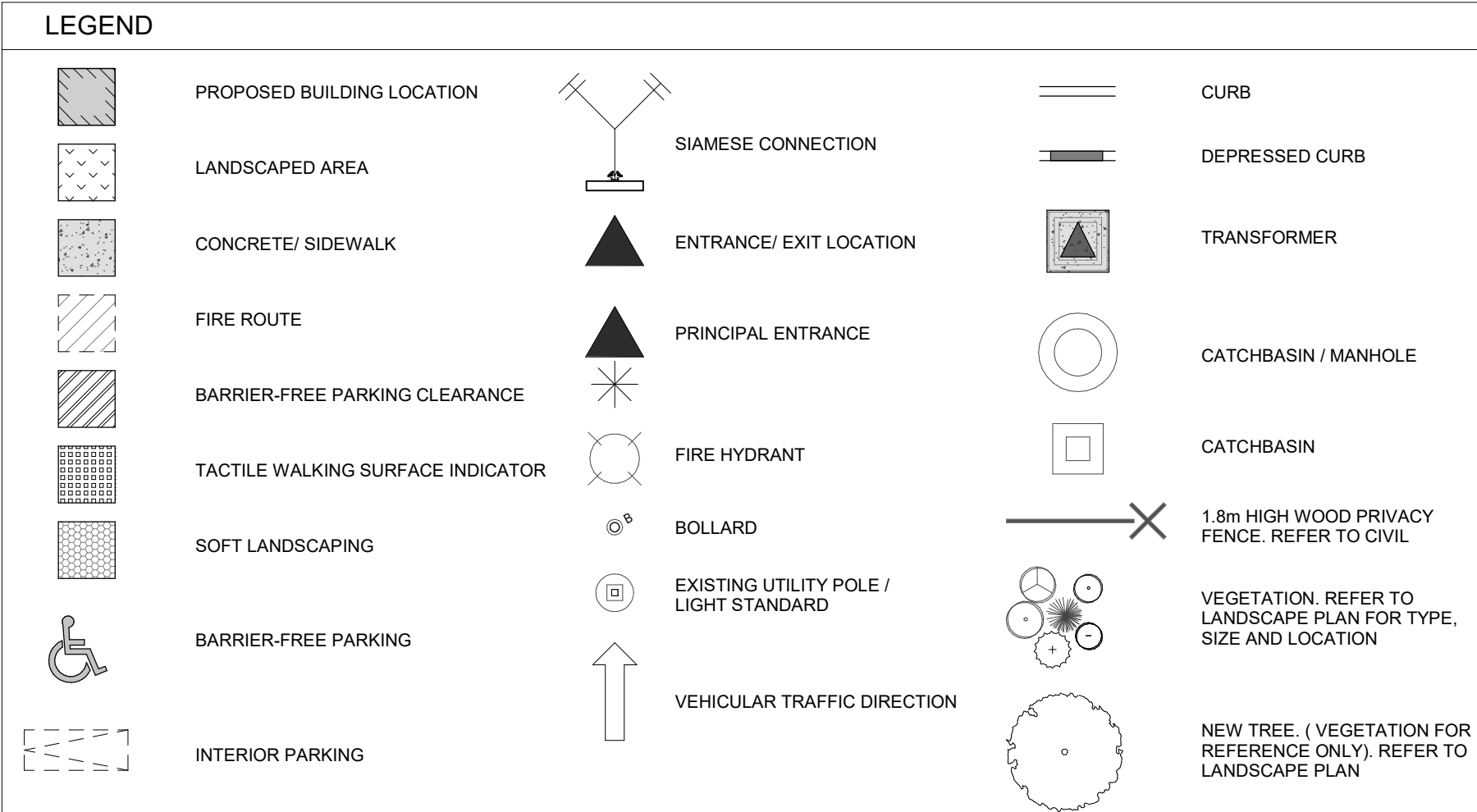
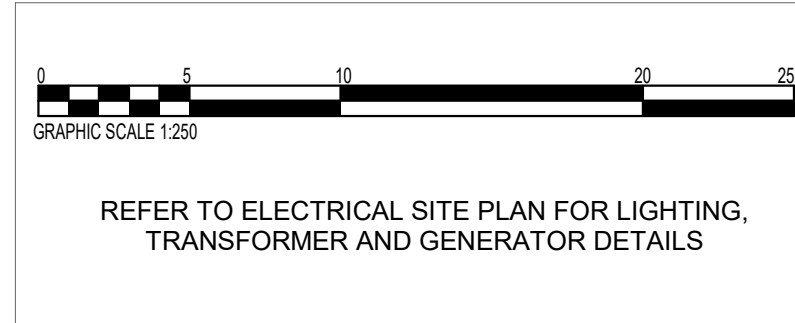


1 SITE PLAN  
A100  
SCALE: 1:250



**SITE NOTES:**

**TOPOGRAPHICAL INFORMATION:**  
PART OF LOT 5  
CONCESSION 6 (RIDEAU FRONT)  
GEOGRAPHIC TOWNSHIP OF GLOUCESTER  
CITY OF OTTAWA  
SURVEYED BY STANTEC GEOMATICS LIMITED ONTARIO  
LAND SURVEYORS ON NOVEMBER 27, 2019.

**SITE STATISTICS:**

**IL ZONING - PROVISIONS:**

ZONING PROVISIONS	REQUIRED	PROPOSED
MIN. LOT AREA (m²)	2,000	8,132
MIN. LOT FRONTAGE (m)	NO MIN.	154m
MAX. LOT COVERAGE (%)	65%	50%
MIN. FRONT YARD YARD SETBACK:	0.6 m	4.6 m (MARQUEE TO PROPERTY LINE) 4.0 m (CANOPY TO PROPERTY LINE)
MIN. INTERIOR SIDE YARD SETBACK:	7.5 m	NORTH: 14.9 m (MARQUEE TO PROPERTY LINE) SOUTH: 14.4 m (MARQUEE TO PROPERTY LINE) SOUTH: 13.9 m (CANOPY TO PROPERTY LINE)
MIN. REAR YARD SETBACK:	7.5 m	7.5 m
MAX. BUILDING HEIGHT:	18 m	17.9 (AVG. GRADING TO HIGH POINT OF ROOF)
MIN. WIDTH OF LANDSCAPE AREA ADJUTING STREET:	0 m	FRONT: 7.5 m
MAX. FLOOR SPACE INDEX:	2	1.98
MINIMUM PARKING FOR WAREHOUSE (SELF-STORAGE FACILITY)	14 SPACES	9 EXTERIOR 5 INTERIOR

**IL [272] ZONING - PROVISIONS:**

ZONING PROVISIONS	REQUIRED	PROPOSED
MINIMUM DRIVE ASBLE WIDTH	6.7 m	7.3
MINIMUM BICYCLE PARKING FOR WAREHOUSE (STORAGE FACILITY) (1.5m/5m)	1 PER 200m² OF GFA = (15/8m/2 + 2/00m/2) x 1	8 SPACES
LOADING SPACES (3.5m/7m)	1	1 EXTERIOR
OVERSIZED LOADING SPACES (4.3m/13m)	1	1 EXTERIOR
ACCESSIBLE PARKING SPACE:		2 EXTERIOR 1 INTERIOR

**SITE AREAS:**

LOT AREA:	PAVED AREA:	LANDSCAPED AREA:	BUILDING FOOTPRINT:
8,132 m² (100%)	3,136 m² (38.4%)	1,144 m² (14.1%) INCLUDES CONC. SIDEWALKS	3,866 m² (47.2%)

**BUILDING AREAS:**

FLOOR	AREA (m²)	AREA (ft²)	% OF GFA
BASEMENT FLOOR	2,690	28,961	15.0 %
GROUND FLOOR	3,866	41,610	22.5 %
ELECTRICAL MEZZANINE	61	657	0.3 %
SECOND TO FOURTH FLOOR	11,020	118,618	62.0 %
<b>TOTAL BASEMENT TO FOURTH FLOOR (**)</b>	<b>17,637</b>	<b>189,843</b>	<b>100 %</b>

(\*\*) SECOND: 41,075 m² (4,187 m²), THIRD: 42,407 m² (3,941 m²), FOURTH: 31,053 m² (2,885 m²)

**GROSS FLOOR AREA (GFA):**

AREA	AREA (m²)	AREA (ft²)
BUILDING FOOTPRINT (INCLUDES INT. LOADING & PARKING AND LOADING DOCK)	3,866	41,609
ELECTRICAL SERVICE MEZZANINE	61	657
ELEVATOR SHAFT AND STAIRS (BASEMENT TO 4TH FLOOR)	472	5,085
ELEVATOR LOBBY 1 & 2 AND ANCILLARY SPACES GROUND FLOOR	175	1,889
INTERIOR LOADING & PARKING AND LOADING DOCK (**)	1,072	11,544
DYMON RECEPTION (**)	700	7,534
TOTAL SELF-STORAGE BASEMENT TO 4TH (**)	15,061	162,341
TOTAL GFA 4-STORY BUILDING (***)	17,699	189,844
TOTAL GFA	16,017	172,405

(\*\*) EXCLUDES STAIR AND ELECTRICAL MEZZANINE  
(\*\*\*) EXCLUDES ELEVATORS AND STAIRS (BASEMENT TO 4TH FLOOR)

**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS; ONLY FIGURED DIMENSIONS ARE TO BE USED. WHERE DOUBT EXISTS; FILE REQUEST FOR INTERPRETATION AND REQUEST CLARITY.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY DIMENSIONS ON SITE; REPORT DISCREPANCIES TO THE ARCHITECT PROMPTLY.
- GENERAL CONTRACTOR TO TAKE INTO ACCOUNT CONSTRUCTION TOLERANCE; GENERAL CONTRACTOR TO COORDINATE THE WORK OF DIFFERENT TRADES TO COMPLY WITH DESIGN INTENT.
- ALL WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS ARE TO COMPLY WITH THE CURRENT EDITION OF THE ONTARIO BUILDING CODE (2010) INCLUDING MOST RECENT AMENDMENTS. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE TO BE READ TOGETHER.

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**ISSUE RECORD**

NO.	DESCRIPTION	DATE
1	ISSUED FOR SPA APPROVAL	2022-06-21
2	90% REVIEW	2022-07-22
3	ISSUED FOR SPA APPROVAL	2022-08-05

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110-333 PRESTON ST. OTTAWA, ON  
STRUCTURAL CONSULTANTS  
(T) 613 651-9490

**ACTUAL NORTH**  
**project north**

**ISSUE RECORD**

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**DCA**  
A GROUP OF ARCHITECTS  
201-1339 WELLINGTON ST. W. OTTAWA ON K1Y 3B8  
WWW.ARCHITECTSDCA.COM 613.725.2294

**PROJECT TITLE**  
**DYMON 3455 HAWTHORNE**

**DRAWING TITLE**  
**SITE PLAN**

DATE	DRAWN	JOB NO.	DRAWING NO.
JUNE 2022	GL	3467	A100

**ARCHITECTURAL**

PLAN #18361