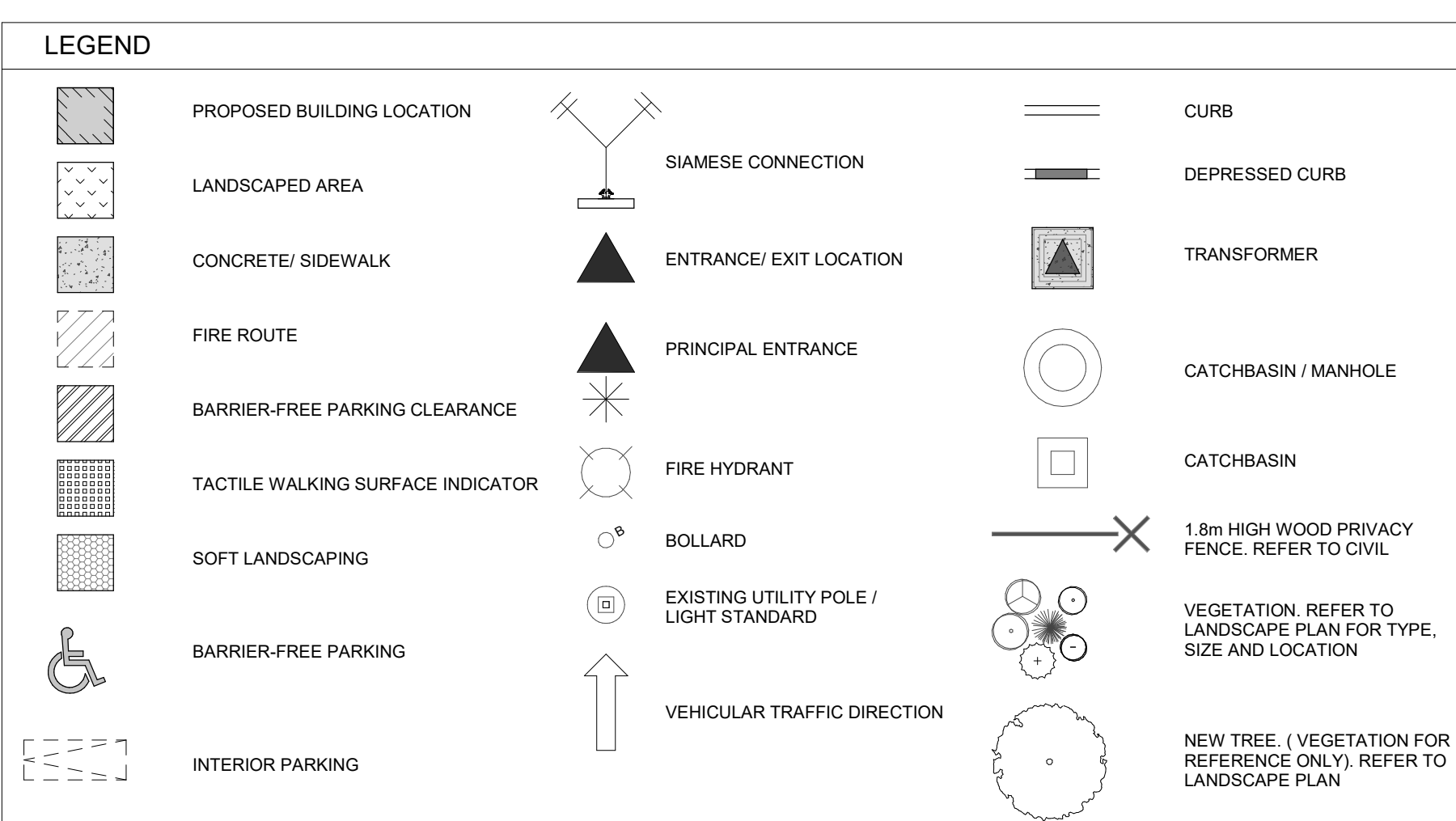
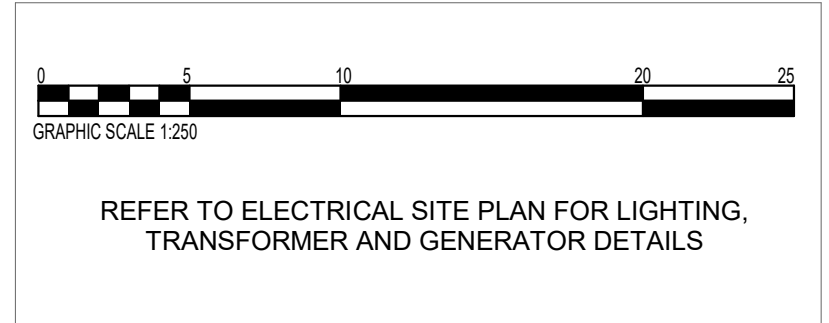


1 SITE PLAN
A100
SCALE: 1:250



SITE NOTES:
TOPOGRAPHICAL INFORMATION:
 PART OF LOT 5 CONCESSION 6 (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA SURVEYED BY STANTEC GEOMATICS LIMITED ONTARIO LAND SURVEYORS ON NOVEMBER 27, 2019.

SITE STATISTICS:

IL ZONING - PROVISIONS:

ZONING PROVISIONS	REQUIRED	PROPOSED
MIN. LOT AREA (m²)	2,000 m²	8,132 m²
MIN. LOT FRONTAGE (m)	NO MIN.	154m
MAX. LOT COVERAGE (%)	65%	50%
MIN. FRONT YARD YARD SETBACK:	0.6 m	4.6 m (MARQUEE TO PROPERTY LINE) 4.0 m (CANOPY TO PROPERTY LINE)
MIN. INTERIOR SIDE YARD SETBACK:	7.5 m	NORTH: 14.9 m SOUTH: 14.4 m (MARQUEE TO PROPERTY LINE) SOUTH: 13.9 m (CANOPY TO PROPERTY LINE)
MIN. REAR YARD SETBACK:	7.5 m	7.5 m
MAX. BUILDING HEIGHT:	18 m	17.9 (AVG. GRADING TO HIGH POINT OF ROOF)
MIN. WIDTH OF LANDSCAPE AREA ADJUTING STREET:	0 m	FRONT: 7.5 m
MAX. FLOOR SPACE INDEX:	2	1.98
MINIMUM PARKING FOR WAREHOUSE (SELF-STORAGE FACILITY)	14 SPACES	9 EXTERIOR 5 INTERIOR

IL [2727] ZONING - PROVISIONS:

ZONING PROVISIONS	REQUIRED	PROPOSED
MINIMUM DRIVE ABLE WIDTH	6.7 m	7.3
MINIMUM BICYCLE PARKING FOR WAREHOUSE (STORAGE FACILITY) 1 PER 2000 OF GFA + (13.12m/2,000sq) x 1	7 SPACES	8
LOADING SPACES:	1	1 EXTERIOR
OVERSIZED LOADING SPACES:	1	1 EXTERIOR
ACCESSIBLE PARKING SPACE:	1 TYPE A	2 EXTERIOR 1 INTERIOR

SITE AREAS:

LOT AREA:	8,132 m² (100%)
PAVED AREA:	3,136 m² (38.4%)
LANDSCAPED AREA:	1,144 m² (14.1%) INCLUDES CONC. SIDEWALKS
BUILDING FOOTPRINT:	3,866 m² (47.2%)

BUILDING AREAS:

BASEMENT FLOOR:	2,690 m²	28,961 ft²	15.0 %
GROUND FLOOR:	3,866 m²	41,610 ft²	22.5 %
ELECTRICAL MEZZANINE:	61 m²	657 ft²	0.3 %
SECOND TO FOURTH FLOOR:	11,020 m²	118,618 ft²	62.0 %
TOTAL BASEMENT TO FOURTH FLOOR (**)	14,947 m²	160,888 ft²	100 %
(**) SECOND: 41,075 ft² (4,187 m²), THIRD: 42,497 ft² (3,948 m²), FOURTH: 31,053 ft² (2,885 m²)			

GROSS FLOOR AREA (GFA):

BUILDING FOOTPRINT (INCLUDES INT. LOADING & PARKING AND LOADING DOCK)	3,866 m²	41,609 ft²	
ELECTRICAL SERVICE MEZZANINE	61 m²	657 ft²	0.5 %
ELEVATOR SHAFT AND STAIRS (BASEMENT TO 4TH FLOOR)	472 m²	5,085 ft²	2.5 %
ELEVATOR LOBBY 1 & 2 AND ANCILLARY SPACES GROUND FLOOR	175 m²	1,889 ft²	1.0 %
INTERIOR LOADING & PARKING AND LOADING DOCK (**)	1,072 m²	11,544 ft²	6.0 %
DYMON RECEPTION (**)	700 m²	7,534 ft²	4.0 %
TOTAL SELF-STORAGE BASEMENT TO 4TH (**)	15,061 m²	162,341 ft²	86.0 %
TOTAL GFA 4-STOREY BUILDING (***)	17,116 m²	184,237 ft²	
TOTAL GFA	16,100 m²	173,905 ft²	EXCLUDING INTERIOR LOADING & PARKING AND DOCK

(**) EXCLUDES STAIR AND ELECTRICAL MEZZANINE
 (***) EXCLUDES ELEVATORS AND STAIRS (BASEMENT TO 4TH FLOOR)

GENERAL NOTES:

- DO NOT SCALE DRAWINGS. ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS: FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE. REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.
- GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE: GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
- ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.
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ACTUAL NORTH
 PROJECT NORTH

ISSUE RECORD

NO.	DESCRIPTION	DATE
1	ISSUED FOR SPA APPROVAL	2022-06-21

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PROJECT TITLE
DYMON 3455 HAWTHORNE

DRAWING TITLE
SITE PLAN

DATE	DRAWN	JOB NO.	DRAWING NO.
APRIL 2022	CL	3467	A100
SCALE	REVIEWED		
As indicated	TD		

ARCHITECTURAL