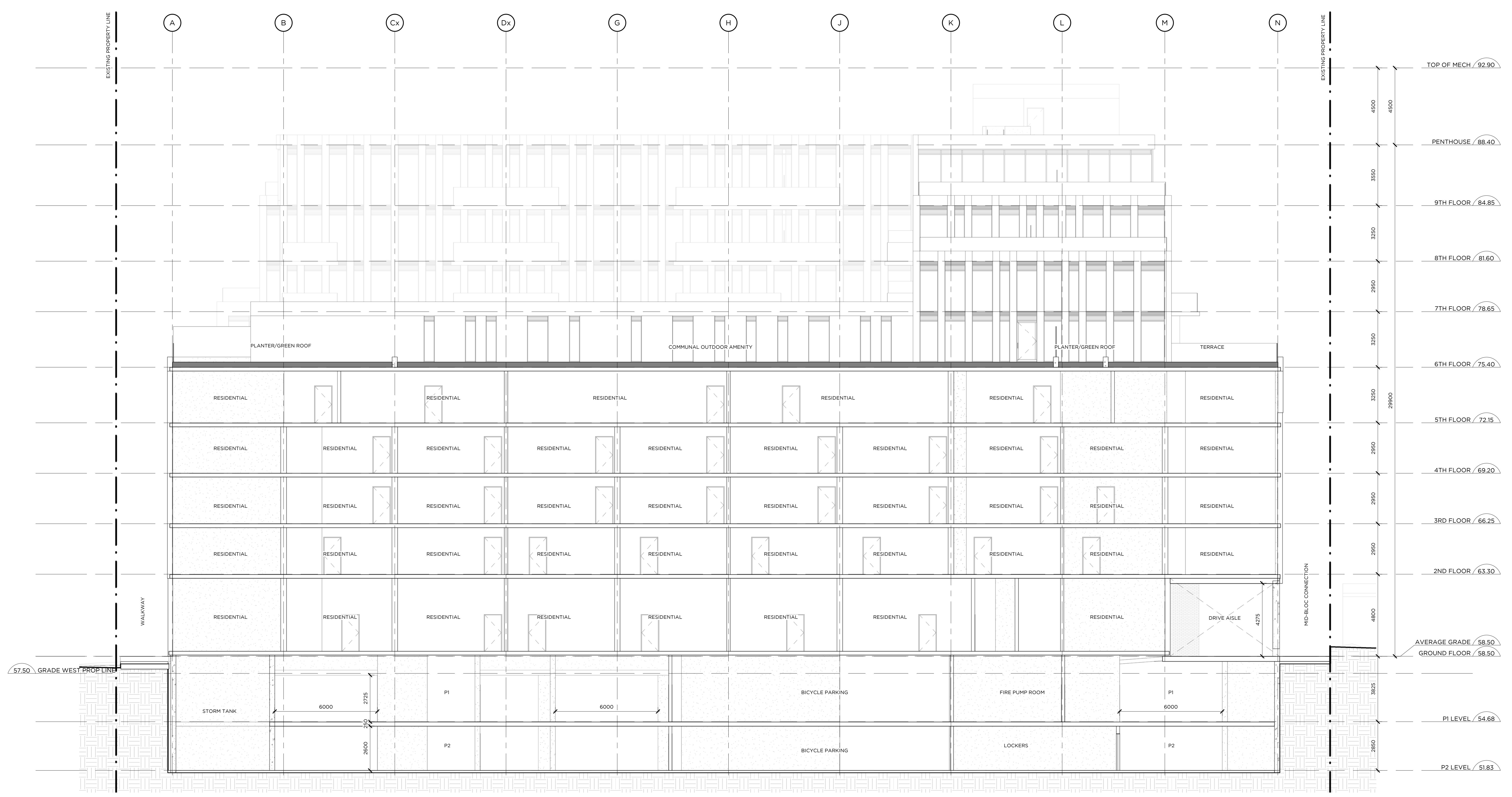
19064
 BEECHWOOD
 78-88 BEECHWOOD
 AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO
 COMMUNITIES
 BUILDING
 SECTIONS

SCALE: 1:100
A502

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ISSUED RECORD
 2020-12-18 REZONING
 20-12-18 REZONING FOR BEZONING +
 ISSUED FOR IFC

REVISION RECORD
 No Date Description



NORTH

 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 595 9729
 WWW.RAWDESIGN.CA

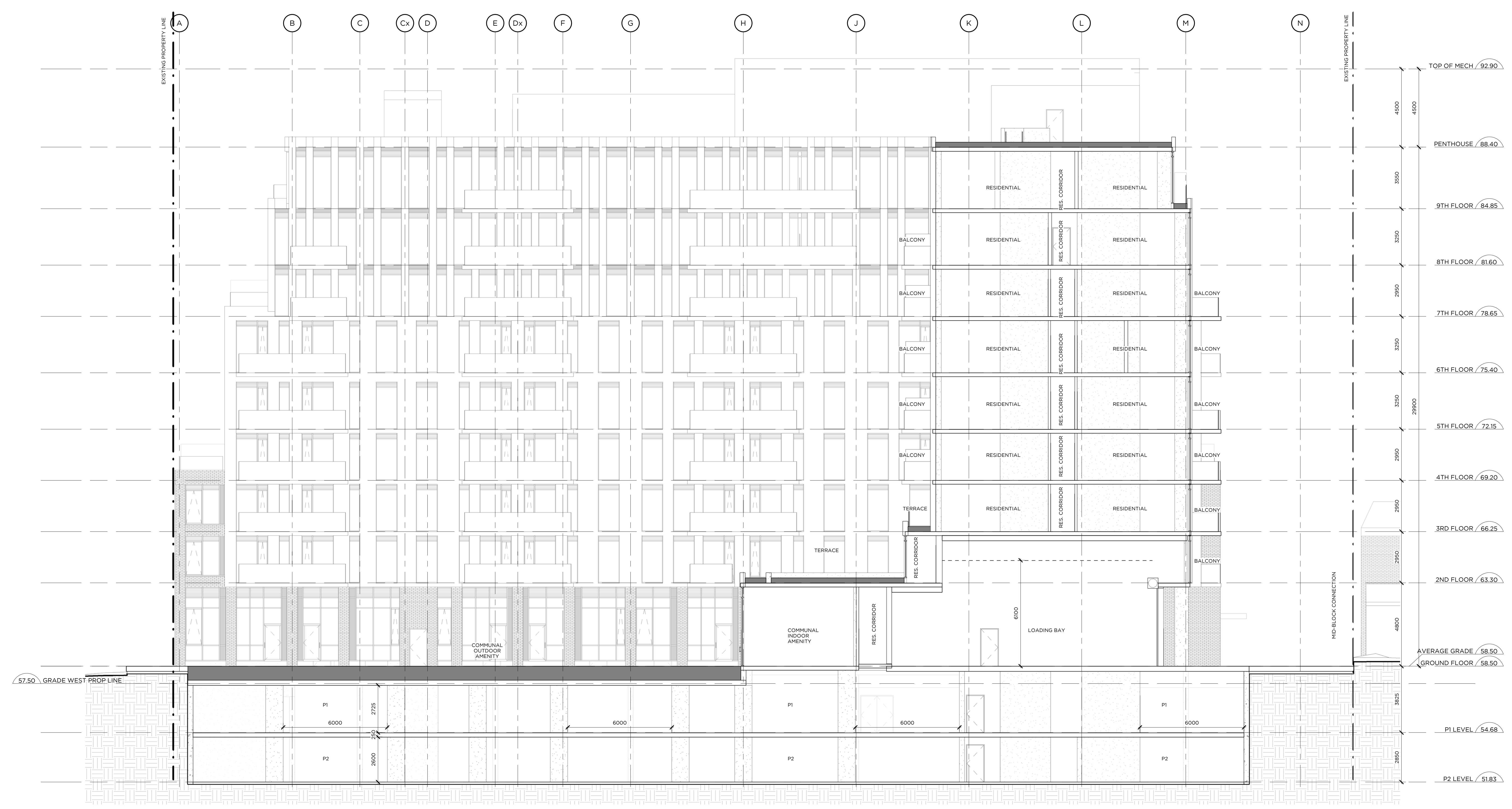
19064
 BEECHWOOD
 78-88 BEECHWOOD
 AVE &
 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO
 COMMUNITIES
 BUILDING
 SECTIONS

SCALE: 1:100
A503

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ISSUED RECORD
 2501-18 BEZONING
 20-12-18 REVISED FOR BEZONING + ISSUED FOR IFC

REVISION RECORD
 No Date Description



NORTH

 405-317 ADELAIDE STREET WEST
 TORONTO CANADA M5V 1P9
 +1 416 599 9729
 WWW.RAWDESIGN.CA

19064
 BEECHWOOD
 78-88 BEECHWOOD AVE & 69-93 BARRETTE ST
 OTTAWA | ON
 MINTO COMMUNITIES
 BUILDING SECTIONS

SCALE: 1:100
A504