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Architecture

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374 McArthur - Castle Heights Residences 20002

RELEASE 4 - SITE PLAN APP. 2nd SUBMISSION
2021-07-18

Version 4
Project version note

CLIENT

TEAM / ÉQUIPE

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P.H. ROBINSON CONSULTING
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CIVIL
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T 613.829.5722

STRUCTURAL ENG.

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SURVEYOR
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T 613.727.0850

RELEASE DATE DESCRIPTION

RELEASE	DATE	DESCRIPTION
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SITE PLAN APP. / UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

**NOT FOR / PAS POUR
CONSTRUCTION**

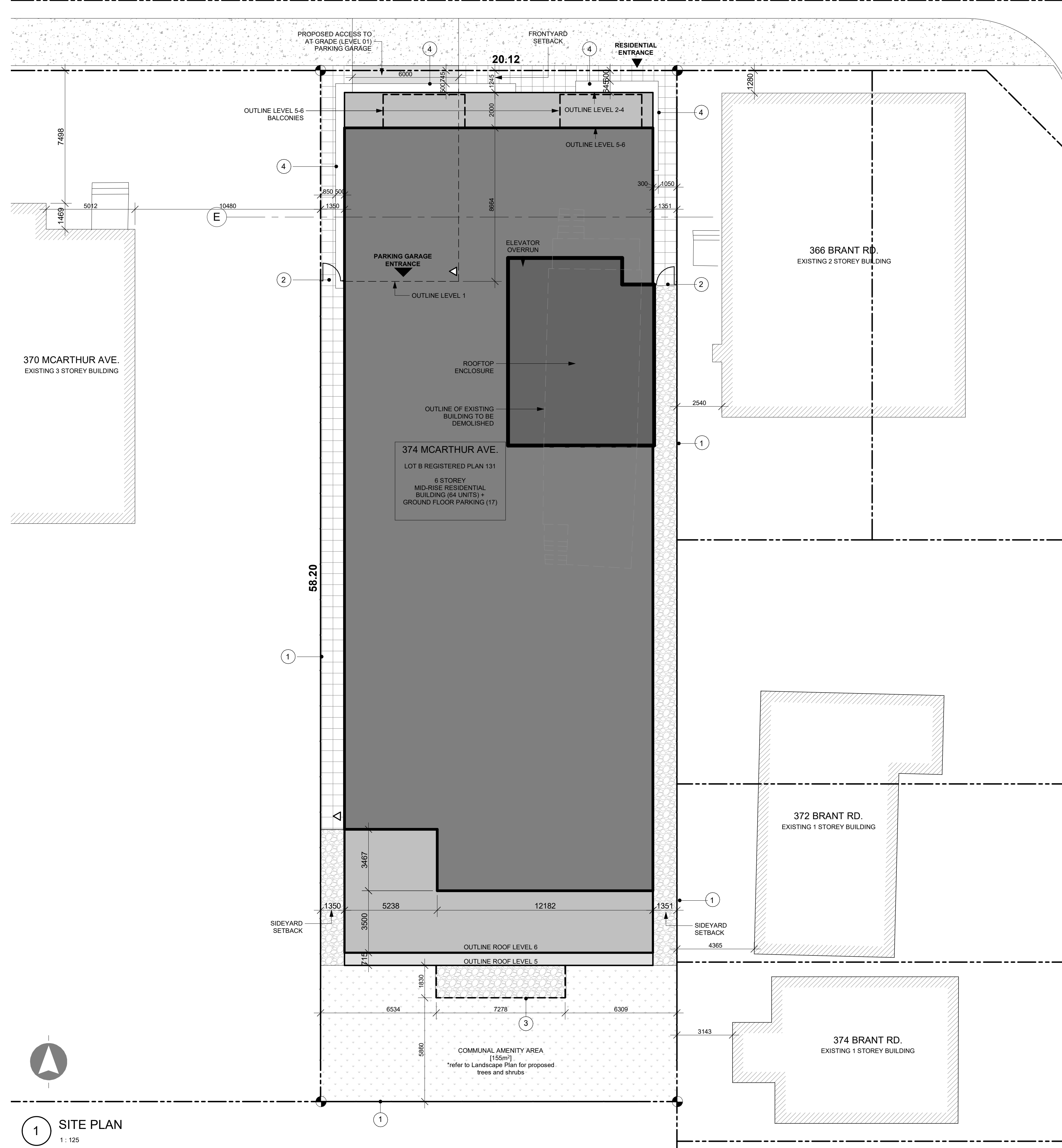
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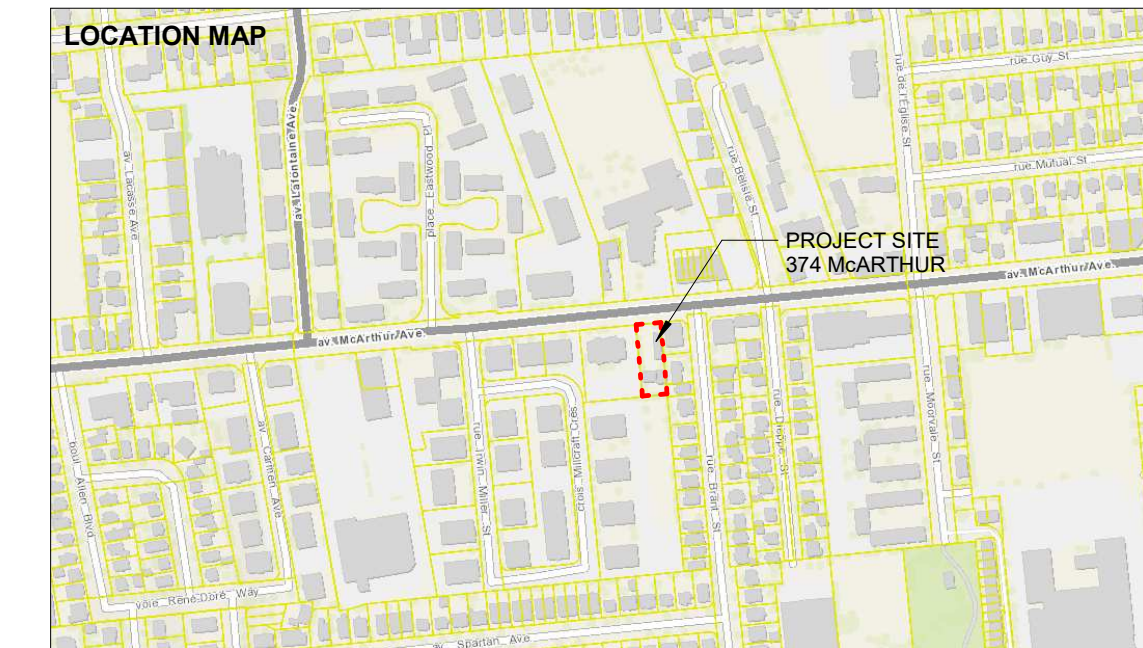
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McARTHUR AVENUE



1 SITE PLAN
1:125



GENERAL NOTES

NOTE-A: ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

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NOTE-D: REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E: DO NOT SCALE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

SURVEY INFO:
TOPOGRAPHIC PLAN OF:
PART OF LOTS B
REGISTERED PLAN 131
CITY OF OTTAWA
Annex, O'Sullivan, Vollebæk Ltd.
Field Work Completed November 25, 2013

GRAPHIC SCALE
0 1 5 10

SPECIFIC NOTES

- 1.8m PRIVACY FENCE ALONG FULL LENGTH OF PROPERTY LINE (SEE LANDSCAPE)
- SECURE ACCESS GATE
- BALCONY PROJECTION
- ENTRANCE CANOPY
- OUTLINE OF BUILDING ABOVE

DRAWING LEGEND

- SOFT LANDSCAPING (SEE LANDSCAPE)
- HARD LANDSCAPING (SEE LANDSCAPE)
- ASPHALT PAVING
- POURED CONCRETE
- PFE GRAVEL (SEE LANDSCAPE)
- BUILDING ACCESS
- BUILDING EGRESS
- PROPOSED PLANTATION (REFER TO LANDSCAPE)
- PROPERTY LINE
- PROPERTY REQUIRED SETBACKS
- EXISTING BUILDING TO BE DEMOLISHED
- PRIVACY FENCE

SITE SUMMARY

ADDRESS	374 McArthur Avenue
CURRENT ZONING	TM - Traditional Mainstreet
SITE AREA	1,170.98 m ²
PROPOSED USE	Mid-rise residential building of 64 units
BUILDING AREA	861.75 m ²

ZONING SUMMARY

	REQUIRED	PROPOSED
MINIMUM LOT AREA	-	1171.38 m ²
MINIMUM LOT WIDTH	-	20.12 m
MAXIMUM BUILDING HEIGHT	20 m but not more than 6 storeys	19.0 m
MAXIMUM PARAPET HEIGHT above maximum building height	-	0.6 m
MINIMUM FRONT YARD SETBACK	no minimum	1.25 m
MAXIMUM FRONT YARD SETBACK	2 m	1.25 m
MINIMUM CORNER SIDE YARD SETBACK	4 m	-
MINIMUM INTERIOR SIDE YARD SETBACK	1.2 m	1.35 m
MINIMUM REAR YARD SETBACK	7.5 m	7.7 m

ADDITIONAL SETBACK REQUIREMENTS

- Where the building height is greater than four storeys or 15 metres, at and above the fourth storey or 15 metres whichever is the lesser a building must be setback a minimum of 2 metres more than the provided setback from the front lot line.
- No part of a building on a lot with a rear lot line abutting an R1, R2, R3 or R4 Zone may project above a 45 degree angular plane measured at a height of 15 metres from a point 7.5 metres from the rear lot line, projecting upwards towards the front lot line.

MINIMUM LANDSCAPED AREA

Area = no minimum Width = 3m may be reduced to 1m if 1.4m high opaque fence is provided	Area = soft landscaping (+222.85 m ²) + hard landscaping (+86.50 m ²) Width = 1.35m with 1.5m high opaque fence
---	---

VEHICULAR PARKING

	REQUIRED	PROPOSED
MINIMUM PARKING (as per table 101)	units = 26 0 for the first 12 units & 0.5 / unit after 12 units	13 Including HC parking
MINIMUM VISITOR PARKING (as per table 102)	units = 5 0 for the first 12 units & 0.1 / unit after 12 units	5
MINIMUM ACCESSIBLE PARKING SPACES	1	1

BICYCLE PARKING

	REQUIRED	PROPOSED
MINIMUM PARKING (as per table 111a)	32 0.5 / unit	44

WASTE MANAGEMENT CONTAINERS

	REQUIRED	PROPOSED
GARBAGE (0.11 y ² / unit)	7.04 y ²	2x 4 y ² containers
RECYCLING (0.038 y ² / unit)	2.43 y ²	1x 3 y ² container
ORGANICS		2x 240L containers

AMENITY AREA

	REQUIRED	PROPOSED
TOTAL	384 m ² (6 m ² / unit @ 64 units)	390 m ²
COMMUNAL	50% of required amenity space (192m ²)	217.5 m ² (Gym + rear-yard)

UNIT MIX DATA

	STUDIO	1BED	1+DEN	2BED	2+DEN	3BED	TOTAL
LEVEL 1	0	0	0	0	0	0	0
LEVEL 2-4	8 (24)		5 (15)			0	39
LEVEL 5	10		3			0	13
LEVEL 6	11		1			0	12
TOTAL		45		19		0	64

BUILDING SUMMARY

	GROSS FLOOR AREA - per City Definition	sq.ft	sq.m.
LEVEL 1	0	0	0
LEVEL 2-4	7259 / level	674.4 / level	
LEVEL 5	6830.25	634.55	
LEVEL 6	6060.30	563.02	
ROOF TOP	0	0	
TOTAL		34,667.55	3220.77

Gross floor area means total of each floor, above and below grade measure to interior of exterior walls. Including floor area occupied by interior walls. Excluding mechanical, electrical, common hallways, corridors, stairwells, shafts, voids, bike parking, car parking, common laundry, storage, common washrooms, amenity or play areas and living quarters for a caretaker of the building.

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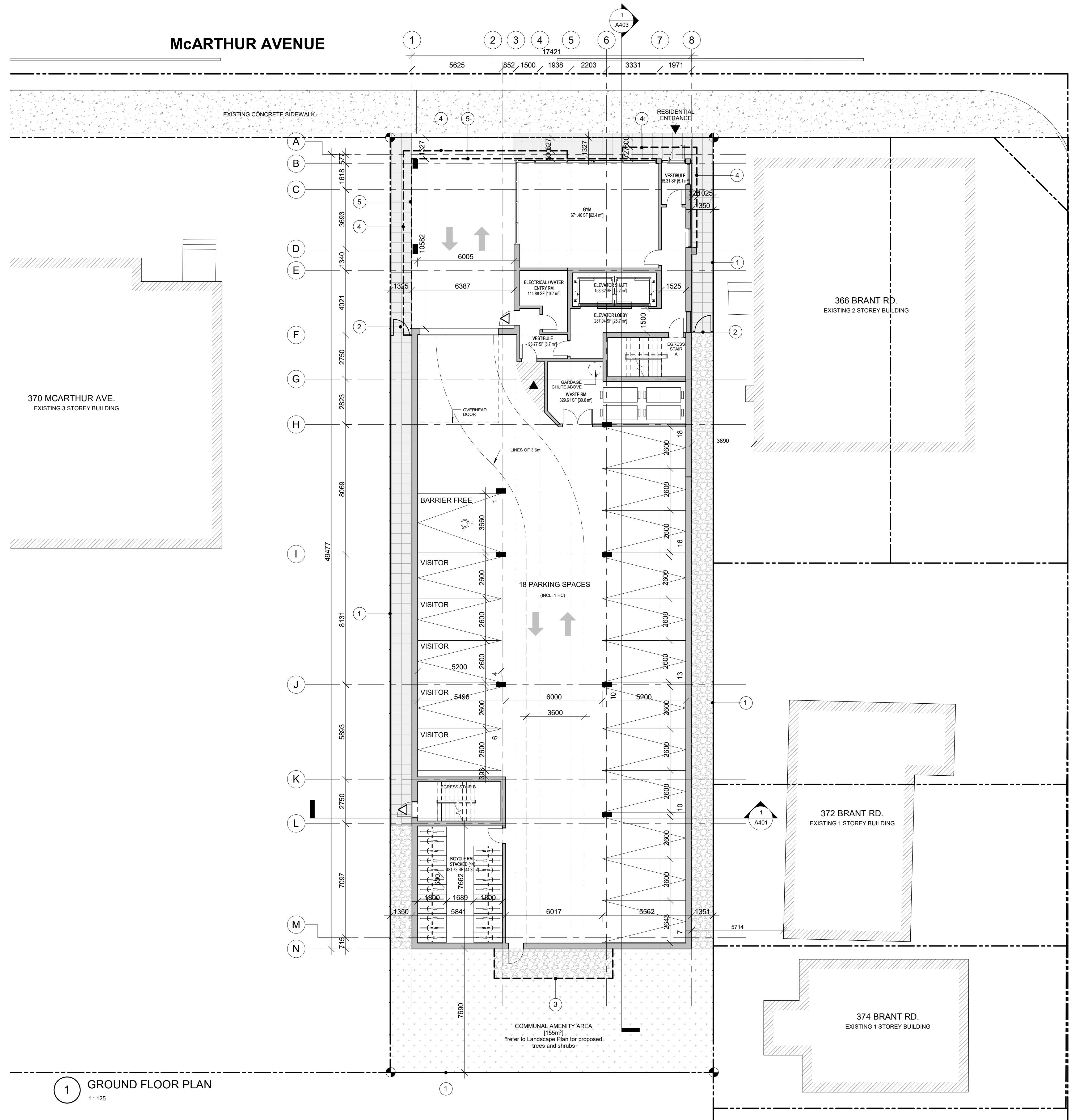
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20002
374 McArthur - Castle Heights
Residences

SITE PLAN

Scale as indicated **A003.2**

McARTHUR AVENUE



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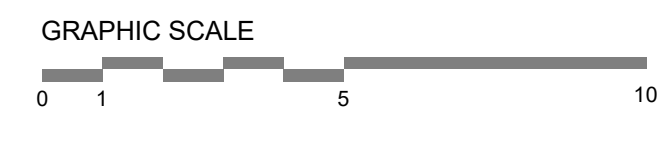
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- PRIVACY FENCE

- SPECIFIC NOTES**
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 - SECURE ACCESS GATE
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 - ENTRANCE CANOPY
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LEVEL STATISTICS

	SQ. FT	SQ. M.
GROSS FLOOR AREA (GFA)	8,500	789.67
PARKING AREA	5,934	551.3
LEASABLE AREA	0	0
AMENITY AREA	660 (mt)	61.4 (mt)
SERVICE AREA	916.3	85.12
SHAFTS / VOIDS	0	0
RESIDENTIAL CIRCULATION	0	0
NON-RESIDENTIAL CIRCULATION	447.5	41.6
STAIRCASE	373	34.65
ELEVATOR	158	14.7
UNIT TOTALS	-	-
1 BEDROOM	-	-
2 BEDROOM	-	-
TOTAL	-	-



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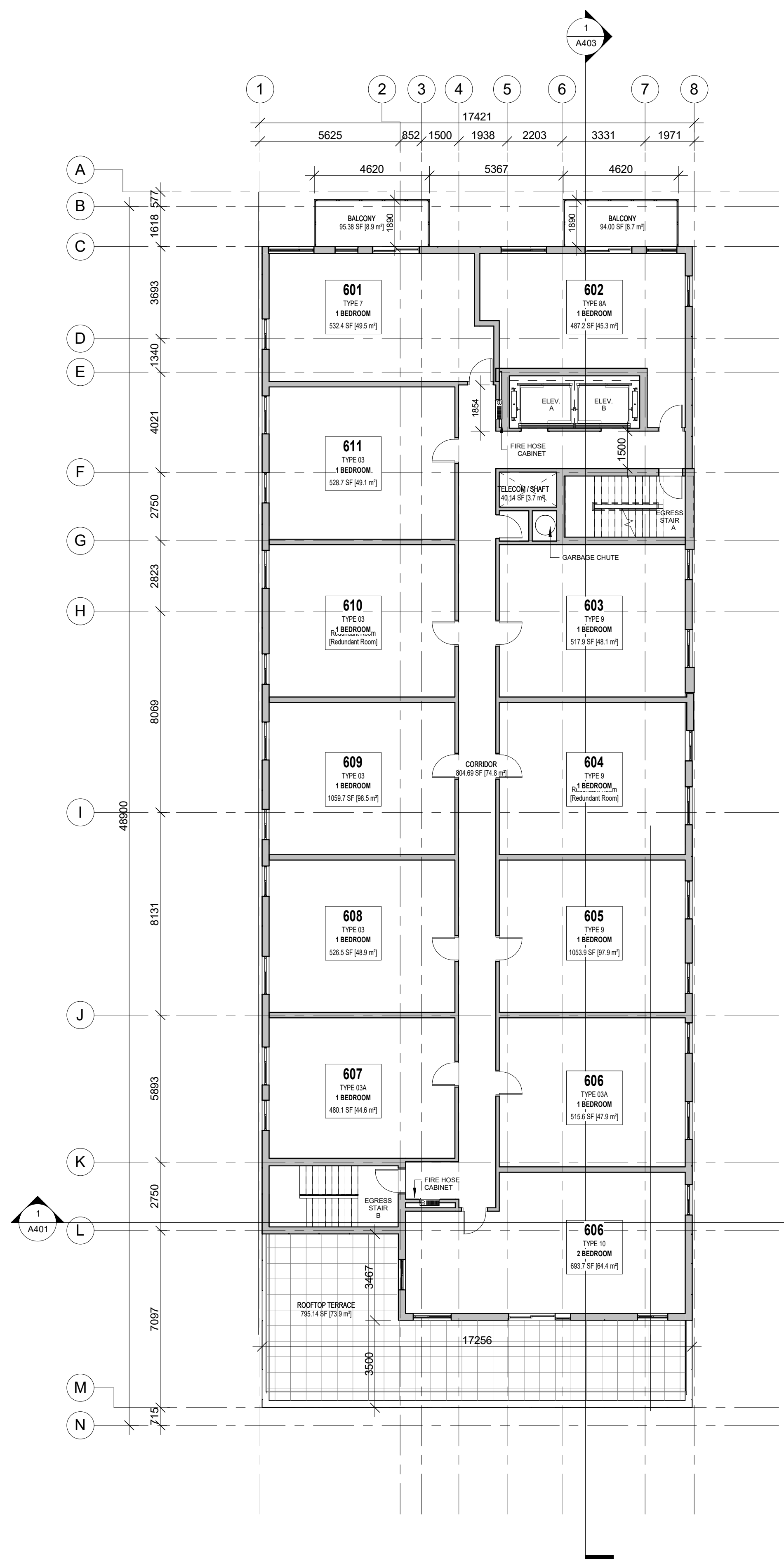
Revision	Date	Description

1 GROUND FLOOR PLAN
 1 : 125

2002
 374 McArthur - Castle Heights
 Residences

GROUND FLOOR PLAN

1:125 A101



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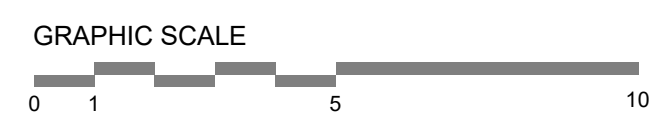
ROOF COVERING LEGEND

RF-1 2-PLY ROOF MEMBRANE SYSTEM WITH GRANULAR TOPPING
 MANUFACTURER :
 COLOR :
 SQ.FT. : 6506 ft²

RF-2 ROOF TERRACE PAVERS
 MANUFACTURER :
 COLOR :
 SQ.FT. :

LEVEL STATISTICS

	SQ.FT	SQ.M.
GROSS FLOOR AREA (GFA)	7731	718.25
PARKING AREA	-	-
LEASABLE AREA	6,393	594
AMENITY AREA	876 (ext)	81.4(ext)
SERVICE AREA	16	1.5
SHAFTS / VOIDS	48	4.5
RESIDENTIAL CIRCULATION	796.5	74
NON-RESIDENTIAL CIRCULATION	0	0
STAIRCASE	373.75	34.72
ELEVATOR	158	14.7
UNIT TOTALS		
1 BEDROOM	11	
2 BEDROOM	1	
TOTAL	12	



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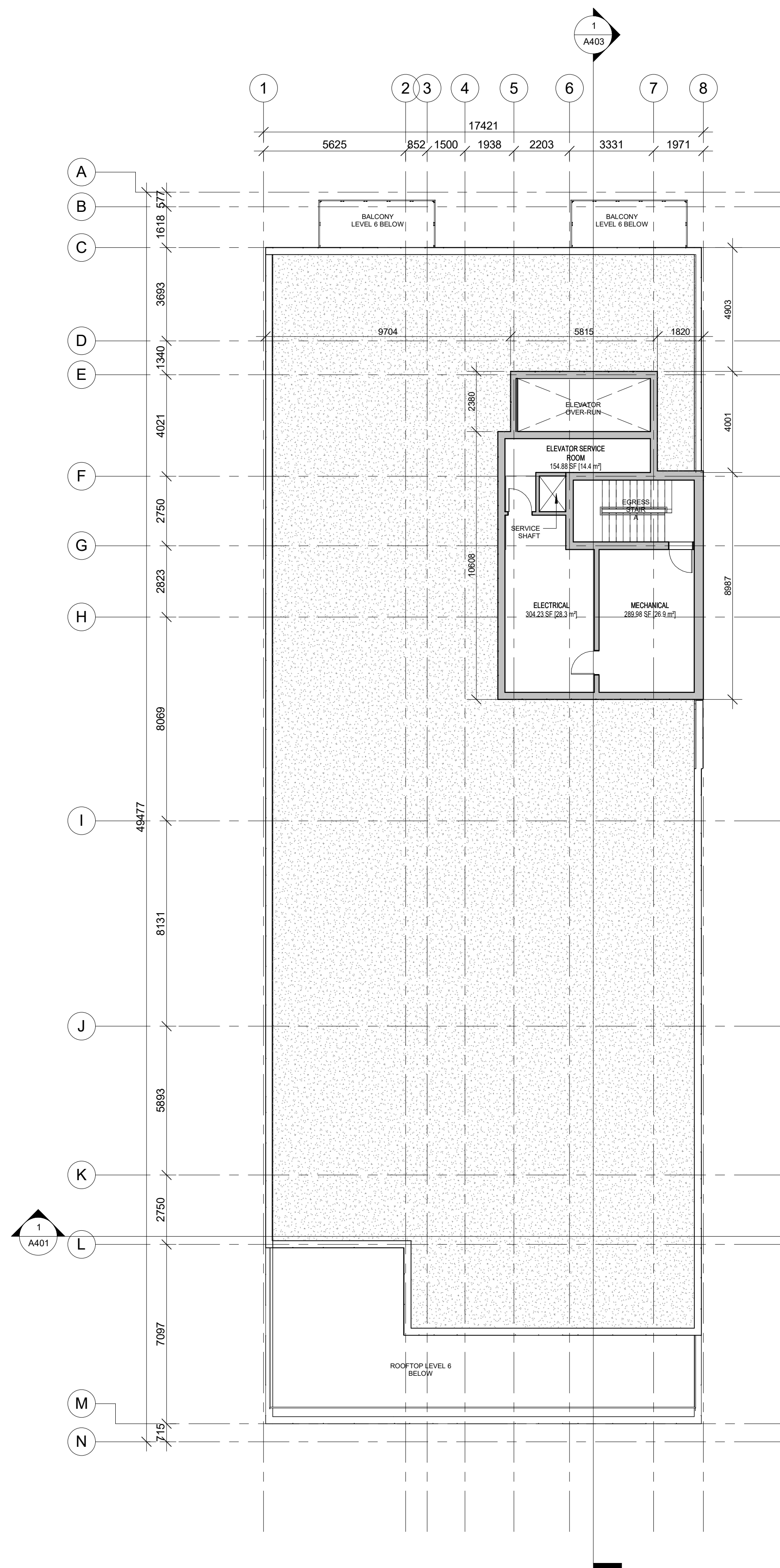
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20002
 374 McArthur - Castle Heights
 Residences

FLOOR PLAN LEVEL 6

1 FLOOR PLAN LEVEL 6
 1:125



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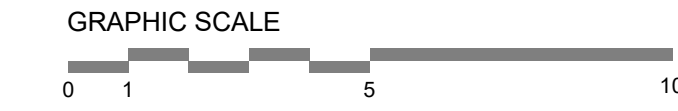
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 MANUFACTURER :
 COLOR :
 SQ.FT. : 6506 ft²

RF-2 ROOF TERRACE PAVERS
 MANUFACTURER :
 COLOR :
 SQ.FT. :

LEVEL STATISTICS

	SQ.FT	SQ.M.
GROSS FLOOR AREA (GFA)	787.3	73.15
PARKING AREA	-	-
LEASABLE AREA	0	0
AMENITY AREA	0 (ext)	0 (ext)
SERVICE AREA	682	63.3
SHAFTS / VOIDS	16	1.5
RESIDENTIAL CIRCULATION	0	0
NON-RESIDENTIAL CIRCULATION	0	0
STAIRCASE	179	17
ELEVATOR	169	15.7
UNIT TOTALS		
1 BEDROOM		
2 BEDROOM		
TOTAL		



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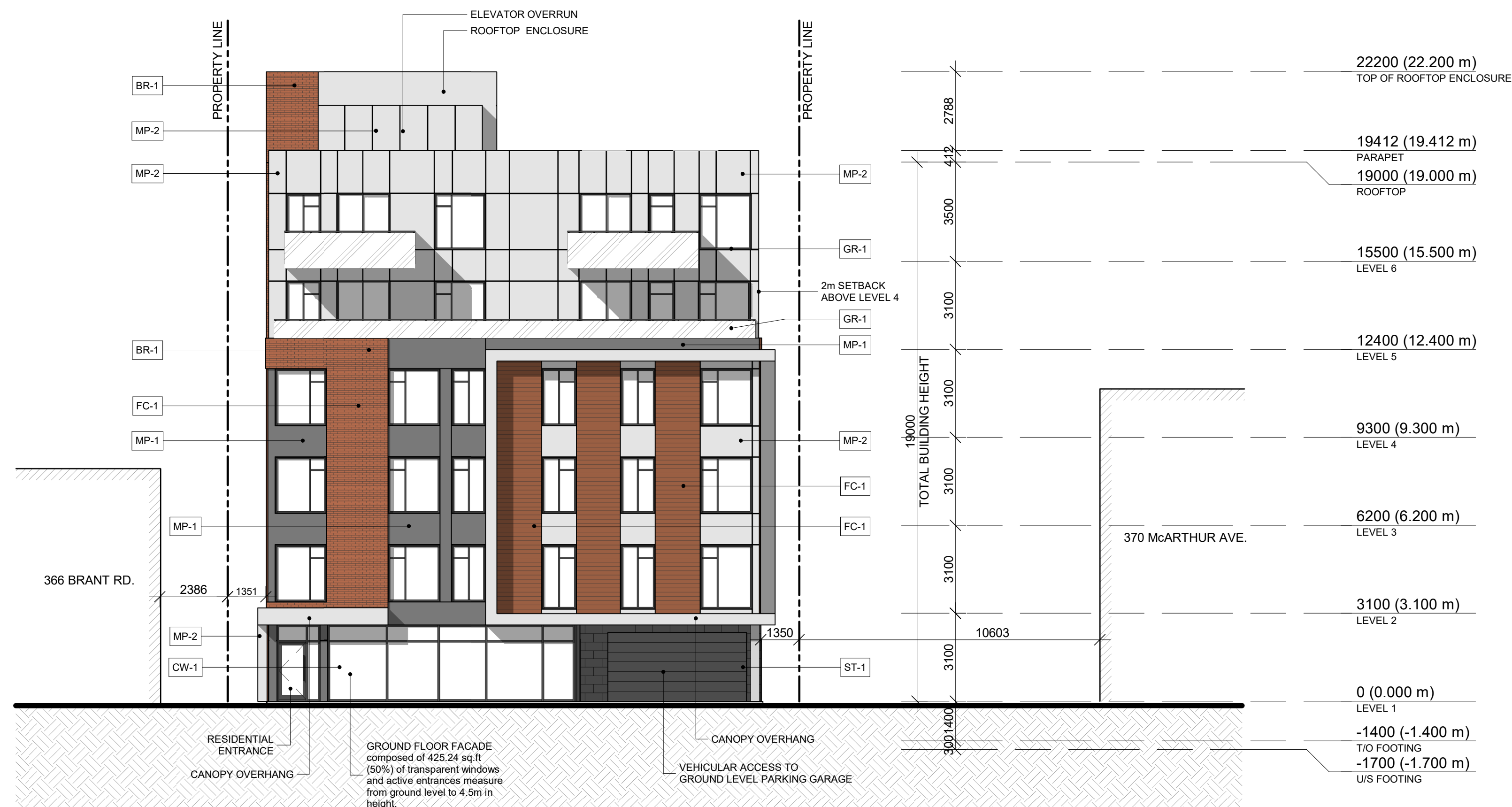
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ROOF PLAN

1 FLOOR PLAN LEVEL ROOFTOP
 1:125



1 NORTH ELEVATION
1 : 125

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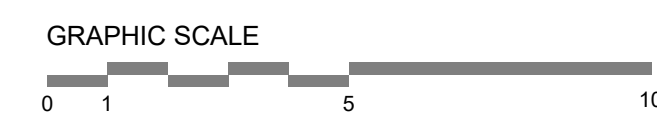
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MATERIAL LEGEND

ST-1	STONE VENEER	MANUFACTURER : COLOR : CHARCOAL	SQ.FT. :
BR-1	BRICK VENEER	MANUFACTURER : BRAMPTON BRICK	COLOR : BROWN / RED
MP-1	FIBER CEMENT PANELS TYPE 1	MANUFACTURER : JAMES HARDIE	COLOR : CHARCOAL
MP-2	FIBER CEMENT PANELS TYPE 2	MANUFACTURER : JAMES HARDIE	COLOR : LIGHT GREY
FC-1	HORIZONTAL FIBER-CIMENT CLADDING	MANUFACTURER : JAMES HARDIE	COLOR : CEDAR
MF-1	METALIC FLASHING	MANUFACTURER : COLOR : CHARCOAL	SQ.FT. :
CW-1	GLASS CURTAIN WALL	COLOR : CLEAR	
GR-1	GLASS RAILING	COLOR : CLEAR	



2 EAST ELEVATION
1 : 125

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01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

Revision	Date	Description

20002
374 McArthur - Castle Heights
Residences

NORTH & EAST ELEVATIONS

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MATERIAL LEGEND

	ST-1 STONE VENEER MANUFACTURER: [REDACTED] COLOR: CHARCOAL SQ.FT.: [REDACTED]
	BR-1 BRICK VENEER MANUFACTURER: BRAMPTON BRICK COLOR: BROWN / RED SQ.FT.: [REDACTED]
	MP-1 FIBER CEMENT PANELS TYPE 1 MANUFACTURER: JAMES HARDIE COLOR: CHARCOAL SQ.FT.: [REDACTED]
	MP-2 FIBER CEMENT PANELS TYPE 2 MANUFACTURER: JAMES HARDIE COLOR: LIGHT GREY SQ.FT.: [REDACTED]
	FC-1 HORIZONTAL FIBER-CEMENT CLADDING MANUFACTURER: JAMES HARDIE COLOR: CEDAR SQ.FT.: [REDACTED]
	MF-1 METALIC FLASHING MANUFACTURER: [REDACTED] COLOR: CHARCOAL SQ.FT.: [REDACTED]
	CW-1 GLASS CURTAIN WALL COLOR: CLEAR
	GR-1 GLASS RAILING COLOR: CLEAR



ROSSMANN ARCHITECTURE
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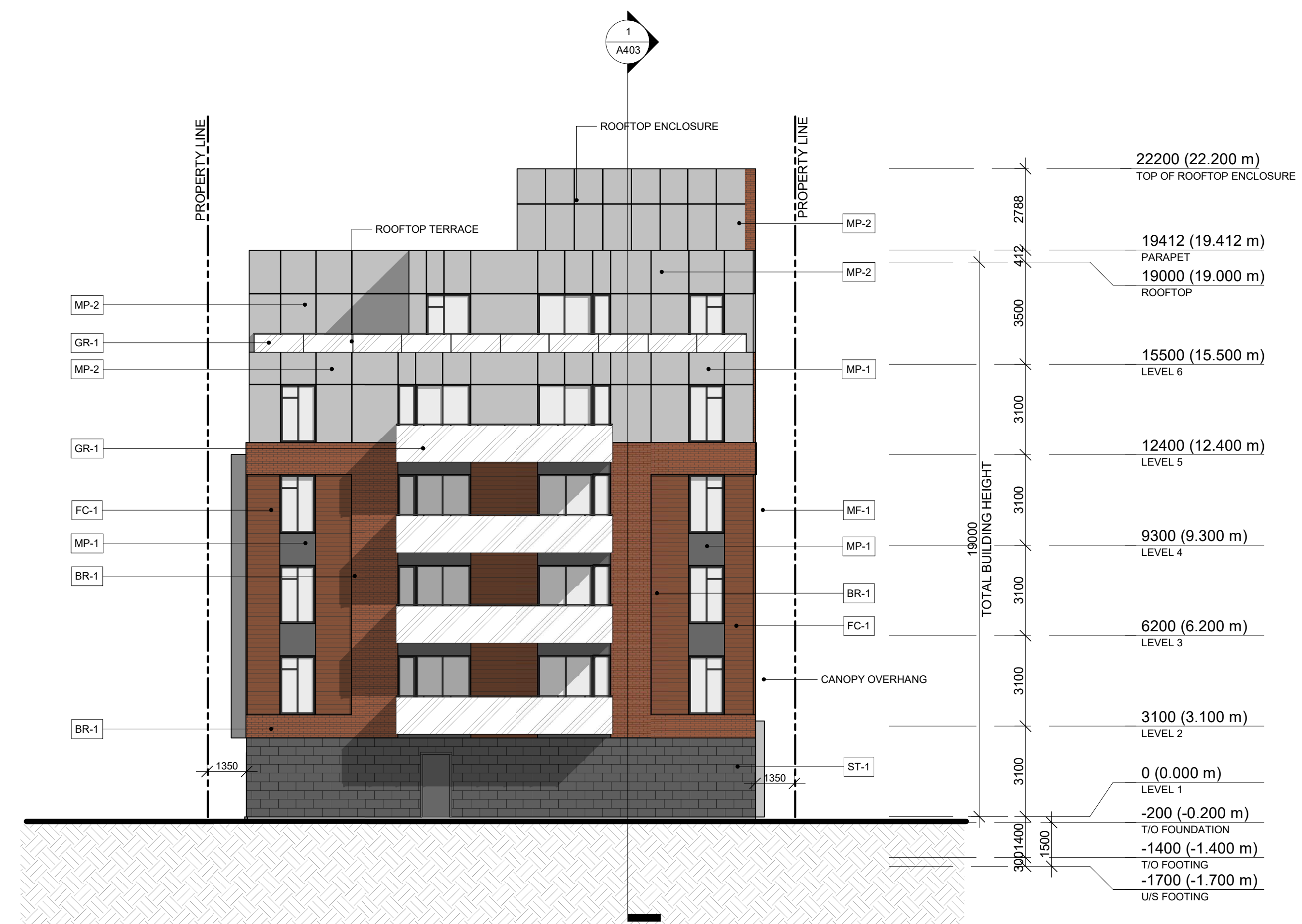
Revision	Date	Description
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SITE PLAN APP. /
UDRP		
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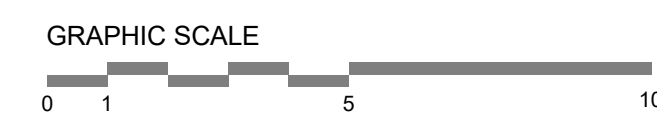
20002

374 McArthur - Castle Heights Residences

SOUTH & WEST ELEVATIONS



1 SOUTH ELEVATION
1:125



2 WEST ELEVATION
1:125

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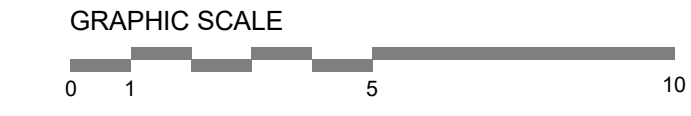
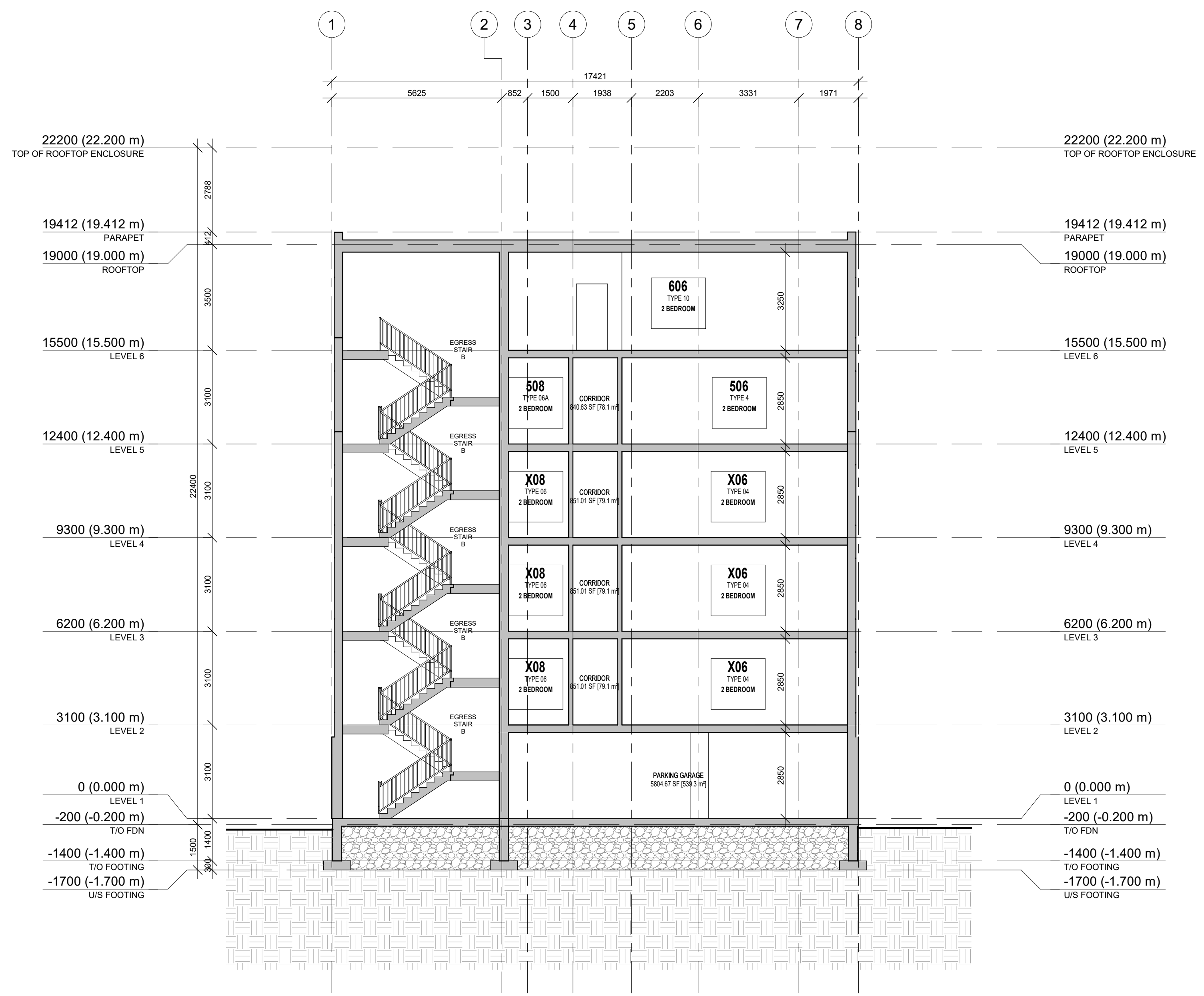
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Revision	Date	Description



1 BUILDING SECTION A
A101 A401 1 : 100

20002
374 McArthur - Castle Heights
Residences

BUILDING SECTION A

As indicated **A401**

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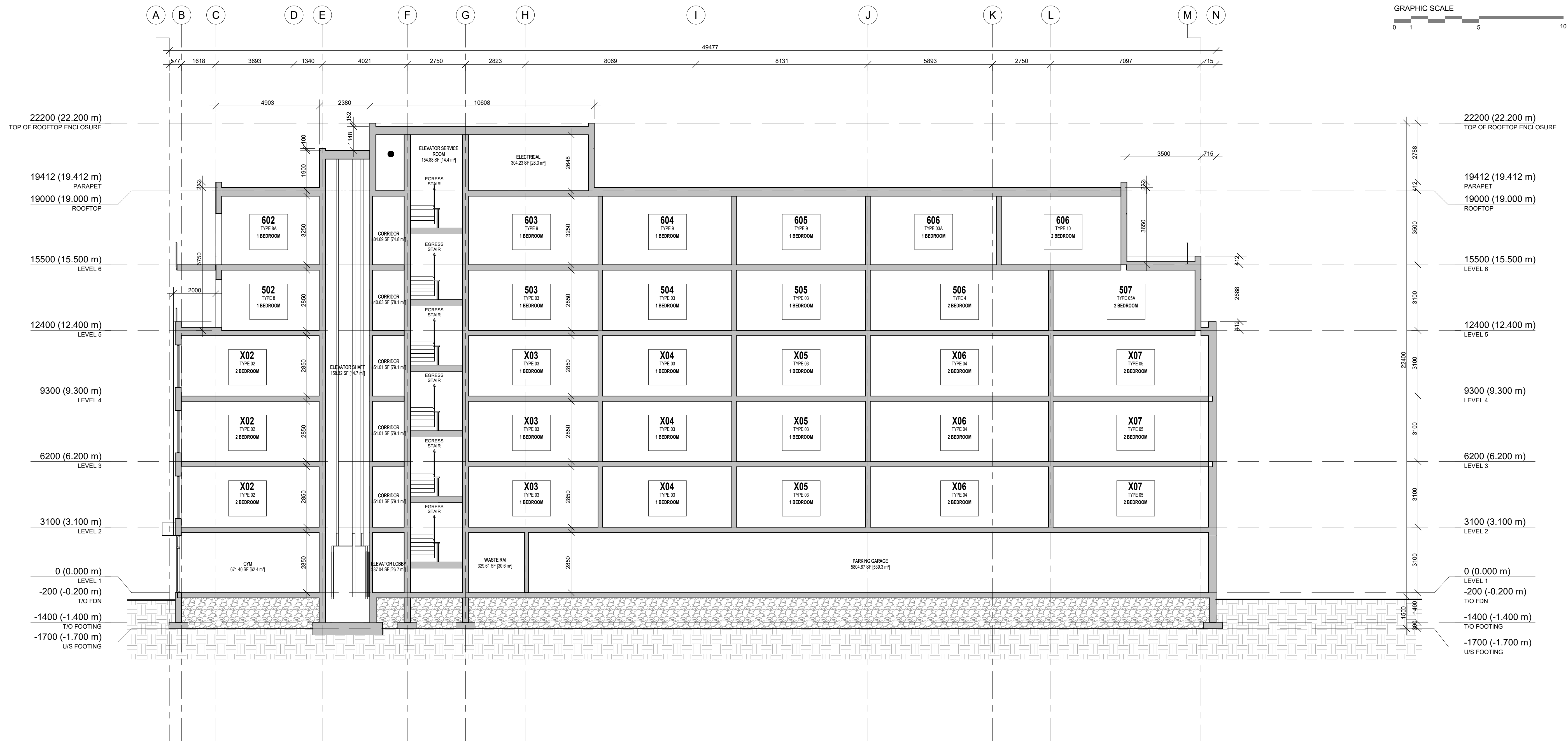
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1 BUILDING SECTION B
A101 | A403 1 : 100

20002
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Residences

BUILDING SECTION B

As indicated **A403**