

SITE DATA

SITE STATISTICS (NUMBER OF UNITS & GROSS BUILDING AREA)

BLOCK 1	4 UNITS	6,240 SQ.FT. (580m ²)
BLOCK 2	6 UNITS	9,360 SQ.FT. (870m ²)
BLOCK 3	4 UNITS	5,940 SQ.FT. (552m ²)
BLOCK 4	4 UNITS	5,940 SQ.FT. (552m ²)
BLOCK 5	4 UNITS	5,940 SQ.FT. (552m ²)
BLOCK 6	7 UNITS	10,920 SQ.FT. (1,014m ²)
TOTAL	29 UNITS	44,340 SQ.FT. (4,119m²)

LOT COVERAGE

TOTAL LOT AREA:	2,949m ²
TOTAL GROSS BUILDING AREA:	1,444m ²
TOTAL LOT COVERAGE:	49%
TOTAL HARD SURFACE AREA:	1,038m ²
TOTAL LOT COVERAGE:	35%
TOTAL LANDSCAPE AREA:	467m ²
TOTAL LOT COVERAGE:	16%

SURVEY INFORMATION

ANNIS O'SULLIVAN, VOLLEBEKK LTD.
14 CONCOURSE GATE, SUITE 500
OTTAWA, ON
K2E 7S6

SURVEYOR'S REAL PROPERTY REPORT
PART 1 PLAN OF
LOTS 18,19, 20, 21, 22 & 23
REGISTERED PLAN 369
CITY OF OTTAWA

SITE STATISTICS

PLANNED UNIT DEVELOPMENT ZONING MECHANISM

ZONING : R3R

DWELLING TYPE: PUD - 29 UNITS	REQUIRED	PROPOSED
MIN. WIDTH OF PRIVATE DRIVEWAY	6.0m	4.5m
MIN. SEPARATION AREA BETWEEN BUILDINGS	1.2m MIN.	2.4m MIN.

SETBACKS

	REQUIRED	PROPOSED
FRONT YARD	N/A	3m
CORNER SIDE YARD	N/A	3m
REAR YARD	N/A	3m
INTERIOR SIDE YARD	N/A	3m

MIN. LOT WIDTH
MIN. LOT AREA
MAX. BUILDING HEIGHT

	REQUIRED	PROPOSED
MIN. LOT WIDTH	10.7m MAX.	10.64m

PARKING REQUIREMENTS - RESIDENTS

(PARKING PROVISIONS 2008-250 SECTION 106)

RESIDENTS REQUIRE	PROVIDED
19 TOWNHOUSE DWELLING: 0.75 / DU(17) = 12.75	29 RESIDENT SPACES
STACKED DWELLING: 0.5 / DU(12) = 6	
0 VISITORS	0 VISITORS
19 SPACES	29 TOTAL

CONSULTANTS

ARCHITECT
HOBIN ARCHITECTURE INC.
63 PAMILLA STREET,
OTTAWA, ON K1S 3K7

PLANNER
STANTEC
400 - 1331 CLYDE AVENUE
OTTAWA, ON K2C 3G4

CONTACT:
HUGO LATRELLE
TEL: 613-236-7200 ext.133

CONTACT:
BARRETT L. WAGAR
TEL: 613-722-4420

CIVIL/LANDSCAPE
CIMA+
110-240 CATHERINE STREET
OTTAWA, ON K2P 2G8

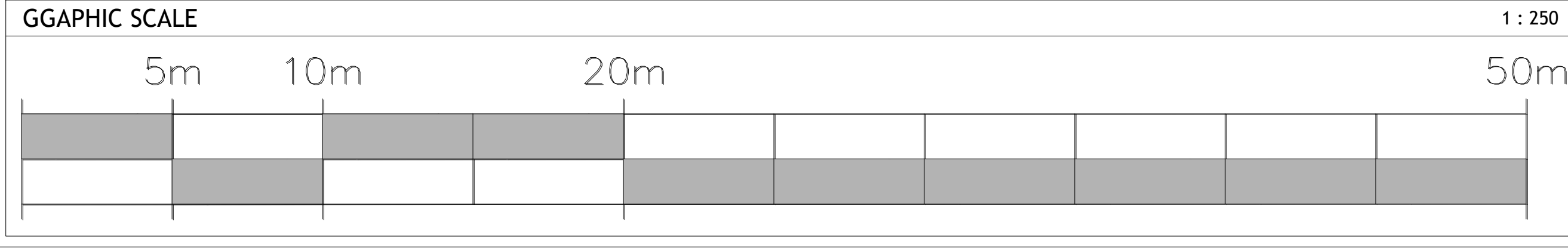
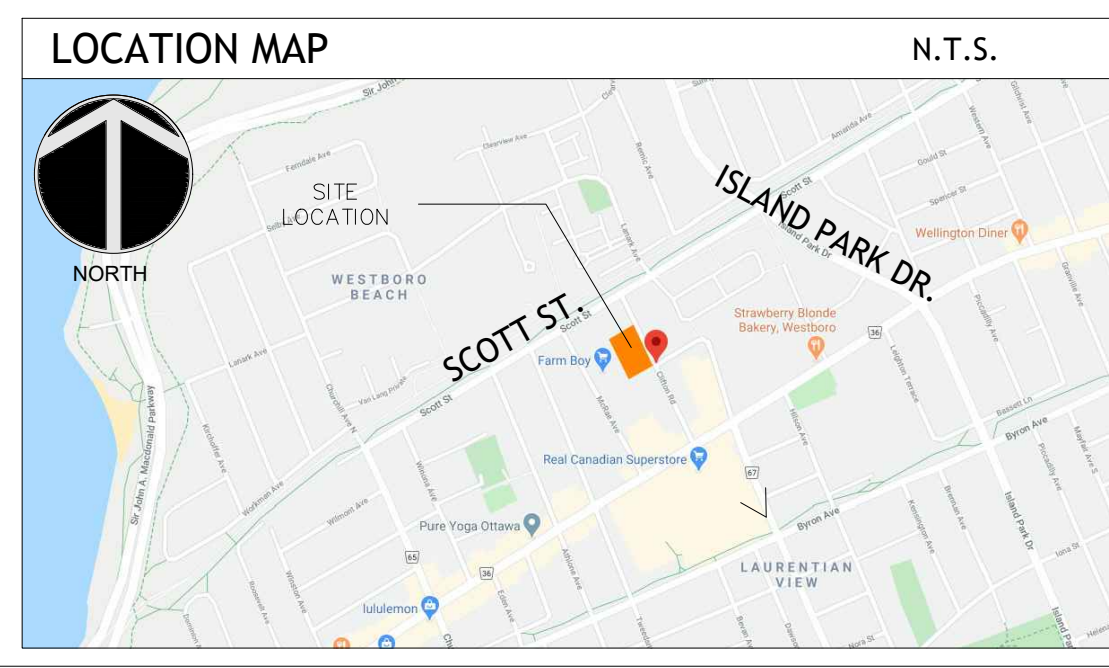
CONTACT:
CHRISTIAN LAVOIE-LEBEL
TEL: 613-860-2462 EXT. 6621

APPROVAL SIGNATURE

APPROVED REFUSED

DATE _____

DERRICK MOODIE, ACTING MANAGER, DEVELOPMENT REVIEW, SUBURBAN SERVICES



no. date revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

Copyright reserved.

Hobin Architecture Incorporated
63 PAMILLA STREET
OTTAWA, ONTARIO
CANADA K1S 3K7
T: 613-238-7200
F: 613-235-2005
E: mail@hobinarc.com
hobinarc.com

HOBIN ARCHITECTURE

project title
CLIFTON TOWNS

CLIFTON ROAD, OTTAWA, ONTARIO

drawing title
SITE PLAN

drawn	date	scale
HL	JAN 2021	1:150

project
2020

drawing no.
SP-1

revision no.