

CONTENT LIST

Architecture

SHEET #	TITLE
A000	COVER PAGE
A003.2	SITE PLAN
A101	GROUND FLOOR PLAN
A102	TYPICAL FLOOR PLANS (LEVEL 2-4)
A103	FLOOR PLAN LEVEL 5
A104	FLOOR PLAN LEVEL 6
A105	ROOF PLAN
A301	NORTH & EAST ELEVATIONS
A302	SOUTH & WEST ELEVATIONS
A401	BUILDING SECTION A
A403	BUILDING SECTION B



374 McArthur - Castle Heights Residences 20002

RELEASE 4 - SITE PLAN APP. 2nd SUBMISSION
2021-07-18

Version 4
Project version note

CLIENT

TEAM / ÉQUIPE

PLANNING
P.H. ROBINSON CONSULTING
T 613.599.9216

CIVIL
ARCH-NOVA DESIGN INC
T 613.829.5722

STRUCTURAL ENG.

T 000.000.0000

MECHANICAL / ELECTRICAL

T 000.000.0000

LANDSCAPE
JAMES B. LENNOX & ASSOCIATES
T 613.772.5168

SURVEYOR
ANNIS, O'SULLIVAN, VOLLEBEKK TLD
T 613.727.0850

RELEASE DATE DESCRIPTION

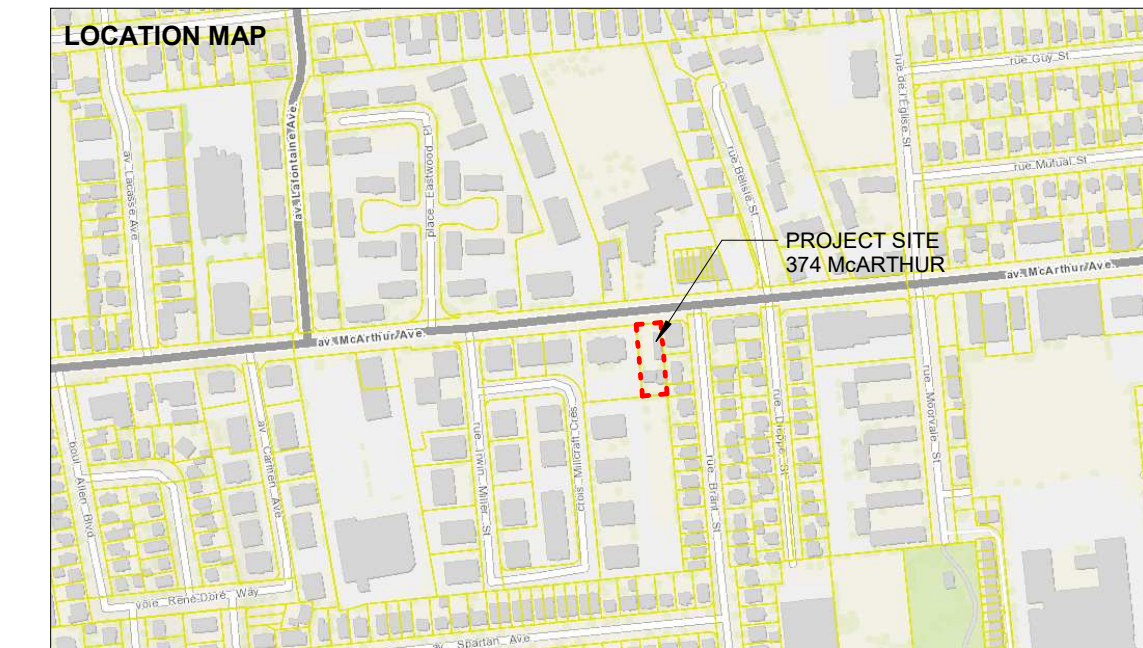
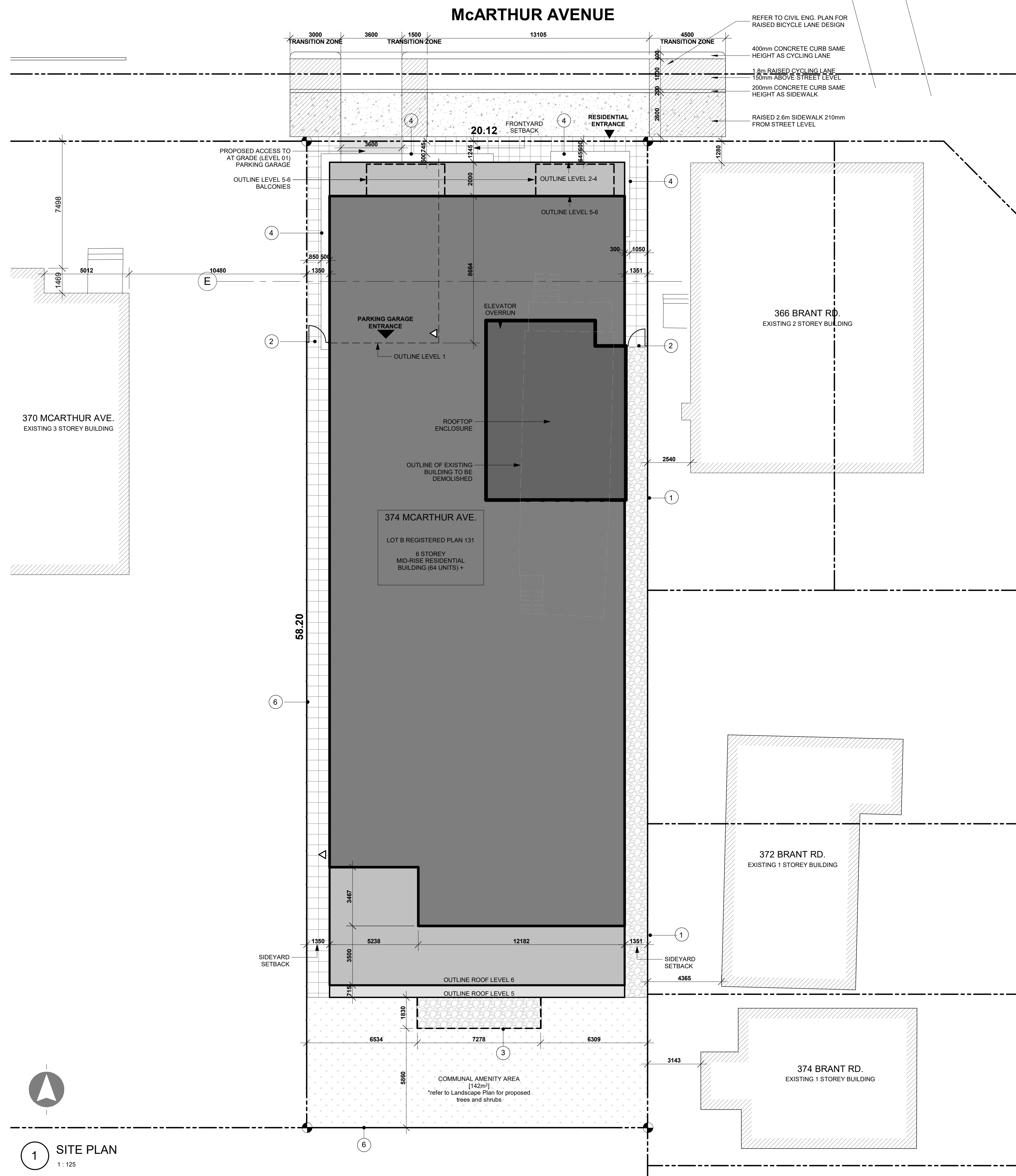
RELEASE	DATE	DESCRIPTION
07	2022-03-09	SPC SUB. #4
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

**NOT FOR / PAS POUR
CONSTRUCTION**

This document and all information herein is confidential and the intellectual property of Rossmann Architects. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, tendering or for any other purpose without the written permission of Rossmann Architects.

The copyright is retained by Rossmann Architects and Associates Inc.
Ce document, ainsi que tous informations contenues à l'intérieur, est la propriété de Rossmann Architects. Il est divulgué en confidence sous les termes qu'il ne sera pas divulgué à aucun tiers, utilisé, vendu, prêt, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architects.

Le droit d'auteur est retenu par Rossmann Architects.



GENERAL NOTES

NOTE-A: ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D: REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E: DO NOT SCALE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

SURVEY INFO:
TOPOGRAPHIC PLAN OF:
 PART OF LOTS B
 REGISTERED PLAN 131
 CITY OF OTTAWA
 Anna, O'Sullivan, Vollebæk Ltd.
 Field Work Completed November 25, 2013

GRAPHIC SCALE
 0 1 5 10

- SPECIFIC NOTES**
- 7' PRIVACY FENCE ALONG FULL LENGTH OF PROPERTY LINE (SEE LANDSCAPE)
 - SECURE ACCESS GATE
 - BALCONY PROJECTION
 - ENTRANCE CANOPY
 - OUTLINE OF BUILDING ABOVE
 - 6' PRIVACY FENCE ALONG FULL LENGTH OF PROPERTY LINE (SEE LANDSCAPE)

- DRAWING LEGEND**
- SOFT LANDSCAPING (SEE LANDSCAPE)
 - HARD LANDSCAPING (SEE LANDSCAPE)
 - ASPHALT PAVING
 - POURED CONCRETE
 - PFE GRAVEL (SEE LANDSCAPE)
 - BUILDING ACCESS
 - BUILDING EGRESS
 - PROPOSED PLANTATION (REFER TO LANDSCAPE)
 - PROPERTY LINE
 - PROPERTY REQUIRED SETBACKS
 - EXISTING BUILDING TO BE DEMOLISHED
 - PRIVACY FENCE

SITE SUMMARY

ADDRESS	374 McArthur Avenue
CURRENT ZONING	TM - Traditional Mainstreet
SITE AREA	1,170.98 m ²
PROPOSED USE	Mid-rise residential building of 64 units
BUILDING AREA	861.75 m ²

ZONING SUMMARY

	REQUIRED	PROPOSED
MINIMUM LOT AREA	-	1171.38 m ²
MINIMUM LOT WIDTH	-	20.12 m
MAXIMUM BUILDING HEIGHT	20 m but not more than 6 storeys	19.0 m
MAXIMUM PARAPET HEIGHT above maximum building height	-	0.6 m
MINIMUM FRONT YARD SETBACK	no minimum	1.25 m
MAXIMUM FRONT YARD SETBACK	2 m	1.25 m
MINIMUM CORNER SIDE YARD SETBACK	4 m	-
MINIMUM INTERIOR SIDE YARD SETBACK	1.2 m	1.35 m
MINIMUM REAR YARD SETBACK	7.5 m	7.7 m

ADDITIONAL SETBACK REQUIREMENTS

- Required: Additional 2 metres (min.) from the front lot line setback over four storeys or 15 metres whichever is the lesser.
- Required: No part of a building may project above a 45 degree angular plane measured at a height of 15 metres from a point 7.5 metres from the rear lot line, projecting upwards towards the front lot line.
- Provided: 3.25m front yard setback for the 6th and 8th storey & additional setback from the rear yard (8.0m @ 6th level & 11.9m @ 8th level) so no part of the building projects higher than the 45 degree angular plane.

VEHICULAR PARKING

	REQUIRED	PROPOSED
MINIMUM PARKING (as per table 101)	units = 26 0 for the first 12 units & 0.5 / unit after 12 units	14 Including 1x Car Sharing
MINIMUM VISITOR PARKING (as per table 102)	units = 5 0 for the first 12 units & 0.1 / unit after 12 units	5
MINIMUM ACCESSIBLE PARKING SPACES	0	0

BICYCLE PARKING

	REQUIRED	PROPOSED
MINIMUM PARKING (as per table 111a)	32 0.5 / unit	64

WASTE MANAGEMENT CONTAINERS

	REQUIRED	PROPOSED
GARBAGE (0.11 y ² / unit)	7.04 y ²	2x 3 y ² containers
RECYCLING (0.038 y ² / unit)	2.43 y ²	1x 3 y ² + 3X 360L container
ORGANICS		2x 240L

AMENITY AREA

	REQUIRED	PROPOSED
TOTAL	384 m ² (6 m ² / unit @ 64 units)	390.67 m ²
COMMUNAL	50% of required amenity space (192m ²)	204.30 m ² (Gym + rear-yard)

UNIT MIX DATA

	STUDIO	1BED	1+DEN	2BED	2+DEN	3BED	TOTAL
LEVEL 1	0	0	0	0	0	0	0
LEVEL 2-4	8 (24)		5 (15)			0	39
LEVEL 5	10		3			0	13
LEVEL 6	11		1			0	12
TOTAL	45	0	19	0	0	0	64

BUILDING SUMMARY

	GROSS FLOOR AREA - per City Definition	sq.ft	sq.m.
LEVEL 1	0	0	0
LEVEL 2-4	7259 / level	674.4 / level	674.4 / level
LEVEL 5	6830.25	634.55	634.55
LEVEL 6	6060.30	563.02	563.02
ROOF TOP	0	0	0
TOTAL	34,667.55	3220.77	3220.77

Gross floor area means total of each floor, above and below grade measure to interior of exterior walls. Including floor area occupied by interior walls. Excluding mechanical, electrical, common hallways, corridors, stairwells, shafts, voids, bike parking, car parking, common laundry, storage, common washrooms, amenity or play areas and living quarters for a caretaker of the building.

This document and all information herein is confidential and the intellectual property of Rossmann Architects. It is disclosed in confidence on terms that it will be disclosed to any third party, used, sold, leased, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architects.

The copyright is retained by Rossmann Architects and Associates Inc. Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architects. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers partie, utilisé, vendu, grevé, licencié ou reproduit en son entier ou en partie, sous aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architects.

Le droit d'auteur est retenu par Rossmann Architects.



88 Saint-Joseph
 Boulevard, Gatineau
 QC J8Y 3W5
 819-600-1555
 Drawn by / Dessiné par ES
 Reviewed by / Révisé par ES

TEAM / ÉQUIPE

PLANNING
 P.H. ROBINSON CONSULTING
 T 613.599.9216

CIVIL
 ARCH-NOVA DESIGN INC
 T 613.829.7222

LANDSCAPE
 JAMES B. LENNOX & ASSOCIATES
 T 613.772.5168

SURVEYOR
 ANNIS. O'SULLIVAN, VOLLEBÆK LTD
 T 613.727.0850

Release	Date	Description
07	2022-03-09	SPC SUB. #4
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

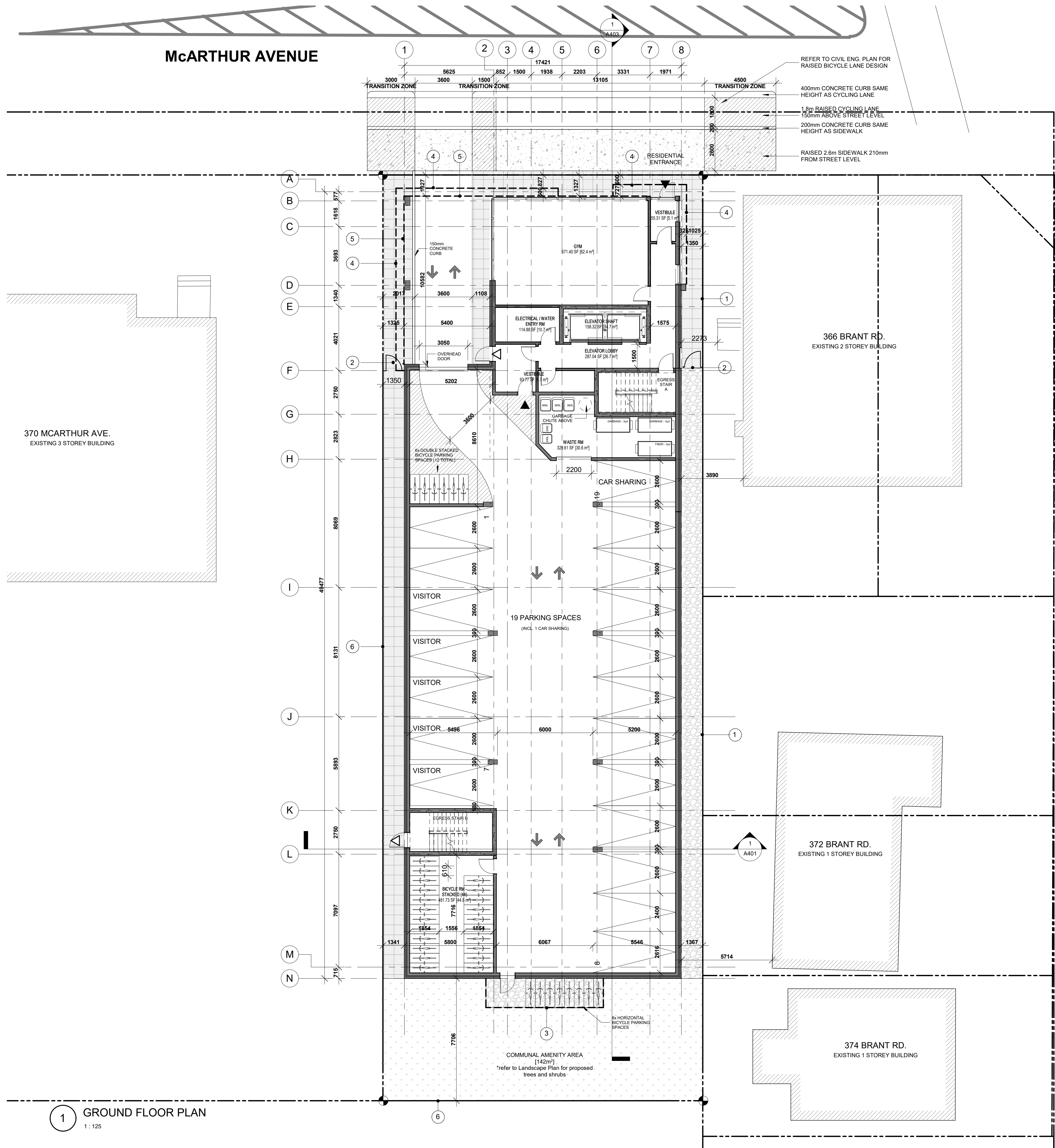
Revision	Date	Description
----------	------	-------------

2002
 374 McArthur - Castle Heights
 Residences

SITE PLAN

Scale as indicated **A003.2**

1 SITE PLAN
 1:125



1 GROUND FLOOR PLAN
1:125

GENERAL NOTES

NOTE-A: ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D: REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E: DO NOT SCALE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

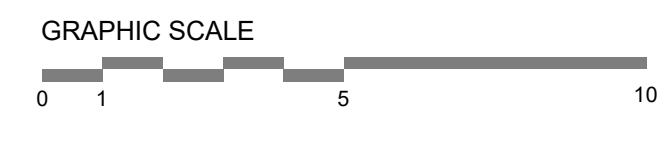
DRAWING LEGEND

- SOFT LANDSCAPING (SEE LANDSCAPE)
- HARD LANDSCAPING (SEE LANDSCAPE)
- ASPHALT PAVING
- POURED CONCRETE
- PEE GRAVEL (SEE LANDSCAPE)
- BUILDING ACCESS
- BUILDING EGRESS
- PROPOSED PLANTATION (REFER TO LANDSCAPE)
- PROPERTY LINE
- PROPERTY REQUIRED SETBACKS
- EXISTING BUILDING TO BE DEMOLISHED
- PRIVACY FENCE

- SPECIFIC NOTES**
- 1 7' PRIVACY FENCE ALONG FULL LENGTH OF PROPERTY LINE (SEE LANDSCAPE)
 - 2 SECURE ACCESS GATE
 - 3 BALCONY PROJECTION
 - 4 ENTRANCE CANOPY
 - 5 OUTLINE OF BUILDING ABOVE
 - 6 8' PRIVACY FENCE ALONG FULL LENGTH OF PROPERTY LINE (SEE LANDSCAPE)

LEVEL STATISTICS

	SQ. FT.	SQ. M.
GROSS FLOOR AREA (GFA)	8,500	789.67
PARKING AREA	5,934	551.3
LEASABLE AREA	0	0
AMENITY AREA	671 (INT)	62.3 (INT)
SERVICE AREA	916.3	85.12
SHAFTS / VOIDS	0	0
RESIDENTIAL CIRCULATION	0	0
NON-RESIDENTIAL CIRCULATION	447.5	41.6
STAIRCASE	373	34.65
ELEVATOR	158	14.7
UNIT TOTALS	-	-
1 BEDROOM	-	-
2 BEDROOM	-	-
TOTAL	-	-



This document and all information herein is confidential and the intellectual property of Rossmann Architects. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, copied, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architects.

The copyright is retained by Rossmann Architects and Associates Inc. Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architects. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers partie, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architects.

Le droit d'auteur est retenu par Rossmann Architects.



ROSSMANN ARCHITECTURE
88 Saint-Joseph
Boulevard, Gatineau
QC J8Y 3W5
819-600-1555
Drawn by / Dessiné par ES
Reviewed by / Révisé par ES

TEAM / ÉQUIPE

PLANNING
P.H. ROBINSON CONSULTING
T 613.599.9216

CIVIL
ARCH-NOVA DESIGN INC
T 613.829.5722

LANDSCAPE
JAMES B. LENNOX & ASSOCIATES
T 613.772.5168

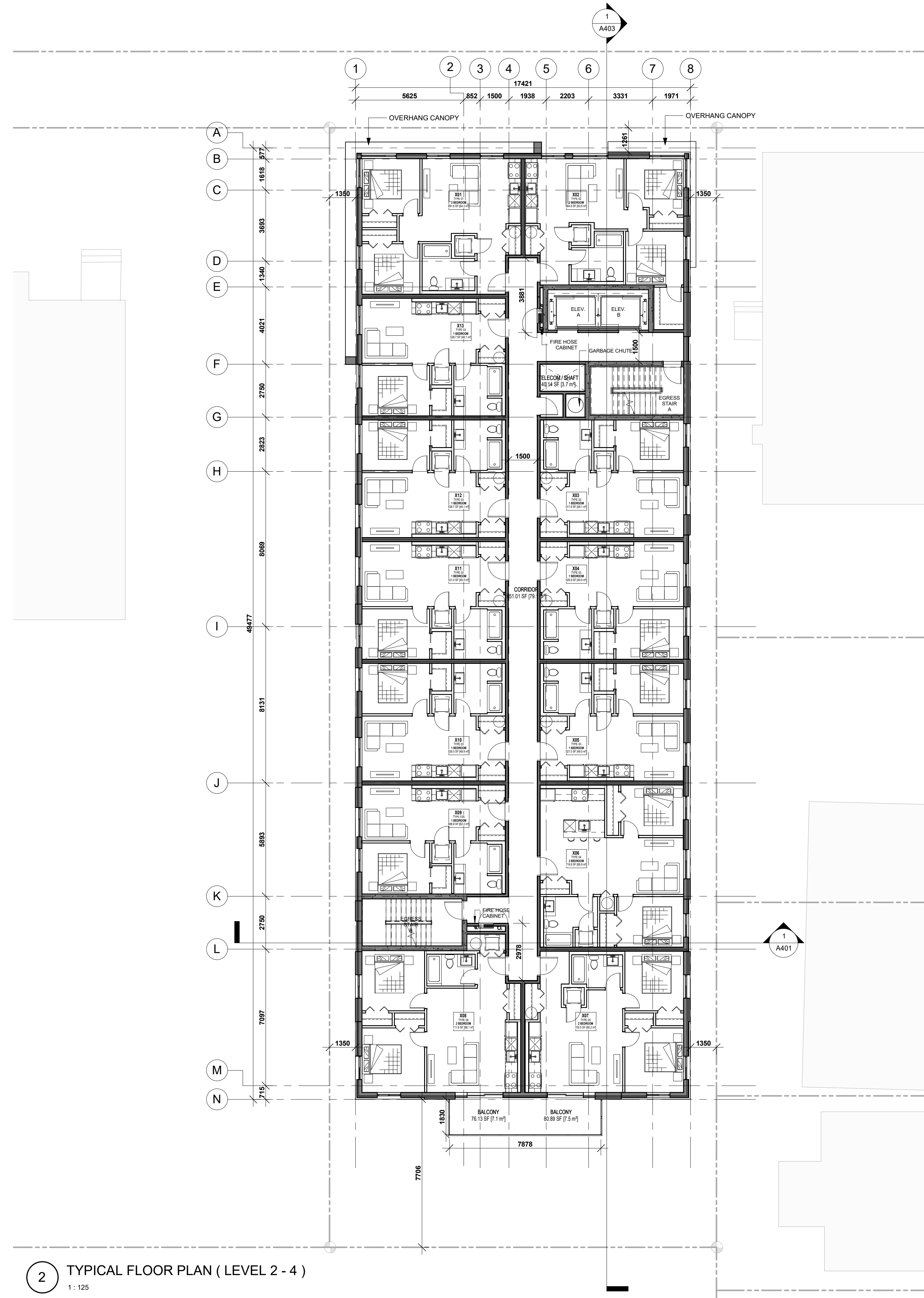
SURVEYOR
ANNIS. O'SULLIVAN, VOLLEBEKK TLD
T 613.727.0850

Release	Date	Description
07	2022-03-09	SPC SUB. #4
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

Revision	Date	Description

20002
374 McArthur - Castle Heights
Residences

GROUND FLOOR PLAN

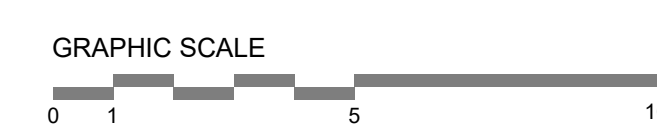


2 TYPICAL FLOOR PLAN (LEVEL 2 - 4)
1 : 125

GENERAL NOTES
 NOTE-A : ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.
 NOTE-B : ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.
 NOTE-C : CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.
 NOTE-D : REFER TO LANDSCAPE PLANN FOR ALL EXTERIOR LANDSCAPING.
 NOTE-E : DO NOT SCALE DRAWINGS.
 NOTE-F : ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

LEVEL STATISTICS

	SQ. FT	SQ. M.
GROSS FLOOR AREA (GFA)	8,705.0	808.75
PARKING AREA	-	-
LEASABLE AREA	7,731.25	718.25
AMENITY AREA	150 (ext)	14 (ext)
SERVICE AREA	16	1.5
SHAFTS / VOIDS	48	4.5
RESIDENTIAL CIRCULATION	883	82
NON-RESIDENTIAL CIRCULATION	0	0
STAIRCASE	373.75	34.72
ELEVATOR	158	14.7
UNIT TOTALS		
1 BEDROOM	8 (24)	
2 BEDROOM	5 (15)	
TOTAL	13 (39)	



This document and all information herein is confidential and the intellectual property of Rossmann Architects. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, copied, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architects.
 The copyright is retained by Rossmann Architects and Associates Inc.
 Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architects. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers partie, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie, sous quelque forme que ce soit, pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architects.
 Le droit d'auteur est retenu par Rossmann Architects.



ROSSMANN ARCHITECTURE
 88 Saint-Joseph
 Boulevard, Gatineau
 QC J8Y 3W5
 819-600-1555
 Drawn by / Dessiné par ES
 Reviewed by / Révisé par ES

TEAM / ÉQUIPE
 PLANNING
 P.H. ROBINSON CONSULTING
 T 613.599.9216

CIVIL
 ARCH-NOVA DESIGN INC
 T 613.829.5722

LANDSCAPE
 JAMES B. LENNOX & ASSOCIATES
 T 613.772.5168

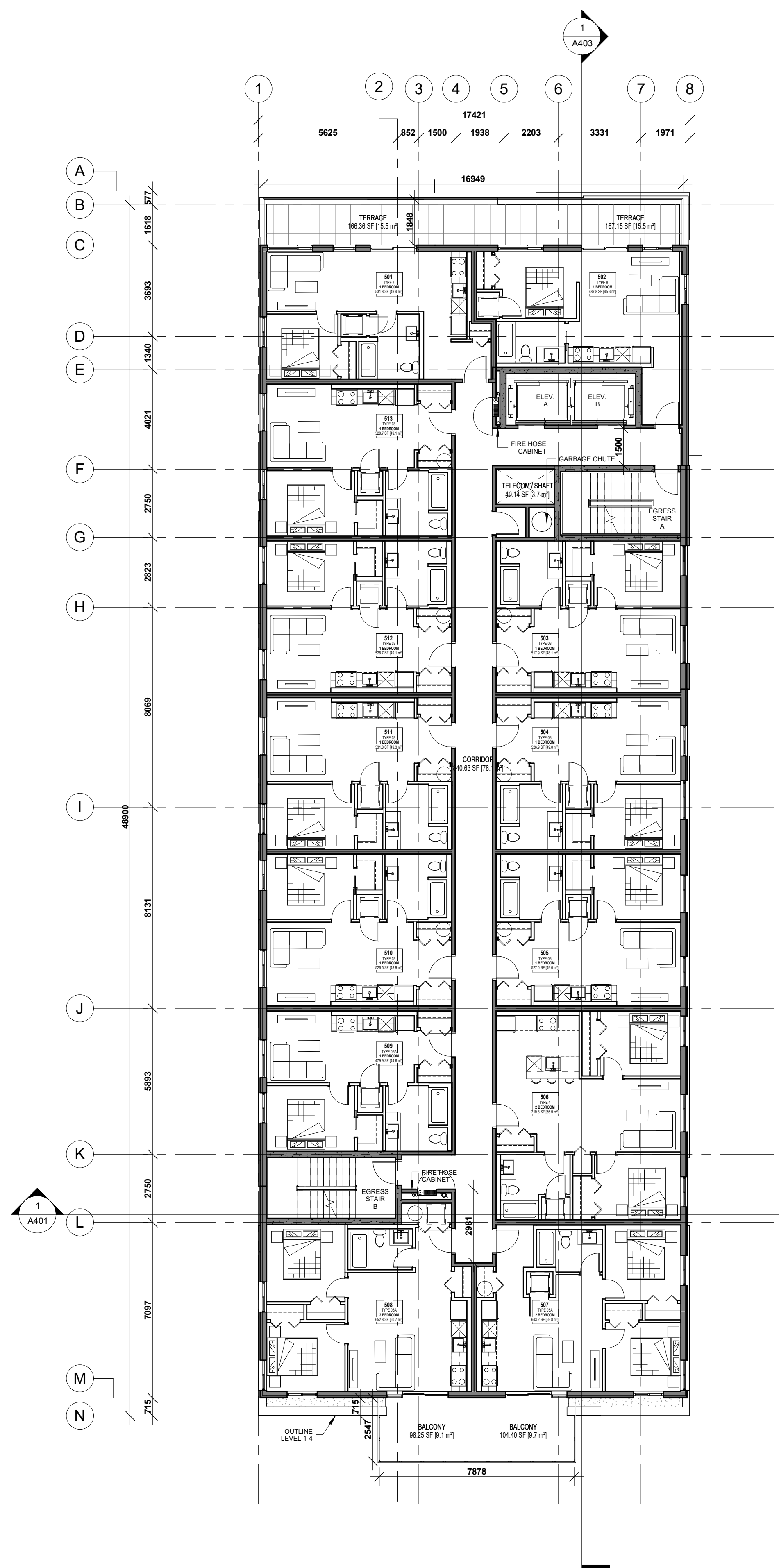
SURVEYOR
 ANNIS. O'SULLIVAN, VOLLEBEKK TLD
 T 613.727.0850

Release	Date	Description
07	2022-03-09	SPC SUB. #4
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

Revision	Date	Description
20002		

20002
 374 McArthur - Castle Heights
 Residences

TYPICAL FLOOR PLANS (LEVEL 2-4)



GENERAL NOTES

NOTE-A: ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D: REFER TO LANDSCAPE PLANN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E: DO NOT SCALE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

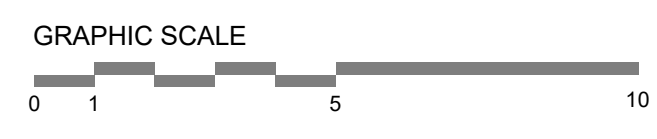
ROOF COVERING LEGEND

RF-1 2-PLY ROOF MEMBRANE SYSTEM WITH GRANULAR TOPPING
MANUFACTURER:
COLOR:
SQ.FT.: 6506 ft²

RF-2 ROOF TERRACE PAVERS
MANUFACTURER:
COLOR:
SQ.FT.:

LEVEL STATISTICS

	SQ.FT	SQ.M.
GROSS FLOOR AREA (GFA)	8587.25	797.75
PARKING AREA	-	-
LEASABLE AREA	7200	669
AMENITY AREA	536.25 (ext)	50 (ext)
SERVICE AREA	16	1.5
SHAFTS / VOIDS	48	4.5
RESIDENTIAL CIRCULATION	840.5	78
NON-RESIDENTIAL CIRCULATION	0	0
STAIRCASE	373.75	34.72
ELEVATOR	158	14.7
UNIT TOTALS		
1 BEDROOM	10	
2 BEDROOM	3	
TOTAL	13	

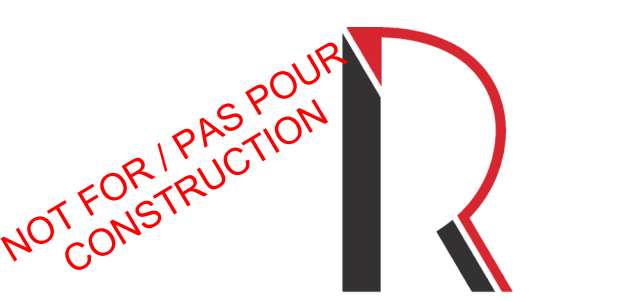


This document and all information herein is confidential and the intellectual property of Rossmann Architects. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, copied, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architects.

The copyright is retained by Rossmann Architects and Associates Inc.

Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architects. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers partie, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architects.

Le droit d'auteur est retenu par Rossmann Architects.



ROSSMANN ARCHITECTURE

88 Saint-Joseph
Boulevard, Gatineau
QC J8Y 3W5
819-600-1555

Drawn by / Dessiné par: ES
Reviewed by / Révisé par: ES

TEAM / ÉQUIPE

PLANNING
P.H. ROBINSON CONSULTING
T 613.599.9216

CIVIL
ARCH-NOVA DESIGN INC
T 613.829.5722

LANDSCAPE
JAMES B. LENNOX & ASSOCIATES
T 613.772.5168

SURVEYOR
ANNIS. O'SULLIVAN, VOLLEBEKK TLD
T 613.727.0850

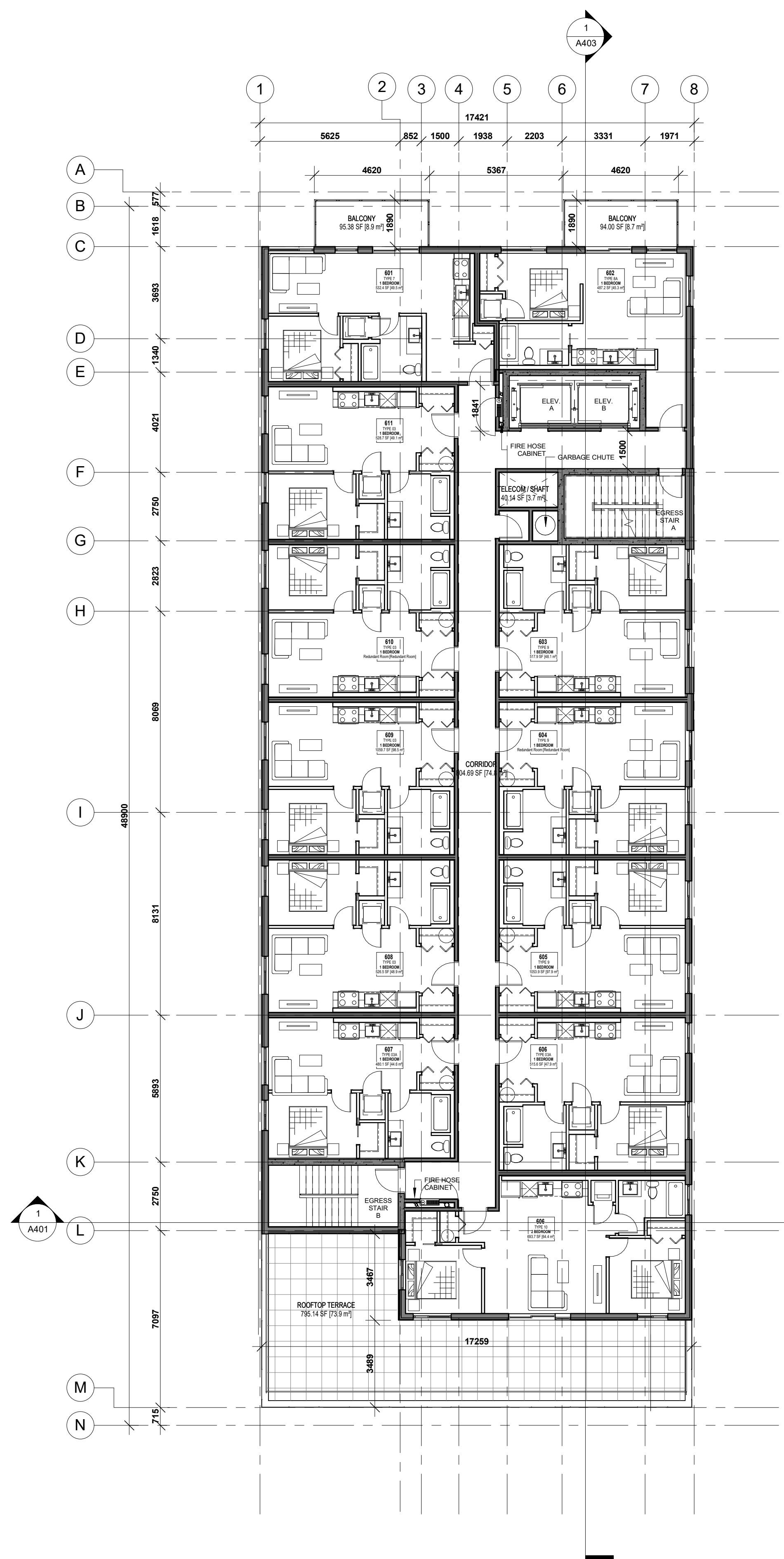
Revision	Date	Description
07	2022-03-09	SPC SUB. #4
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

Revision	Date	Description
20002		

20002
374 McArthur - Castle Heights
Residences

FLOOR PLAN LEVEL 5

1 FLOOR PLAN LEVEL 5
1:125



GENERAL NOTES

NOTE-A: ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D: REFER TO LANDSCAPE PLANN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E: DO NOT SCALE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

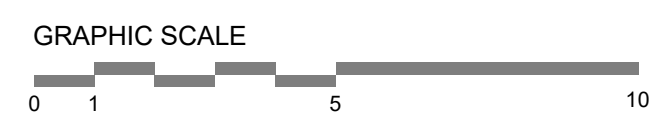
ROOF COVERING LEGEND

RF-1 2-PLY ROOF MEMBRANE SYSTEM WITH GRANULAR TOPPING
MANUFACTURER :
COLOR :
SQ.FT. : 6506 ft²

RF-2 ROOF TERRACE PAVERS
MANUFACTURER :
COLOR :
SQ.FT. :

LEVEL STATISTICS

	SQ.FT	SQ.M.
GROSS FLOOR AREA (GFA)	7731	718.25
PARKING AREA	-	-
LEASABLE AREA	6,393	594
AMENITY AREA	876 (ext)	81.4(ext)
SERVICE AREA	16	1.5
SHAFTS / VOIDS	48	4.5
RESIDENTIAL CIRCULATION	796.5	74
NON-RESIDENTIAL CIRCULATION	0	0
STAIRCASE	373.75	34.72
ELEVATOR	158	14.7
UNIT TOTALS		
1 BEDROOM	11	
2 BEDROOM	1	
TOTAL	12	

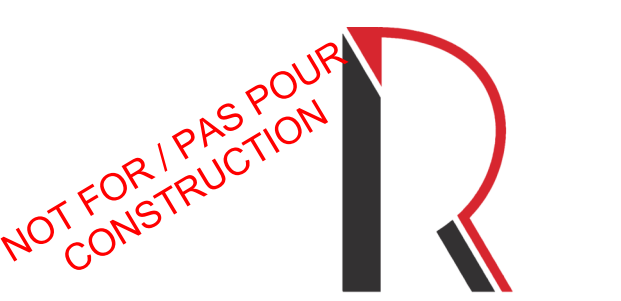


This document and all information herein is confidential and the intellectual property of Rossmann Architects. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, copied, loaned, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architects.

The copyright is retained by Rossmann Architects and Associates Inc.

Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architects. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers partie, utilisé, vendu, prêté, loué ou reproduit en son entier ou en partie d'aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architects.

Le droit d'auteur est retenu par Rossmann Architects.



ROSSMANN ARCHITECTURE

88 Saint-Joseph
Boulevard, Gatineau
QC J8Y 3W5
819-600-1555

Drawn by / Dessiné par ES
Reviewed by / Révisé par ES

TEAM / ÉQUIPE

PLANNING
P.H. ROBINSON CONSULTING
T 613.599.9216

CIVIL
ARCH-NOVA DESIGN INC
T 613.829.5722

LANDSCAPE
JAMES B. LENNOX & ASSOCIATES
T 613.772.5168

SURVEYOR
ANNIS. O'SULLIVAN, VOLLEBEKK TLD
T 613.727.0850

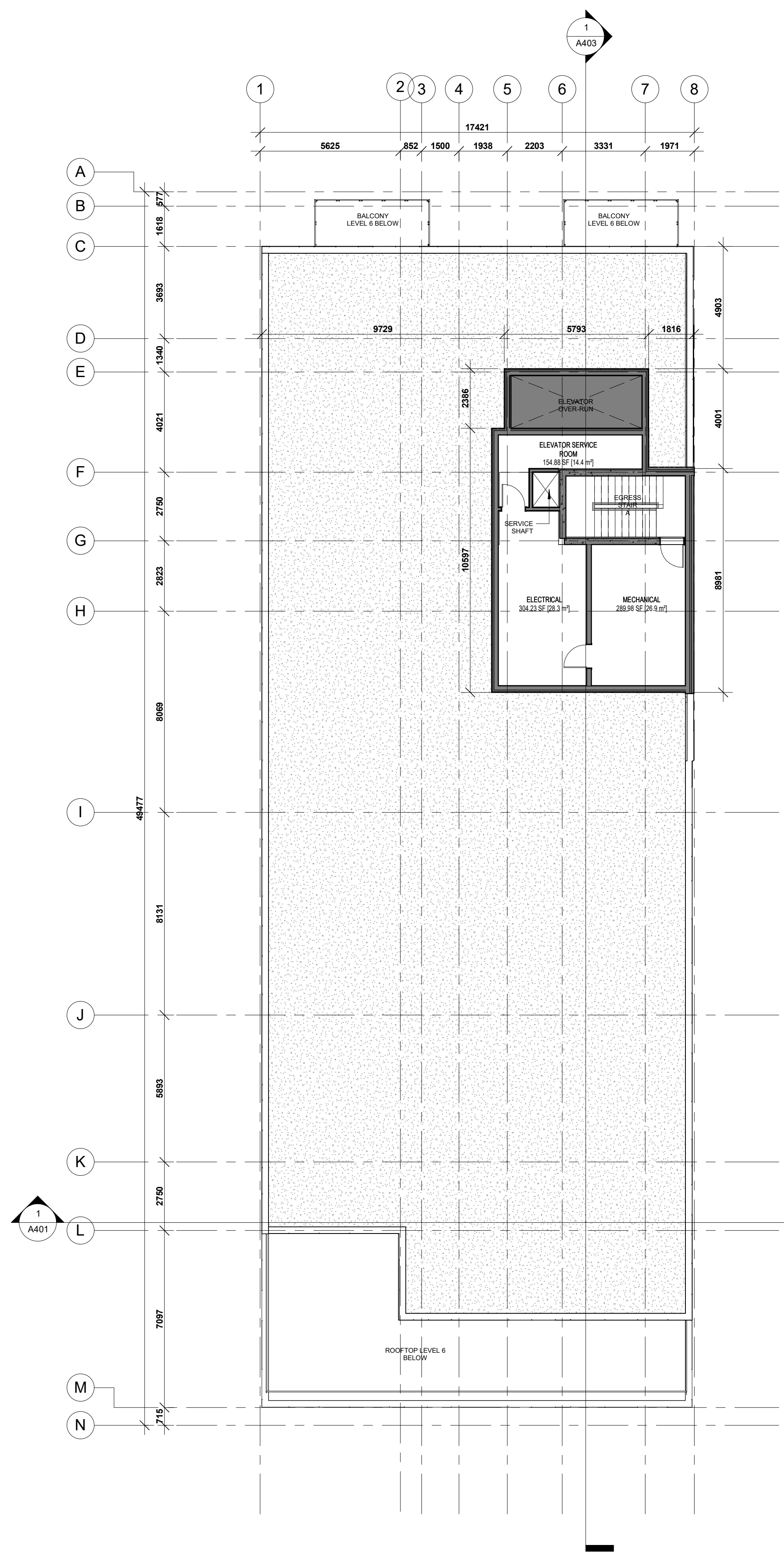
Release	Date	Description
07	2022-03-09	SPC SUB. #4
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

Revision	Date	Description
20002		

20002
374 McArthur - Castle Heights
Residences

FLOOR PLAN LEVEL 6

1 FLOOR PLAN LEVEL 6
1:125



GENERAL NOTES

NOTE-A: ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D: REFER TO LANDSCAPE PLANN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E: DO NOT SCALE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

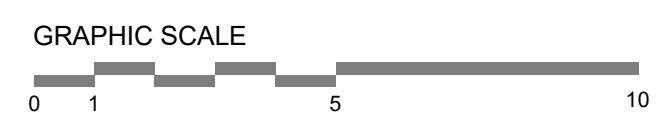
ROOF COVERING LEGEND

RF-1 2-PLY ROOF MEMBRANE SYSTEM WITH GRANULAR TOPPING
 MANUFACTURER :
 COLOR :
 SQ.FT. : 6506 ft²

RF-2 ROOF TERRACE PAVERS
 MANUFACTURER :
 COLOR :
 SQ.FT. :

LEVEL STATISTICS

	SQ.FT	SQ.M.
GROSS FLOOR AREA (GFA)	787.3	73.15
PARKING AREA	-	-
LEASABLE AREA	0	0
AMENITY AREA	0 (ext)	0 (ext)
SERVICE AREA	682	63.3
SHAFTS / VOIDS	16	1.5
RESIDENTIAL CIRCULATION	0	0
NON-RESIDENTIAL CIRCULATION	0	0
STAIRCASE	179	17
ELEVATOR	169	15.7
UNIT TOTALS		
1 BEDROOM		
2 BEDROOM		
TOTAL		

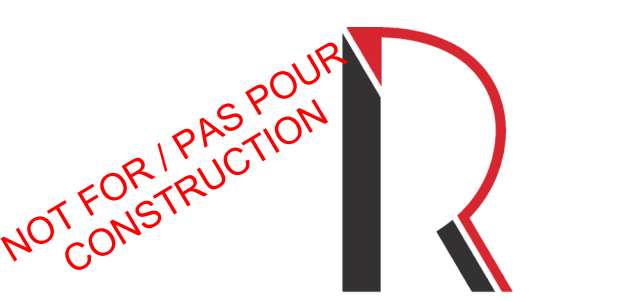


This document and all information herein is confidential and the intellectual property of Rossmann Architects. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, copied, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architects.

The copyright is retained by Rossmann Architects and Associates Inc.

Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architects. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers partie, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie, sous aucune manière pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architects.

Le droit d'auteur est retenu par Rossmann Architects.



ROSSMANN ARCHITECTURE

88 Saint-Joseph
 Boulevard, Gatineau
 QC J8Y 3W5
 819-600-1555

Drawn by / Dessiné par ES
 Reviewed by / Révisé par ES

TEAM / ÉQUIPE

PLANNING
 P.H. ROBINSON CONSULTING
 T 613.599.9216

CIVIL
 ARCH-NOVA DESIGN INC
 T 613.829.5722

LANDSCAPE
 JAMES B. LENNOX & ASSOCIATES
 T 613.772.5168

SURVEYOR
 ANNIS. O'SULLIVAN, VOLLEBEKK TLD
 T 613.727.0850

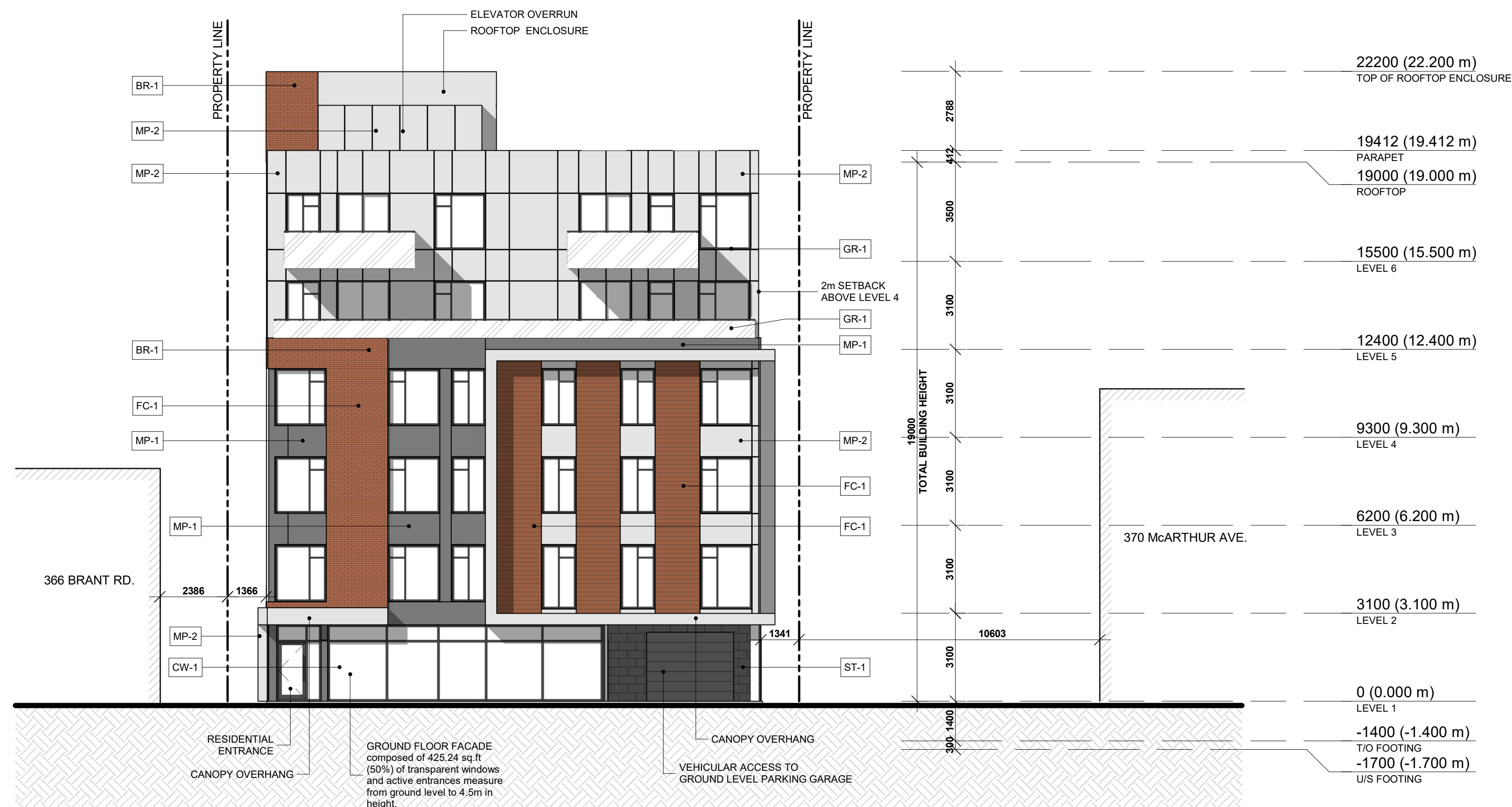
Revision	Date	Description
07	2022-03-09	SPC SUB. #4
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

Revision	Date	Description

20002
 374 McArthur - Castle Heights
 Residences

ROOF PLAN

1 FLOOR PLAN LEVEL ROOFTOP
 1:125



1 NORTH ELEVATION
1 : 125

GENERAL NOTES

NOTE-A : ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B : ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C : CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

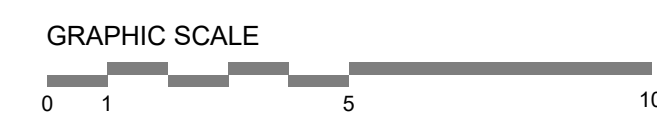
NOTE-D : REFER TO LANDSCAPE PLANN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E : DO NOT SCALE DRAWINGS.

NOTE-F : ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

MATERIAL LEGEND

ST-1	STONE VENEER MANUFACTURER : COLOR : CHARCOAL SQ.FT. :
BR-1	BRICK VENEER MANUFACTURER : BRAMPTON BRICK COLOR : BROWN / RED SQ.FT. :
MP-1	FIBER CEMENT PANELS TYPE 1 MANUFACTURER : JAMES HARDIE COLOR : CHARCOAL SQ.FT. :
MP-2	FIBER CEMENT PANELS TYPE 2 MANUFACTURER : JAMES HARDIE COLOR : LIGHT GREY SQ.FT. :
FC-1	HORIZONTAL FIBER-CIMENT CLADDING MANUFACTURER : JAMES HARDIE COLOR : CEDAR SQ.FT. :
MF-1	METALIC FLASHING MANUFACTURER : COLOR : CHARCOAL SQ.FT. :
CW-1	GLASS CURTAIN WALL COLOR : CLEAR
GR-1	GLASS RAILING COLOR : CLEAR



2 EAST ELEVATION
1 : 125

This document and all information herein is confidential and the intellectual property of Rossmann Architects. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, copied, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architects.

The copyright is retained by Rossmann Architects and Associates Inc. Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architects. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers partie, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie. Toute réimpression pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architects.

Le droit d'auteur est retenu par Rossmann Architects.



ROSSMANN ARCHITECTURE
88 Saint-Joseph
Boulevard, Gatineau
QC J8Y 3W5
819-600-1555

Drawn by / Dessiné par
Author
Reviewed by / Révisé par
Designer

TEAM / ÉQUIPE

PLANNING
P.H. ROBINSON CONSULTING
T 613.599.9216

CIVIL
ARCH-NOVA DESIGN INC
T 613.829.5722

LANDSCAPE
JAMES B. LENNOX & ASSOCIATES
T 613.772.5168

SURVEYOR
ANNIS. O'SULLIVAN, VOLLEBEKK TLD
T 613.727.0850

Revision	Date	Description
07	2022-03-09	SPC SUB. #4
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

Revision	Date	Description
20002		374 McArthur - Castle Heights Residences

NORTH & EAST ELEVATIONS

This document and all information herein is confidential and the intellectual property of Rossmann Architects. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, copied, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architects.

The copyright is retained by Rossmann Architects and Associates Inc. Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architects. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie, sous quelque forme que ce soit, pour la manufacture, soumission ou pour autres fins sans la permission écrite de Rossmann Architects.

Le droit d'auteur est retenu par Rossmann Architects.

GENERAL NOTES

NOTE-A : ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B : ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C : CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D : REFER TO LANDSCAPE PLANN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E : DO NOT SCALE DRAWINGS.

NOTE-F : ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

MATERIAL LEGEND

	ST-1 STONE VENEER MANUFACTURER : COLOR : CHARCOAL SQ.FT. :
	BR-1 BRICK VENEER MANUFACTURER : BRAMPTON BRICK COLOR : BROWN / RED SQ.FT. :
	MP-1 FIBER CEMENT PANELS TYPE 1 MANUFACTURER : JAMES HARDIE COLOR : CHARCOAL SQ.FT. :
	MP-2 FIBER CEMENT PANELS TYPE 2 MANUFACTURER : JAMES HARDIE COLOR : LIGHT GREY SQ.FT. :
	FC-1 HORIZONTAL FIBER-CEMENT CLADDING MANUFACTURER : JAMES HARDIE COLOR : CEDAR SQ.FT. :
	MF-1 METALIC FLASHING MANUFACTURER : COLOR : CHARCOAL SQ.FT. :
	CW-1 GLASS CURTAIN WALL COLOR : CLEAR
	GR-1 GLASS RAILING COLOR : CLEAR

NOT FOR / PAS POUR CONSTRUCTION

ROSSMANN ARCHITECTURE

88 Saint-Joseph
Boulevard, Gatineau
QC J8Y 3W5
819-600-1555

Drawn by / Dessiné par
Author
Reviewed by / Révisé par
Designer

TEAM / ÉQUIPE

PLANNING
P.H. ROBINSON CONSULTING
T 613.599.9216

CIVIL
ARCH-NOVA DESIGN INC
T 613.829.5722

LANDSCAPE
JAMES B. LENNOX & ASSOCIATES
T 613.772.5168

SURVEYOR
ANNIS. O'SULLIVAN, VOLLEBEKK TLD
T 613.727.0850

Revision	Date	Description
07	2022-03-09	SPC SUB. #4
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

Release Date Description

Revision Date Description

20002

374 McArthur - Castle Heights Residences

SOUTH & WEST ELEVATIONS

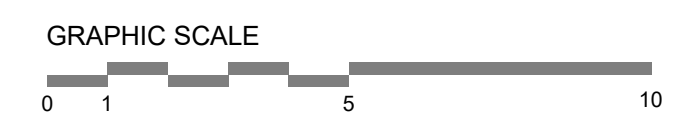
1:125

A302

#17016



1 SOUTH ELEVATION
1 : 125



2 WEST ELEVATION
1 : 125

GENERAL NOTES

NOTE-A : ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B : ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C : CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D : REFER TO LANDSCAPE PLANN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E : DO NOT SCALE DRAWINGS.

NOTE-F : ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

This document and all information herein is confidential and the intellectual property of Rossmann Architects. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, copied, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architects.

The copyright is retained by Rossmann Architects and Associates Inc. Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architects. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie, sous quelque forme que ce soit, pour la fabrication, la reproduction ou pour tout autre usage sans la permission écrite de Rossmann Architects.

Le droit d'auteur est retenu par Rossmann Architects.



ROSSMANN
ARCHITECTURE

88 Saint-Joseph
Boulevard, Gatineau
QC J8Y 3W5
819-600-1555

Drawn by / Dessiné par
Author
Reviewed by / Révisé par
Designer

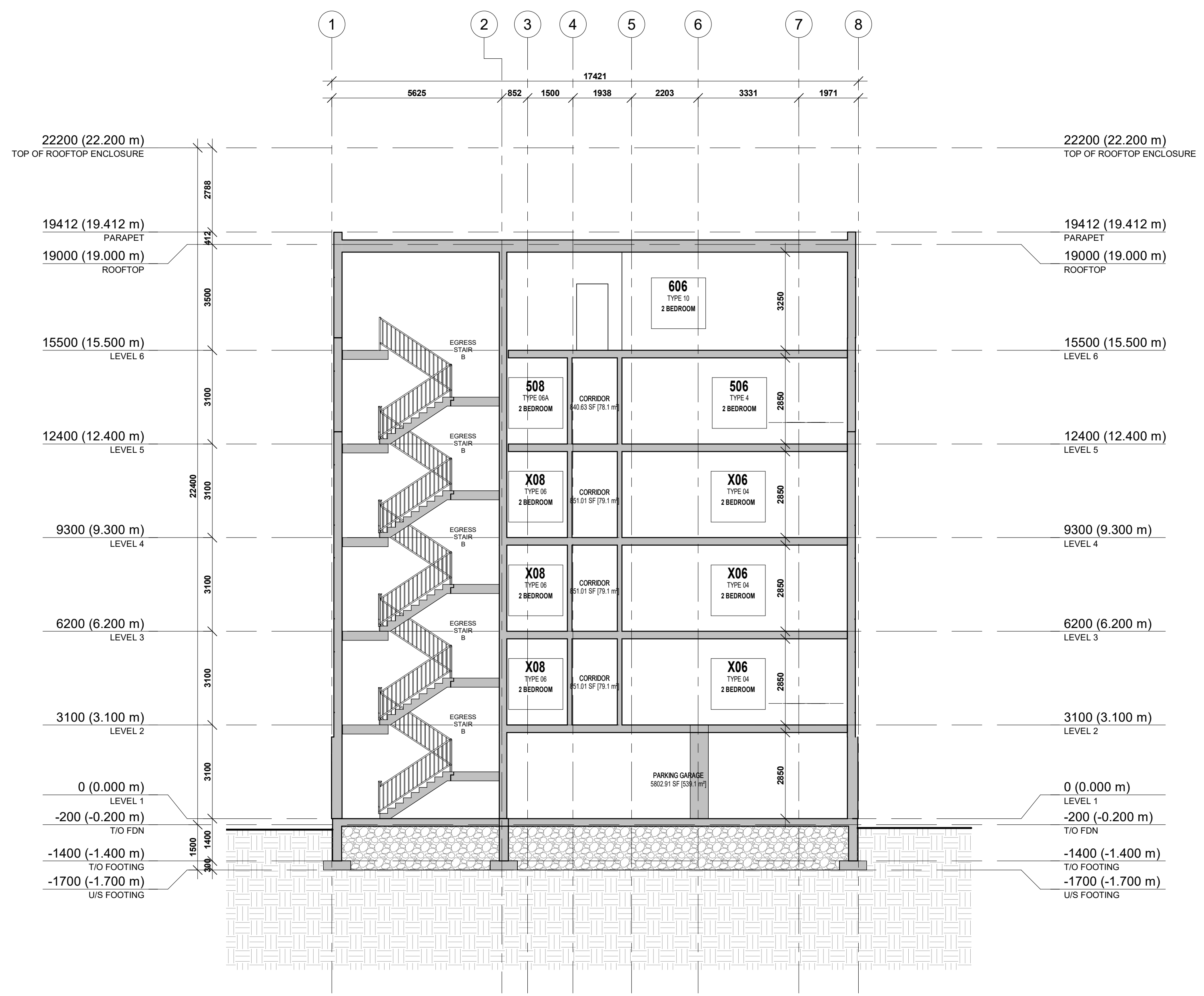
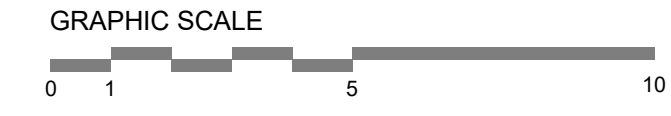
TEAM / ÉQUIPE

PLANNING
P.H. ROBINSON CONSULTING
T 613.599.9216

CIVIL
ARCH-NOVA DESIGN INC
T 613.829.5722

LANDSCAPE
JAMES B. LENNOX & ASSOCIATES
T 613.772.5168

SURVEYOR
ANNIS. O'SULLIVAN, VOLLEBEKK TLD
T 613.727.0850



Revision	Date	Description
07	2022-03-09	SPC SUB. #4
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

Release	Date	Description

Revision	Date	Description

1 BUILDING SECTION A
A101 A401 1 : 100

20002
374 McArthur - Castle Heights
Residences

BUILDING SECTION A

As indicated **A401**

GENERAL NOTES

NOTE-A: ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.

NOTE-B: ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.

NOTE-C: CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.

NOTE-D: REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.

NOTE-E: DO NOT SCALE DRAWINGS.

NOTE-F: ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

This document and all information herein is confidential and the intellectual property of Rossmann Architects Inc. It is disclosed in confidence on terms that it will not be disclosed to any third party, used, sold, loaned, licensed, or reproduced in whole or in any part in any manner or form for manufacturing, rendering or for any other purpose without the written permission of Rossmann Architects.

The copyright is retained by Rossmann Architects and Associates Inc.

Ce document, ainsi que tous renseignements contenus à l'intérieur, est la propriété de Rossmann Architects. Il est divulgué en confiance sous les termes qu'il ne sera pas divulgué à aucun tiers, utilisé, vendu, prêté, licencié ou reproduit en son entier ou en partie, sous quelque forme que ce soit, pour la fabrication, la soumission ou pour autres fins sans la permission écrite de Rossmann Architects.

Le droit d'auteur est retenu par Rossmann Architects.



ROSSMANN ARCHITECTURE

88 Saint-Joseph
Boulevard, Gatineau
QC J8Y 3W5
819-600-1555

Drawn by / Dessiné par
Author
Reviewed by / Révisé par
Designer

TEAM / ÉQUIPE

PLANNING
P.H. ROBINSON CONSULTING
T 613.599.9216

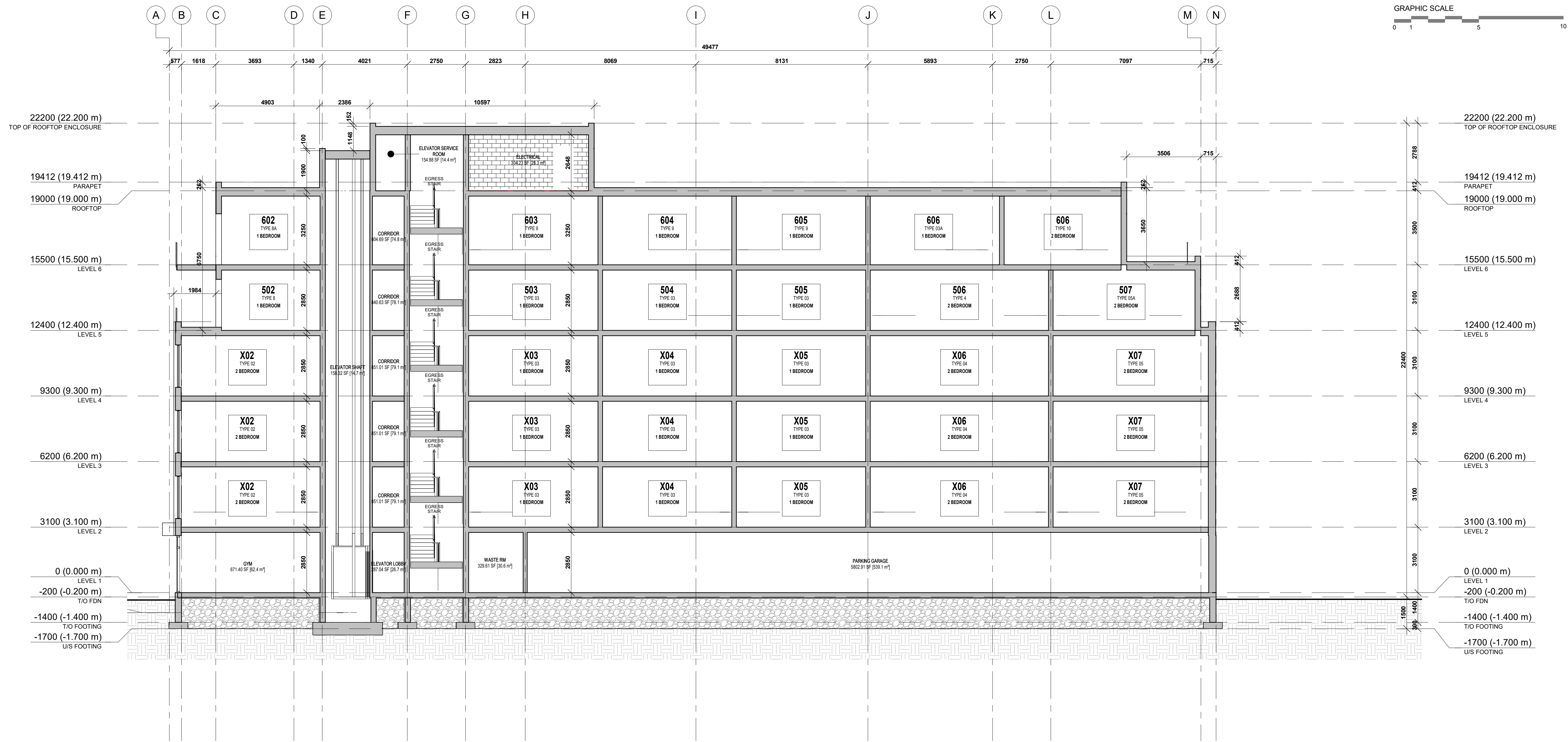
CIVIL
ARCH-NOVA DESIGN INC
T 613.829.5722

LANDSCAPE
JAMES B. LENNOX & ASSOCIATES
T 613.772.5168

SURVEYOR
ANNIS. O'SULLIVAN, VOLLEBEKK TLD
T 613.727.0850

Release	Date	Description
07	2022-03-09	SPC SUB. #4
06	2021-11-29	MINOR VARIANCE
05	2021-10-07	SPC SUB. #3
04	2021-07-18	SPC SUB. #2
03	2020-12-22	SPC SUB. #1 /UDRP
02	2020-08-07	PRE-UDRP
01	2020-05-07	PRE-CONSULT
00	2020-04-03	FOR REVIEW

Revision	Date	Description
----------	------	-------------



1 BUILDING SECTION B
A101 | A403 1 : 100

20002
374 McArthur - Castle Heights
Residences

BUILDING SECTION B

As indicated **A403**