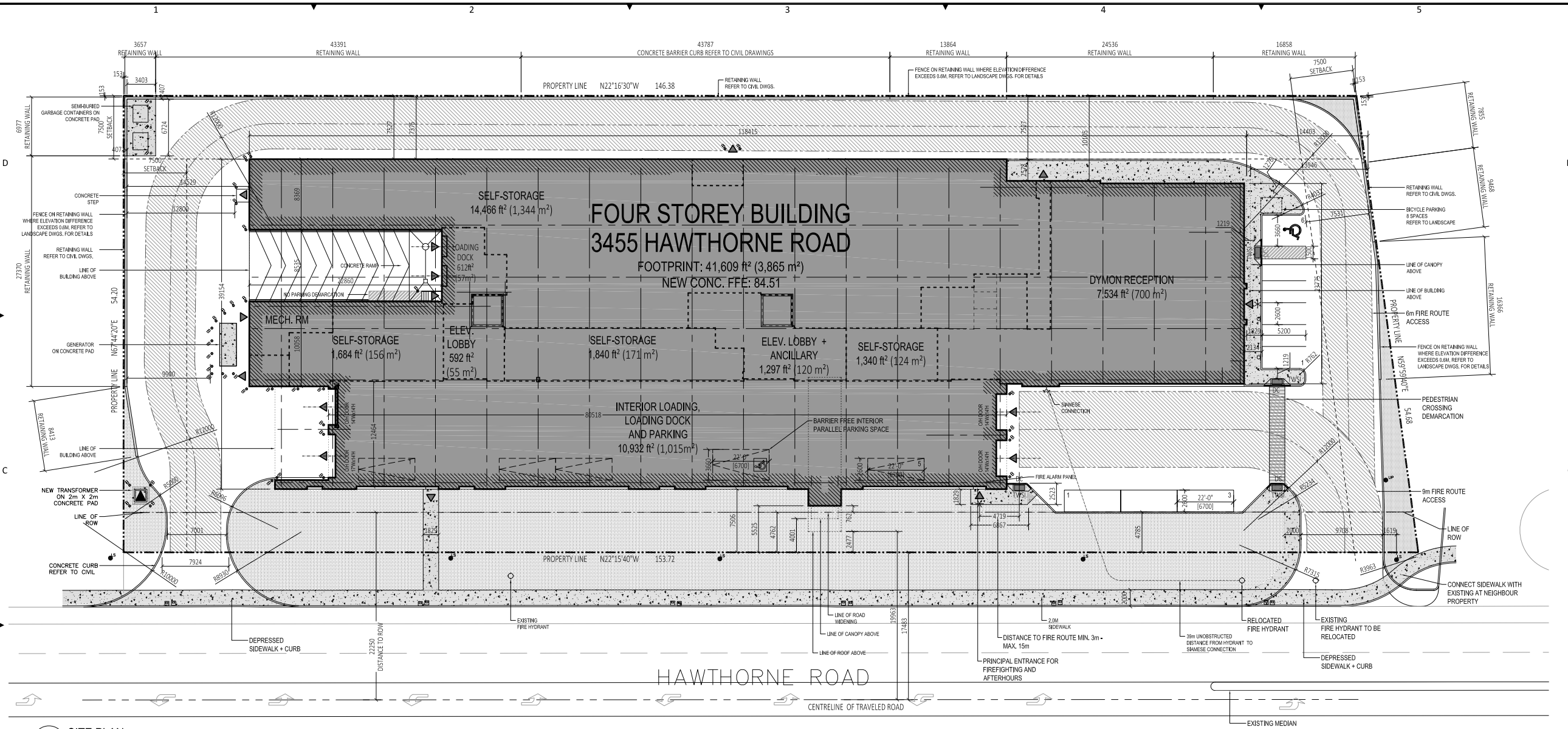


# Dymon - 3455 Hawthorne Road Elevations

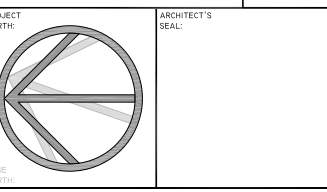
Wednesday, August 11, 2021

Arch D (24x36) title block © 2018, Nicholas Caragianis Architect Inc.



**nicholas caragianis architect inc.**

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ISSUE	DATE	DESCRIPTION
16	2021/06/25	FOR SPA COORDINATION
15	2021/07/16	FOR PERMIT
14	2021/06/25	FOR SPA COORDINATION
13	2021/06/25	ISSUED FOR COORDINATION
ISSUE	YYYY/MM/DD	ISSUES DESCRIPTION



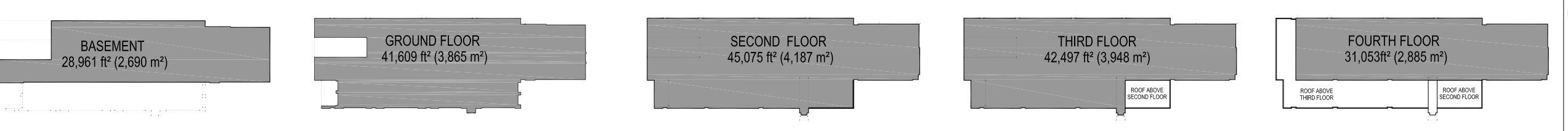
CLIENT NAME AND ADDRESS:  
**DYMON GROUP**  
 2-1830 WALKLEY ROAD  
 OTTAWA ON, K1H 8K3

PROJECT NAME & LOCATION:  
**HAWTHORNE**  
 3455 HAWTHORNE ROAD  
 OTTAWA ON

NCA PROJECT NUMBER: 2019.0109 FILE NUMBER:  
 OWNER'S CONTRACT NUMBER: OWNER'S PROJECT NUMBER:

CAD FILE NAME:  
 SHEET TITLE:  
 SCALE:  
 SHEET ID:  
 DRAWN BY:  
 DATE CREATED:

**1 SITE PLAN**  
 A-100 SCALE: 1:250



**2 FLOOR PLATES**  
 A-100 N.T.S.

**LEGEND**

	PROPOSED BUILDING LOCATION		CATCH BASIN
	EXISTING NEIGHBORING BUILDINGS		AREA DRAIN
	LANDSCAPED AREA		SIAMESE CONNECTION
	CONCRETE/SIDEWALK		ENTRANCE/EXIT LOCATION
	BARRIER FREE PARKING CLEARANCE		PRINCIPAL ENTRANCE
	CURB		TRANSFORMER
	DEPRESSED CURB		FENCE & GATE
	NEW TREE/VEGETATION (REFER TO LANDSCAPE PLAN FOR TYPE, SIZE AND LOCATION)		MAN HOLE COVER
	EXISTING TREE/VEGETATION IS FOR REFERENCE ONLY. REFER TO LANDSCAPE PLAN		EXISTING UTILITY POLE / LIGHT STANDARD
	BARRIER FREE PARKING		FIRE HYDRANT
	INTERIOR PARKING		NLS (NEW LIGHT STANDARD, REFER TO ELECTRICAL)
	EXISTING PAVERS		FIRE ROUTE ACCESS / NO PARKING SIGN SEE DRAWING 2/A-101
	EXISTING CONCRETE/SIDEWALK		STOP SIGN SEE DRAWING 1/A-101
	TACTILE MILING SURFACE INDICATOR		VEHICULAR TRAFFIC DIRECTION

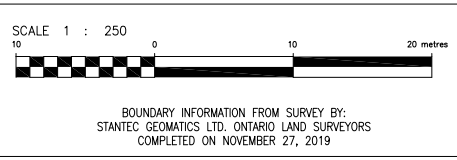
**SITE STATISTICS**

LEGAL DESCRIPTION OF PROPERTY:  
 PART OF LOT 5 CONFESSION 6 (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA SURVEYED BY STANTEC GEOMATICS LIMITED ONTARIO LAND SURVEYORS ON 2019-11-27

IL ZONE - ZONING PROVISIONS	REQUIRED	PROPOSED
Minimum Lot Area	2,000m <sup>2</sup>	8,132.5m <sup>2</sup>
Minimum Lot Frontage	No minimum	153.7m
Minimum Lot Coverage	65%	50%
Minimum Front and Corner Yard Setback	7.5m	4.6m (marquee to property line) 4.0m (canopy to property line)
Minimum Interior Side Yard Setback	7.5m	North: 14.8m South: 14.4m (marquee to property line) South: 13.5m (canopy to property line)
Minimum Rear Yard Setback	7.5m	7.5m
Maximum Building Height	18.0m	17.9m (Ave. grading to high point of roof)
Minimum Width of Landscape Area	3m	Front Yard 7.5m
Minimum Floor Space Index	2	1.98
Minimum Vehicle Parking for Warehouse (storage facility) 0.8 per 100m <sup>2</sup> of GFA	89	9 Exterior 5 Interior
Ratio 3.4 per 100m <sup>2</sup> of GFA = (85m <sup>2</sup> / 100m <sup>2</sup> ) x 3.4	27	

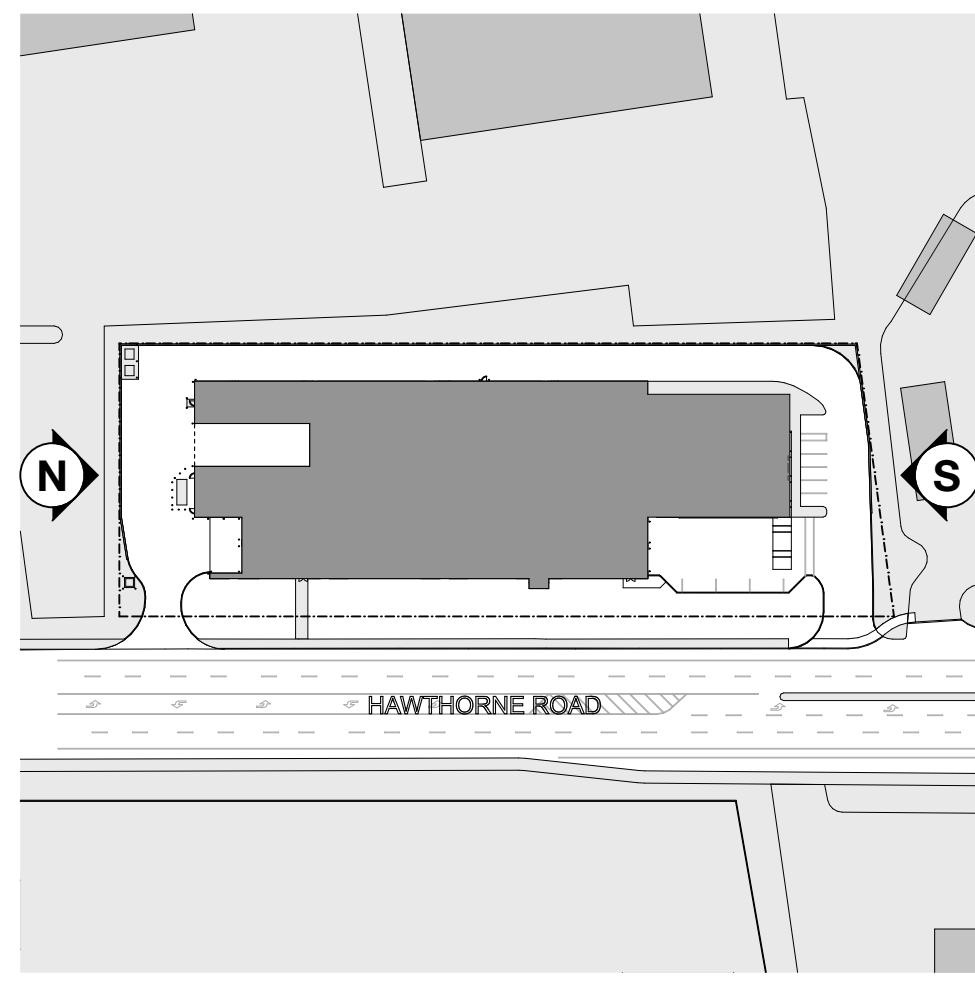
IL ZONE - ZONING PROVISIONS	REQUIRED	PROPOSED
Minimum Drive Aisle Width	6.7m	7.3m
Minimum Bicycle Parking for Warehouse (storage facility) 1 per 200m <sup>2</sup> of GFA = (12,412m <sup>2</sup> / 2,000m <sup>2</sup> ) x 1	6 spaces	8
Ratio 1 per 250m <sup>2</sup> of GFA = (805m <sup>2</sup> / 250m <sup>2</sup> ) x 1	3 spaces	
Loading Spaces	N/A	2 Exterior 1 Interior
Accessible Parking Space	N/A	

BUILDING AREAS	REQUIRED	PROPOSED
BASEMENT FLOOR	2,890 m <sup>2</sup> (28,961 ft <sup>2</sup> )	15.0 %
GROUND FLOOR	3,866 m <sup>2</sup> (41,609 ft <sup>2</sup> )	22.5 %
ELECTRICAL MEZZANINE	61 m <sup>2</sup> (657 ft <sup>2</sup> )	0.5 %
SECOND TO FOURTH FLOOR	11,020 m <sup>2</sup> (118,625 ft <sup>2</sup> )	62.0 %
<b>TOTAL GROUND TO FOURTH FLOOR (**)</b>	<b>14,849 m<sup>2</sup> (160,911 ft<sup>2</sup>)</b>	<b>100 %</b>
(**) SECOND: 45,075 ft <sup>2</sup> (4,187 m <sup>2</sup> ); THIRD: 42,497 ft <sup>2</sup> (3,948 m <sup>2</sup> ); FOURTH: 31,053 ft <sup>2</sup> (2,885 m <sup>2</sup> )		
<b>UNUSE FLOOR AREA (GFA)</b>		
BUILDING FOOTPRINT (INCLUDES INT. LOADING & PARKING AND LOADING DOCK)	3,866 m <sup>2</sup> (41,609 ft <sup>2</sup> )	
ELECTRICAL SERVICE MEZZANINE	61 m <sup>2</sup> (657 ft <sup>2</sup> )	0.5 %
ELEVATOR SHAFT AND STAIRS (BASEMENT TO 4TH FLOOR)	472 m <sup>2</sup> (5,085 ft <sup>2</sup> )	2.5 %
ELEVATOR LOBBY 1 & 2 + ANCILLARY SPACES GROUND FLOOR	175 m <sup>2</sup> (1,889 ft <sup>2</sup> )	1.0 %
INTERIOR LOADING & PARKING AND LOADING DOCK (***)	1,072 m <sup>2</sup> (11,544 ft <sup>2</sup> )	6.0 %
RECEPTION + DYMON RETAIL (****)	700 m <sup>2</sup> (7,534 ft <sup>2</sup> )	4.0 %
<b>TOTAL SELF STORAGE BASEMENT TO 4TH (****)</b>	<b>15,081 m<sup>2</sup> (162,341 ft<sup>2</sup>)</b>	<b>86.0 %</b>
<b>TOTAL GFA 4-STOREY BLDG. (****)</b>	<b>17,116 m<sup>2</sup> (184,237 ft<sup>2</sup>)</b>	
<b>TOTAL GFA</b>	<b>16,100 m<sup>2</sup> (173,305 ft<sup>2</sup>)</b>	
(***) EXCLUDES STAIR AND ELECTRICAL MEZZANINE (****) EXCLUDES ELEVATORS AND STAIRS (Basmt to 4th Floor)		

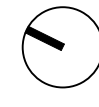


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Revision	Reason	Date
01	ZBA SUBMISSION	2020.06.16
02	SPA SUBMISSION	2020.12.15
03	ZBA & SPA RESUBMISSION	2021.05.17
04	ZBA & SPA RESUBMISSION	2021.08.11

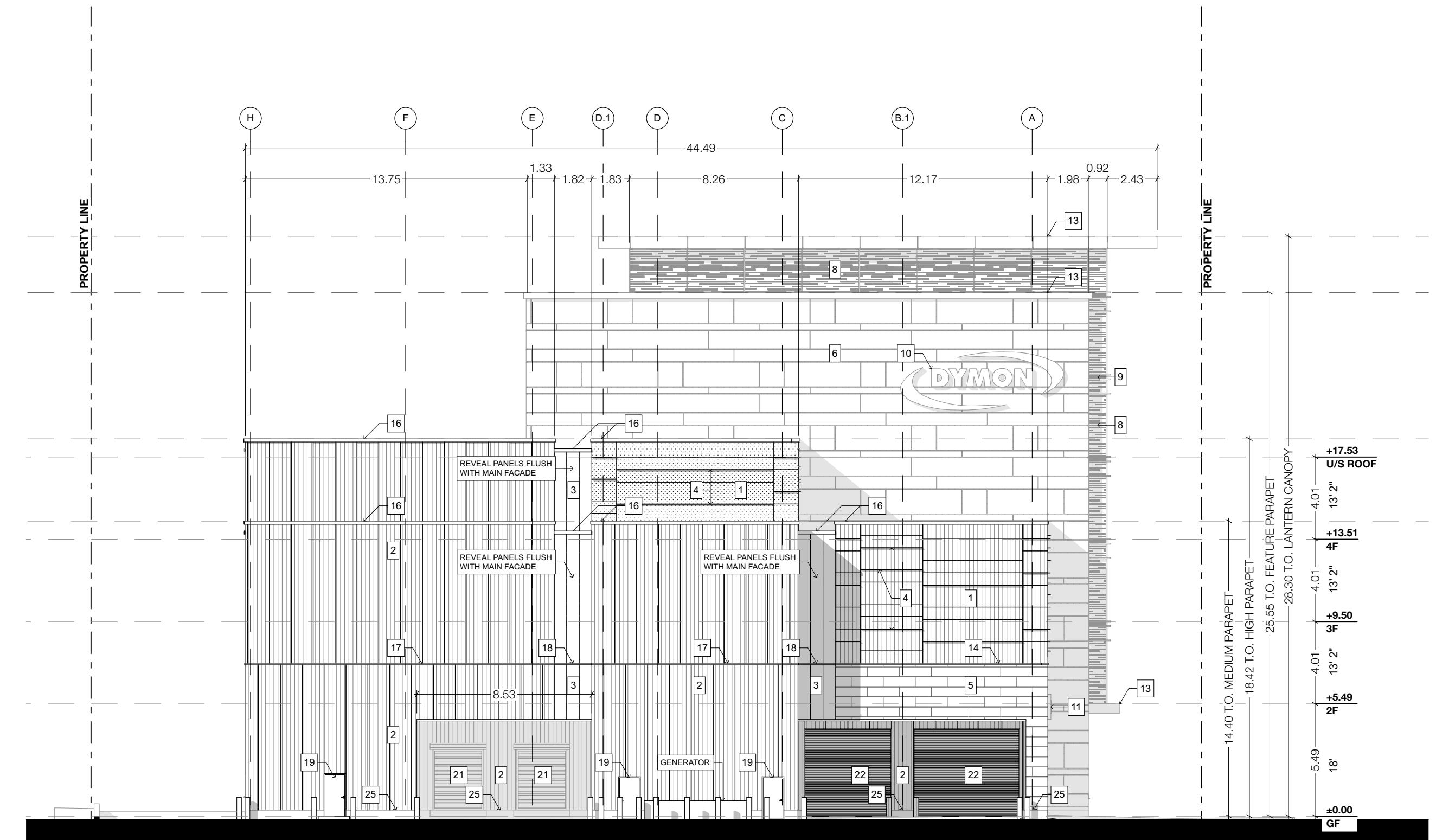


KEY PLAN  
SCALE: 1:1500

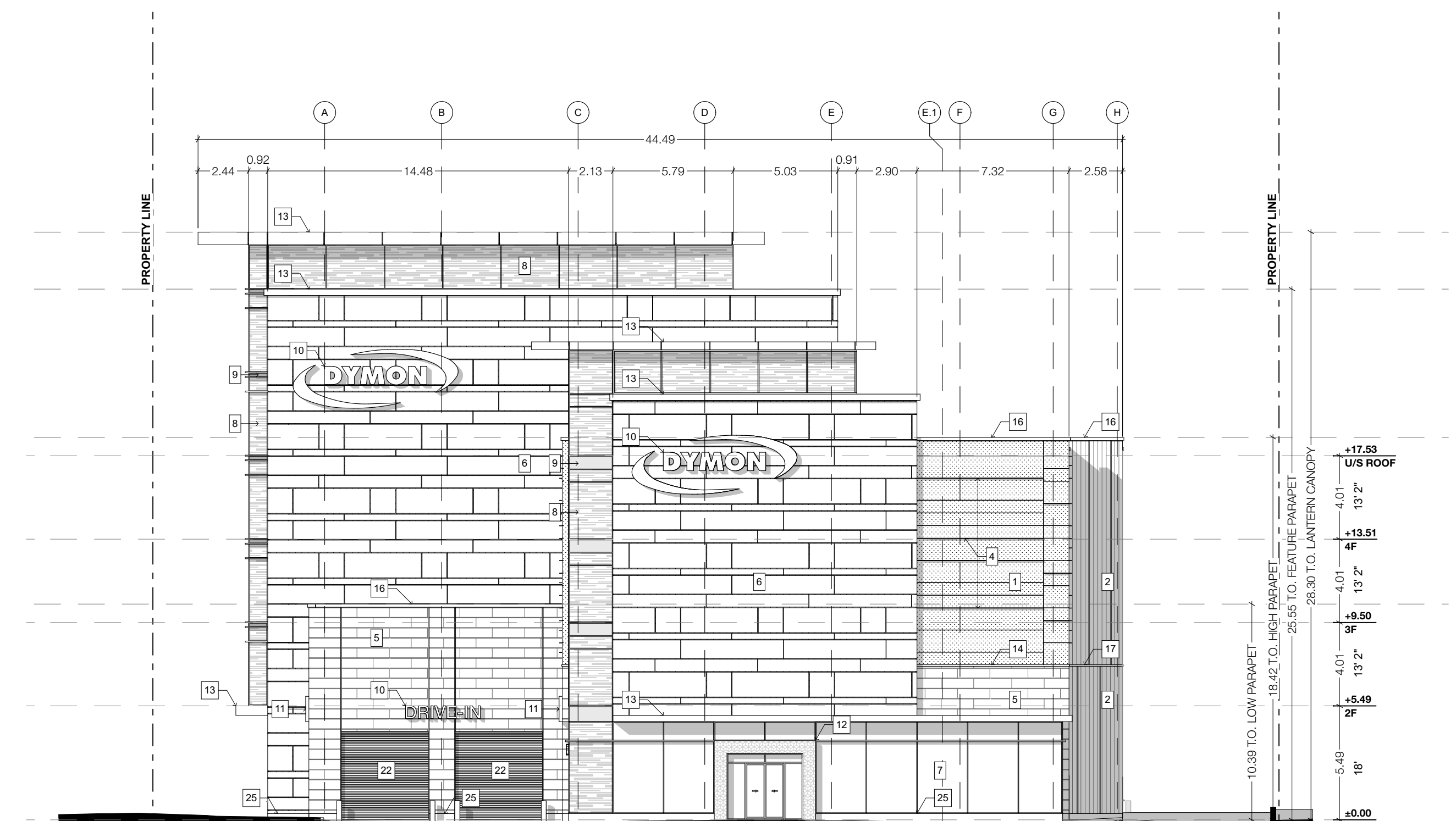


### LEGEND

- 1 INSULATED METAL PANEL (IMP) SYSTEM - HORIZONTAL ORIENTATION - ARCHITECTURAL PROFILE - COLOUR: 'WEATHERED ZINC'
- 2 INSULATED METAL PANEL (IMP) SYSTEM - VERTICAL ORIENTATION - 'LIGHT MESA' PROFILE - COLOUR: 'WEATHERED ZINC'
- 3 INSULATED METAL PANEL (IMP) SYSTEM - VERTICAL ORIENTATION (RECESSES & REVEALS) - 'LIGHT MESA' PROFILE - COLOUR: 'MEDIUM BRONZE'
- 4 KINGSPAN KARRIER FIN - STANDARD RECTANGLE FIN COLOUR: 'WEATHERED ZINC'
- 5 3 1/2" ARCHITECTURAL MASONRY UNIT - ARISORAFT ADAIR LIMESTONE - FINISH: FINE DRESSED SEPA-VEINED - RUNNING BOND
- 6 ALU/COL - ALUMINUM COMPOSITE MATERIAL - FINISH: 'LIGHT WENGE' 4mm FR CORE
- 7 CURTAIN WALL GLAZING - FINISH: VISION GLASS
- 8 CURTAIN WALL GLAZING - FINISH: FRITTED WINDOW FILM ON VISION GLASS
- 9 SPANDREL PANEL - COLOUR TO MATCH IMP 'WEATHERED ZINC'
- 10 INTERNALLY LIT SIGNAGE - COLOUR: TBD
- 11 GLASS SIGNAGE BAND - COLOUR: TBD
- 12 BACK-LIT GLASS WITH FRIT PATTERN - COLOUR TO MATCH - 'BOLD BLUE' WITH WHITE FRITTING
- 13 METAL CANOPY - COLOUR TO MATCH IMP 'WEATHERED ZINC'
- 14 CONTINUOUS BENT FLASHING SILL - COLOUR TO MATCH IMP 'WEATHERED ZINC'
- 15 CONTINUOUS BENT METAL CAP - PREFINISHED - COLOUR TO MATCH IMP 'MEDIUM BRONZE'
- 16 FIRESTONE PREFINISHED METAL CAP - FINISH: 'SLATE GREY' (ALL BENT METAL CAP PARAPETS)
- 17 PREFINISHED METAL IMP STACK JOINT COVER TRIM - COLOUR TO MATCH IMP 'WEATHERED ZINC'
- 18 PREFINISHED METAL IMP STACK JOINT COVER TRIM - COLOUR TO MATCH IMP 'MEDIUM BRONZE'
- 19 INSULATED HOLLOW METAL DOOR - COLOUR TO MATCH IMP 'WEATHERED ZINC'
- 20 INSULATED HOLLOW METAL DOOR - COLOUR TO MATCH ARCHITECTURAL MASONRY UNIT 'ADAIR LIMESTONE'
- 21 INSULATED HOLLOW METAL DOOR - COLOUR TO MATCH VERTICAL IMP 'MEDIUM BRONZE'
- 22 HIGH SPEED ROLL-UP O/H DOOR - FINISH: STEEL FRAME WITH POLYCARBONATE VISION SLATS
- 23 INSULATED O/H DOOR - COLOUR TO MATCH IMP 'WEATHERED ZINC'
- 24 INSULATED O/H DOOR - COLOUR TO MATCH IMP 'MEDIUM BRONZE'
- 25 POURED CONCRETE
- 26 PREFINISHED METAL CAP - BROWN COLOUR TO BEST MATCH ACM WOOD PATTERN 'LIGHT WENGE'



NORTH ELEVATION



SOUTH ELEVATION

**Note:** Building permit issuance shall be subject to the building permit drawings not being in contravention with these approved plans and drawings including, but not limited to, the exterior design of the building and exterior building materials.

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job title  
**Dymon Storage**  
3455 Hawthorne Road  
Ottawa, Ontario

client  
**Dymon Capital Corporation**

city file number

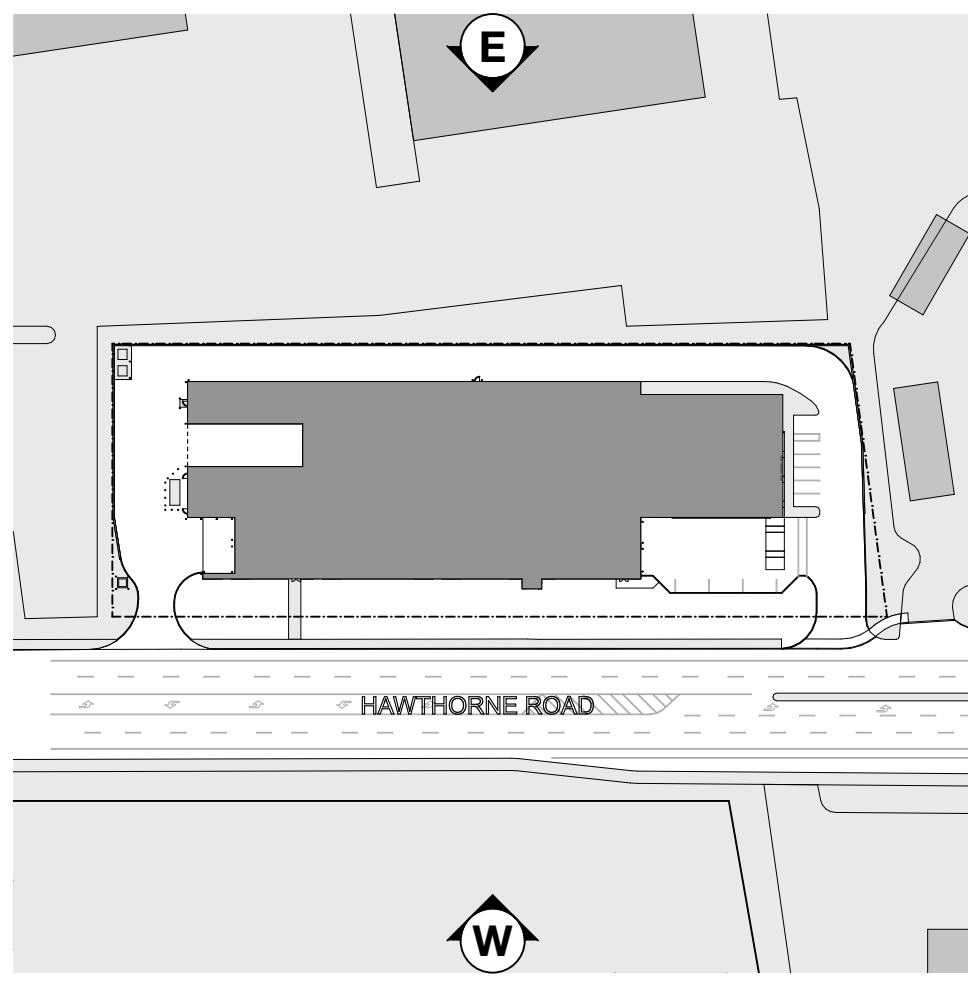
sheet title  
**North & South Elevations**

drawn by **ST, DJ** checked by **PJ**

issue date  
**Wednesday, August 11, 2021**

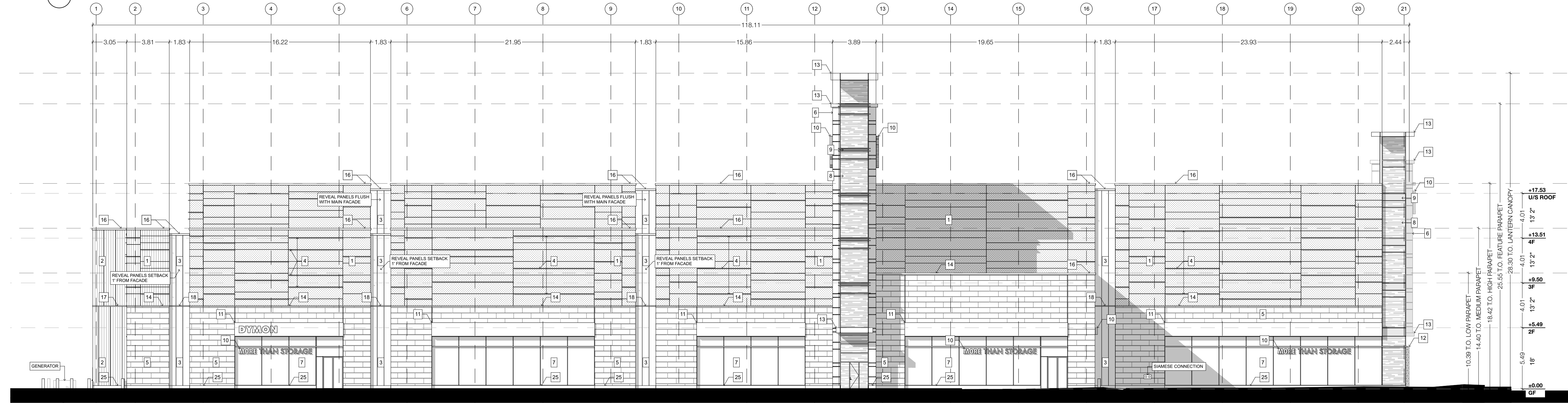
scale **1:200** job number **1611-27**

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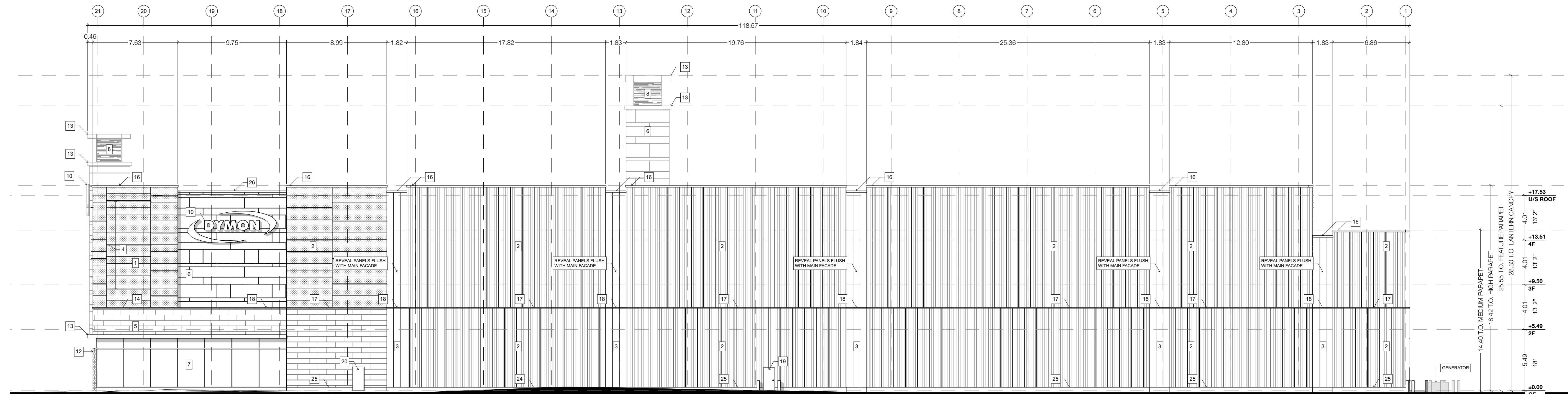


KEY PLAN  
SCALE: 1:1500

LEGEND	
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WEST ELEVATION



EAST ELEVATION

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job title  
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Ottawa, Ontario

client  
**Dymon Capital Corporation**  
city file number

sheet title  
**West & East Elevations**

drawn by  
**ST, DJ**

checked by  
**PJ**

issue date  
**Wednesday, August 11, 2021**

scale  
**1:200**

job number  
**1611-27**





1. West Elevation



2. Driving West on Hunt Club Rd



2. Driving North on Hawthorne Rd



3. Driving South on Hawthorne Rd

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job title & location  
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**3455 Hawthorne Road**  
**Ottawa, Ontario**

client  
**Dymon Capital Corporation**

city file number

sheet title  
**3D Massing Views 1**

drawn by  
**ST, DJ**

checked by  
**PJ**

issue date  
**Wednesday, August 11, 2021**

scale

job number  
**1611-27**