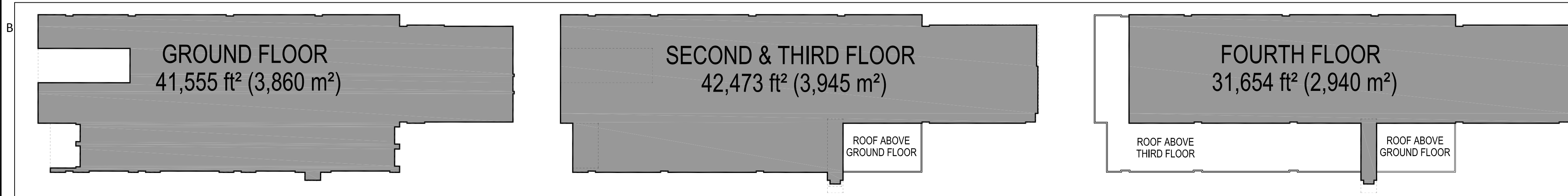


1 SITE PLAN
 A-100 SCALE: 1/250



2 FLOOR PLATES
 A-100 N.T.S.

LEGEND

[Symbol]	PROPOSED BUILDING LOCATION	[Symbol]	CATCH BASIN
[Symbol]	EXISTING NEIGHBORING BUILDINGS	[Symbol]	AREA DRAIN
[Symbol]	LANDSCAPED AREA	[Symbol]	SIAMSE CONNECTION
[Symbol]	CONCRETE/SIDEWALK	[Symbol]	ENTRANCE/EXIT LOCATION
[Symbol]	BARRIER FREE PARKING CLEARANCE	[Symbol]	PRINCIPAL ENTRANCE
[Symbol]	CURB	[Symbol]	TRANSFORMER
[Symbol]	DEPRESSED CURB	[Symbol]	FENCE & GATE
[Symbol]	NEW TREE/VEGETATION (REFER TO LANDSCAPE PLAN FOR TYPE, SIZE AND LOCATION)	[Symbol]	MAN HOLE COVER
[Symbol]	EXISTING TREE (VEGETATION IS FOR REFERENCE ONLY, REFER TO LANDSCAPE PLAN)	[Symbol]	UTILITY POLE
[Symbol]	BARRIER FREE PARKING	[Symbol]	FIRE HYDRANT
[Symbol]	INTERIOR PARKING	[Symbol]	NLS (NEW LIGHT STANDARD, REFER TO ELECTRICAL)
[Symbol]	EXISTING PAVERS	[Symbol]	FIRE ROUTE ACCESS / NO PARKING SIGN (SEE DRAWING 2/A-101)
[Symbol]	EXISTING CONCRETE/SIDEWALK	[Symbol]	STOP SIGN (SEE DRAWING 1/A-101)
[Symbol]	TACTILE WALKING SURFACE INDICATOR	[Symbol]	VEHICULAR TRAFFIC DIRECTION

SITE STATISTICS

LEGAL DESCRIPTION OF PROPERTY:
 PART OF LOT 5
 CONCESSION 8 (RIDEAU FRONT)
 GEOGRAPHIC TOWNSHIP OF GUSSESTER
 CITY OF OTTAWA
 SURVEYED BY STANTEC GEOMATICS LIMITED
 ONTARIO LAND SURVEYORS ON 2019-11-27

IL ZONE - ZONING PROVISIONS	REQUIRED	PROPOSED	IL ZONE - ZONING PROVISIONS	REQUIRED	PROPOSED
Minimum Lot Area	2,000m ²	8,132.5m ²	Minimum Drive Aisle Width	6.7m	7.3m
Minimum Lot Frontage	No minimum	153.7m	Minimum Bicycle Parking for Warehouse (Storage facility)	1 per 200m ² of GFA	8
Maximum Lot Coverage	65%	50%	Retail	1 per 250m ² of GFA	3 spaces
Minimum Front and Corner Yard Setback	7.5m	4.6m (marquee to property line) 4.0m (canopy to property line)	Accessable Parking Space	N/A	1 Exterior 1 Interior
Minimum Interior Side Yard Setback	7.5m	North: 14.9m South: 14.4m South: 13.9m (canopy to property line)			
Minimum Rear Yard Setback	7.5m	7.5m			
Maximum Building Height	18.0m	17.9m (Ave. grading to high point of roof)			
Minimum Width of Landscape Area	3m	Front Yard 7.5m			
Maximum Floor Space Index: Warehouse (Storage facility)	0.8 per 100m ² of GFA	1.72			
10% reduction (Table 101)	89	17 Exterior 5 Interior			
Retail	3.4 per 100m ² of GFA	27			

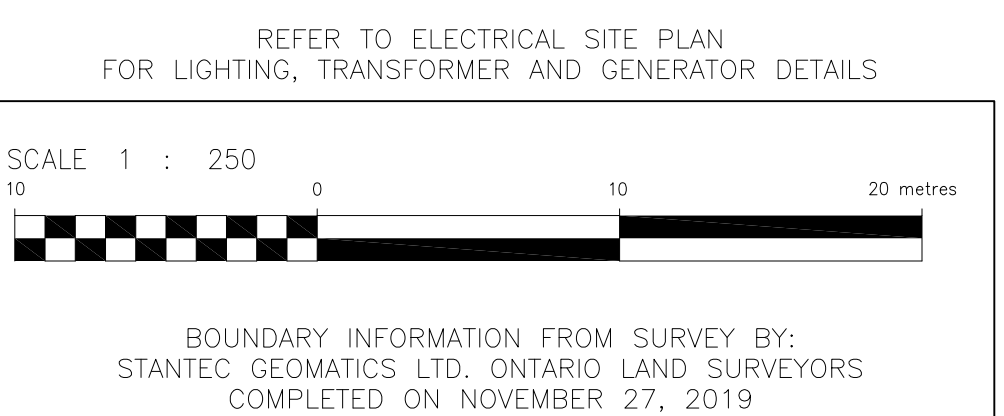
BUILDING AREAS

AREA	AREA (m ²)	AREA (ft ²)	%
GROUND FLOOR	3,860	(41,555 ft ²)	26 %
MECHANICAL & ELECTRICAL MEZZANINE	106	(1,141 ft ²)	1 %
SECOND TO FOURTH FLOOR	10,832	(116,600 ft ²)	73 %
TOTAL GROUND TO FOURTH FLOOR (**)	14,799	(159,296 ft ²)	100 %
(**) SECOND & THIRD FLOOR: 42,473 ft ² (3,945 m ²) PER FLOOR FOURTH FLOOR: 31,654 ft ² (2,940 m ²)			

GROSS FLOOR AREA (GFA)

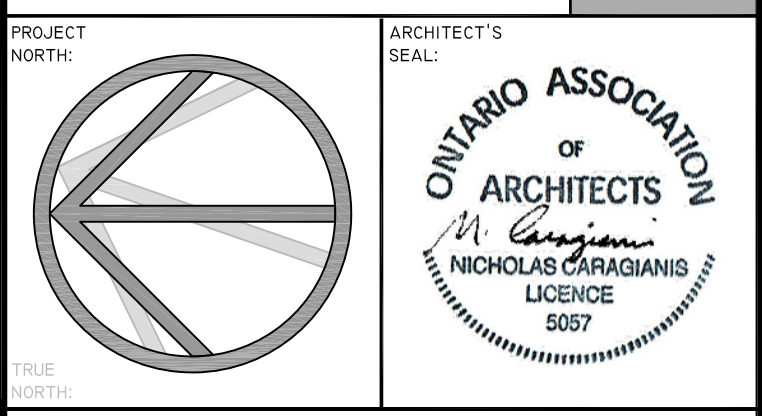
AREA	AREA (m ²)	AREA (ft ²)	%
BUILDING FOOTPRINT (INCLUDES INT. LOADING & PARKING AND LOADING DOCK)	3,860	(41,555 ft ²)	27.1 %
MECHANICAL & ELECTRICAL SERVICE MEZZANINE	106	(1,141 ft ²)	1 %
ELEVATOR SHAFT AND STAIRS (GROUND TO 4TH FLOOR)	457	(4,924 ft ²)	3 %
ELEVATOR LOBBY 1 & 2 + ANCILLARY SPACES GROUND FLOOR	212	(2,280 ft ²)	1.6 %
INTERIOR LOADING & PARKING AND LOADING DOCK (***)	1,019	(10,968 ft ²)	7.2 %
RECEPTION + DYMON RETAIL (***)	805	(8,660 ft ²)	5.7 %
TOTAL SELF STORAGE GROUND TO 4TH (***)	12,101	(130,249 ft ²)	85 %
TOTAL GFA 4-STOREY BLDG. (****)	14,238	(153,231 ft ²)	
TOTAL GFA	13,217	(142,283 ft ²)	

(***) EXCLUDES STAIR AND MECHANICAL & ELECTRICAL MEZZANINE
 (****) EXCLUDES ELEVATORS AND STAIRS (2ND TO 4TH FLOOR)



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 Ottawa ON K1S 3K9
 613 237 6801 ncarchitect.ca



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PROJECT NORTH: [Symbol]
 ARCHITECT'S SEAL: [Symbol]
 PLANNING & URBAN DESIGN: **Fotenn Planning + Design**
 223 McLeod Street, Ottawa ON K2P 0Z8
 tel: (613) 730-5709 fax: (613) 730-1136
 www.mhbcplan.com

DESIGN ARCHITECT: **TACT Architecture Inc**
 660R College Street (Rear Lane) Toronto ON, M6G 1B8
 tel: (416) 516-1949
 email: info@tactdesign.ca

NO.	DATE	ISSUES DESCRIPTION
6	2020/12/15	ISSUED FOR SPC & ZBLA
5	2020/11/23	FOR COORDINATION
4	2020/11/10	FOR COORDINATION
3	2020/06/02	FOR REVIEW
2	2020/05/26	FOR REVIEW
1	2020/05/20	FOR REVIEW
ISSUE	YYYY/MM/DD	ISSUES DESCRIPTION

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ISSUE	YYYY/MM/DD	ISSUES DESCRIPTION



CLIENT NAME AND ADDRESS:
DYM. CAPITAL CORP.
 2-1830 WALKLEY ROAD
 OTTAWA ON, K1H 8K3

PROJECT NAME & LOCATION:
HAWTHORNE
 3455 HAWTHORNE ROAD
 OTTAWA ON

NCA PROJECT NUMBER: **2019.0109** FILE NUMBER:
 OWNER'S CONTRACT NUMBER: OWNER'S PROJECT NUMBER:

CAD FILE NAME: **19109-A-100-SP**

SHEET TITLE:
SITE PLAN

SCALE: **1:250** SHEET ID:

DRAWN BY: **KLK / SG**
 DATE CREATED: **2020.05.14**
A-100