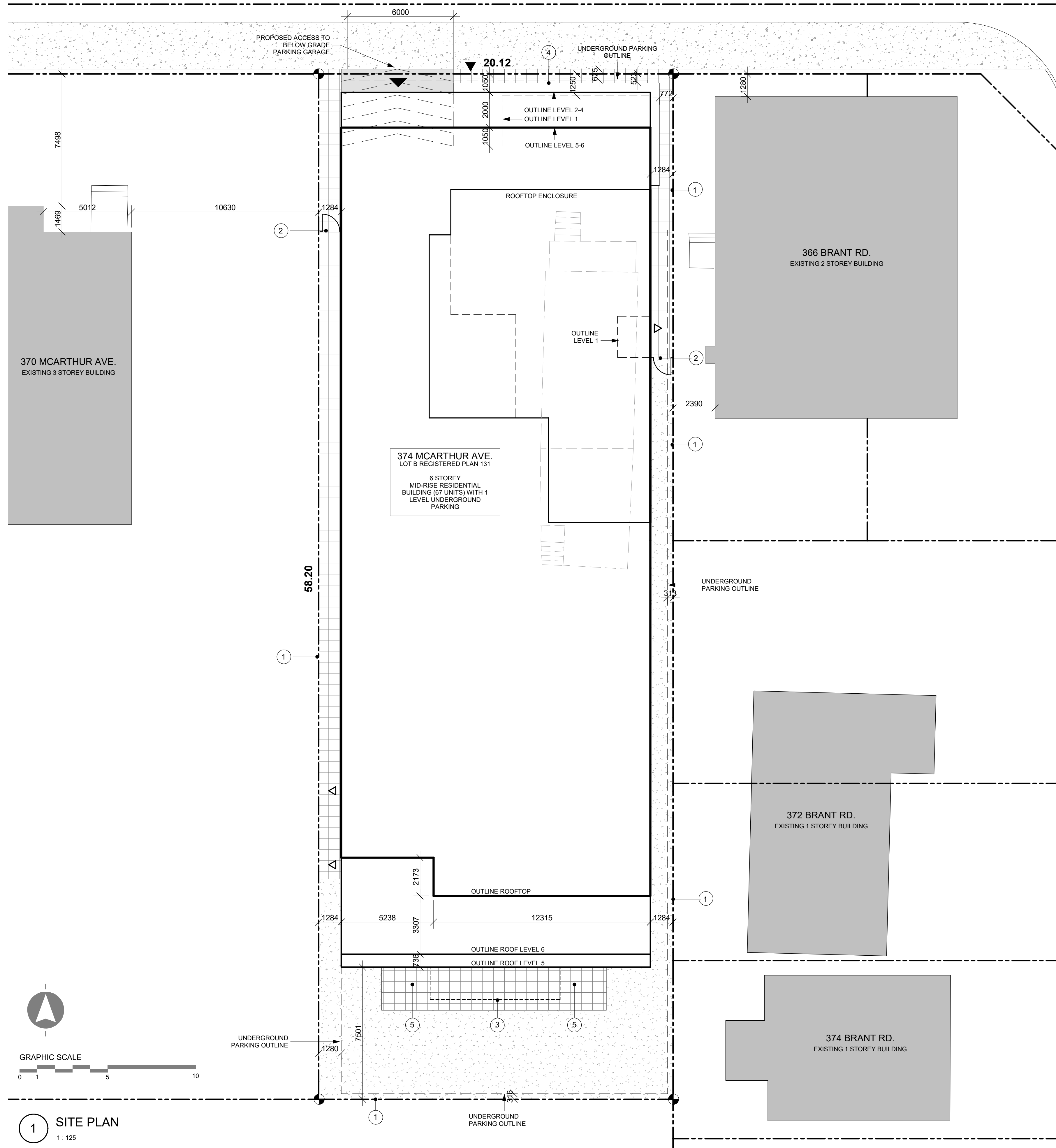


11 x 17 SAFE ZONE

McARTHUR AVENUE



DRAWING LEGEND

- SOFT LANDSCAPING
- HARD LANDSCAPING
- ASPHALT
- CONCRETE
- BUILDING ACCESS
- BUILDING EGRESS
- PROPOSED PLANTATION (REFER TO LANDSCAPE)
- PROPERTY LINE
- PROPERTY REQUIRED SETBACKS
- UNDERGROUND PARKING OUTLINE
- EXISTING BUILDING TO BE DEMOLISHED

GENERAL NOTES

- NOTE-A: ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.
- NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.
- NOTE-C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.
- NOTE-D: REFER TO LANDSCAPE PLANN FOR ALL EXTERIOR LANDSCAPING.
- NOTE-E: DO NOT SCALE DRAWINGS.
- NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

SPECIFIC NOTES

- ① 1.8m PRIVACY FENCE ALONG FULL LENGTH OF PROPERTY LINE
- ② SECURE ACCESS GATE
- ③ BALCONY PROJECTION
- ④ ENTRANCE CANOPY
- ⑤ PRIVATE TERRACE AT GROUND LEVEL

PROJECT INFORMATION

SITE SUMMARY	
ADDRESS	374 McArthur Avenue
CURRENT ZONING	TM - Traditional Mainstreet
SITE AREA	1170.98 sq.m.
PROPOSED USE	Mid-rise residential building of 67 units with 1 level underground parking
BUILDING AREA	871.13 sq.m.

ZONING SUMMARY

	REQUIRED	PROPOSED
MINIMUM LOT AREA	-	1171.38 sq.m.
MINIMUM LOT WIDTH	-	20.12m
MAXIMUM BUILDING HEIGHT	20m but no more than 6 storeys	19.0m
MAXIMUM PARAPET HEIGHT (above max. building...)	-	0.6
MINIMUM FRONT YARD SETBACK	no minimum	1.05
MAXIMUM FRONT YARD SETBACK	2m	1.05
MINIMUM CORNER SIDE YARD SETBACK	3m	-
MINIMUM INTERIOR SIDE YARD SETBACK	1.2m	1.28
MINIMUM REAR YARD SETBACK	7.5	7.5

ADDITIONAL SETBACK REQUIREMENTS

Where the building height is greater than four storeys or 15 metres, at and above the fourth storey or 15 metres whichever is the lesser a building must be setback a minimum of 2 metres more than the provided setback from the front lot line.
No part of a building on a lot with a rear lot line abutting an R1, R2, R3 or R4 Zone may project above a 45 degree angular plane measured at a height of 15 metres from a point 7.5 metres from the rear lot line, projecting upwards towards the front lot line

MINIMUM LANDSCAPED AREA	Area = no minimum Width = 3m; may be reduced to 1m if 1.4m high opaque fence is provided	Area = soft landscaping (+170.5 sq.m.) + hard landscaping (+126.7 sq.m.) Width = 1.2m with 1.5m high opaque fence
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VEHICULAR PARKING

MINIMUM PARKING (As per table 101)	0 for the first 12 units & 0.5 /unit after 12 units & 10% reduction = 25	25
MINIMUM VISITOR PARKING (As per table 102)	0 for the first 12 units & 0.1 /unit after 12 units & 10% reduction = 5	5
MINIMUM ACCESSIBLE PARKING SPACES (incl. in total parking count) (As per Parking and traffic by-law)	1	1

BICYCLE PARKING

MINIMUM PARKING SPACES (As per table 111A)	0.5 /unit = 34	34
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WASTE MANAGEMENT CONTAINERS

GARBAGE (0.11 y3 / unit)	7.37 y3	2x 4y3 containers
RECYCLING (0.038 y3 / unit)	2.55 y3	1x 3y3 container
ORGANICS		2x 240L containers

AMENITY AREA

TOTAL	6 sq.m. per uit	400 sq.m.
COMMUNAL	50% of required amenity space	256 sq.m.

UNIT MIX DATA

	STUDIO	1BED	1+DEN	2BED	2+DEN	3BED	TOTAL
LEVEL 1		1		3		2	6
LEVEL 2-4		6		21		9	36
LEVEL 5			8	3		2	13
LEVEL 6			7	3		2	12
TOTAL		22		30		15	67

BUILDING SUMMARY

GROSS FLOOR AREA - per City Definition	sq.ft	sq.m.
Gross floor area means total of each floor, above and below grade measure to interior of exterior walls. Including floor area occupied by interior walls. Excluding mechanical, electrical, common hallways, corridors, stairwells, shafts, voids, bike parking, car parking, common laundry, storage, common washrooms, amenity or play areas and living quarters for a caretaker of the building.		
BASEMENT LEVEL P1	0	0
LEVEL 1	3803	353
LEVEL 2-4	7458 / level	693 / level
LEVEL 5	6962	647
LEVEL 6	6288	584
ROOF TOP	0	0
TOTAL	39427	3663

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03	2020-12-22	UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

Release Date Description

Revision	Date	Description
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CLIENT LOGO

2002

374 McArthur - Castle Heights Residences

SITE PLAN

As indicated A003.2