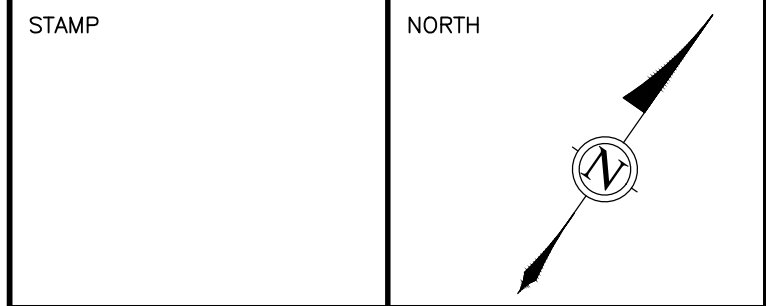
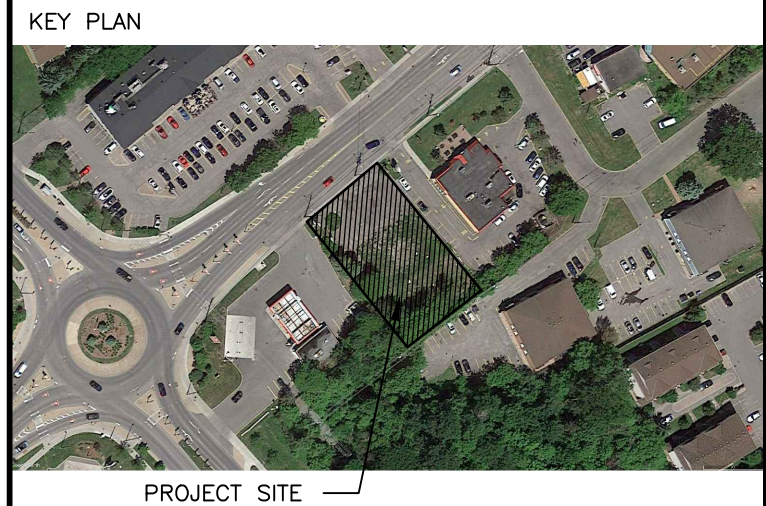
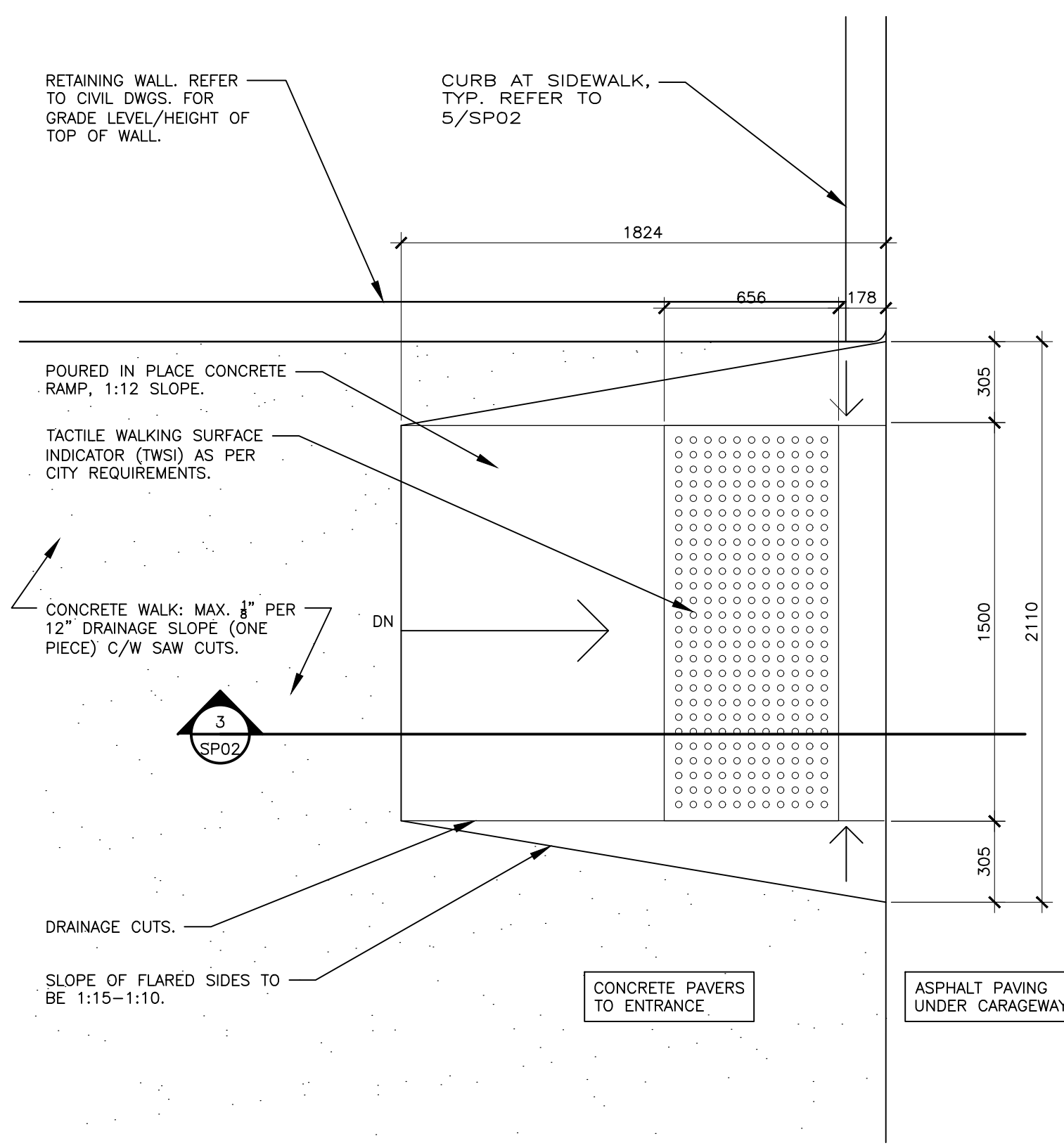


- NOTE:
1. EXPANSION JOINTS IN WALKWAYS, RAMPS TO BE AS SPECIFIED AND AS INDICATED ON SITE PLAN.
 2. REINFORCING TO BE AS PER STRUCTURAL DRAWING.
 3. CONCRETE TO BE BROOM-FINISHED AS PER DRAWINGS.
 4. RAILS AS REQUIRED.
 5. MAX SLOPE 1:20
 6. TWSI TO HAVE A RAISED TACTILE SURFACE WITH CIRCULAR FLAT-TOPPED DOMES AS PER CITY OF OTTAWA REQUIREMENTS.



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DO NOT SCALE DRAWINGS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

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02	ISSUED FOR SITE PLAN	01/12/23
01	ISSUED FOR CLIENT REVIEW	06/04/21
NO.	REVISION	MM/DD/YY DATE

WOODMAN ARCHITECT
ASSOCIATES LTD.

201-4 BEECHWOOD AVENUE, OTTAWA, ONTARIO, CANADA K1L6L9
TEL: G13 226 9650. FAX G13 226 9646. mailbo@woodmanarchitect.com

CONSULTANTS:
STRUCTURAL -
MECHANICAL -
ELECTRICAL -

PROJECT:
**1994 ST. JOSEPH,
OTTAWA, ON**

DRAWING:
SITE DETAILS

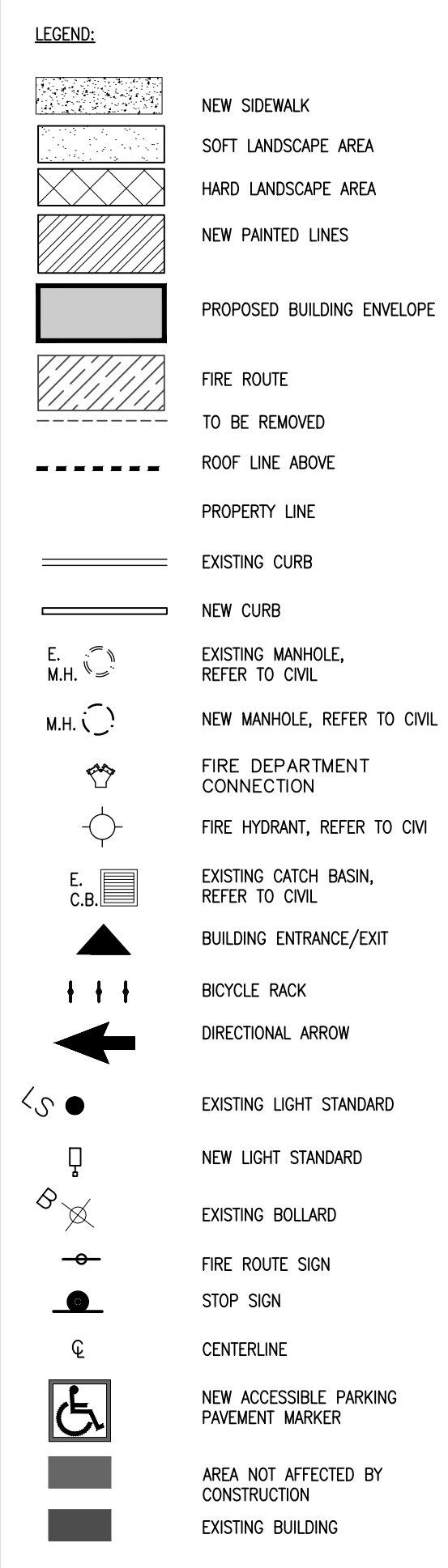
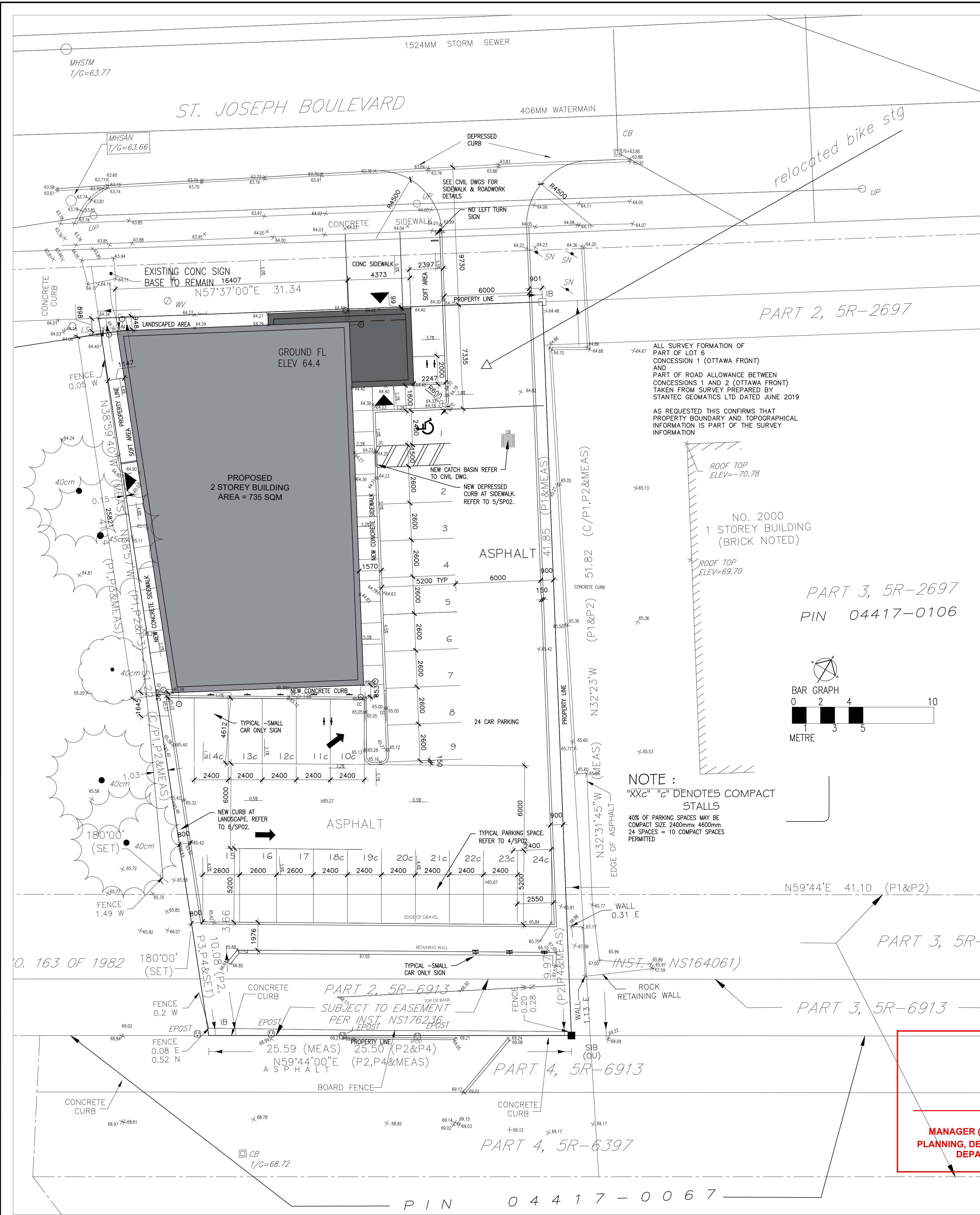
DATE	04 JUNE, 2021	JOB NO.	1964
SCALE	AS SHOWN	DRAWING NO.	
DRAWN BY	A.S., S.B.		
REVIEWED BY	R.J.W., R.W.		

John Seigny
JOHN SEIGNY C.E.T.
MANAGER (A), DEVELOPMENT REVIEW EAST
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

APPROVED
By seignyjo at 11:51 am, Oct 23, 2024

A100a
18575

D07-12-21-0021



ZONING INFORMATION:

ZONE : AM3
 SCHEDULE 1A : AREA "C"

REQUIRED MIN. LOT WIDTH WITH DIRECT ACCESS TO ST. JOSEPH: 24.00m
 PROVIDED: 31.34m

REQUIRED MAX. FRONT YARD FOR A NON-RESIDENTIAL BUILDING: 4.00m
 PROVIDED: 0.12m

REQUIRED INTERIOR YARD SETBACK : NO MIN.
 PROVIDED: WEST 0.90m
 EAST 9.20m

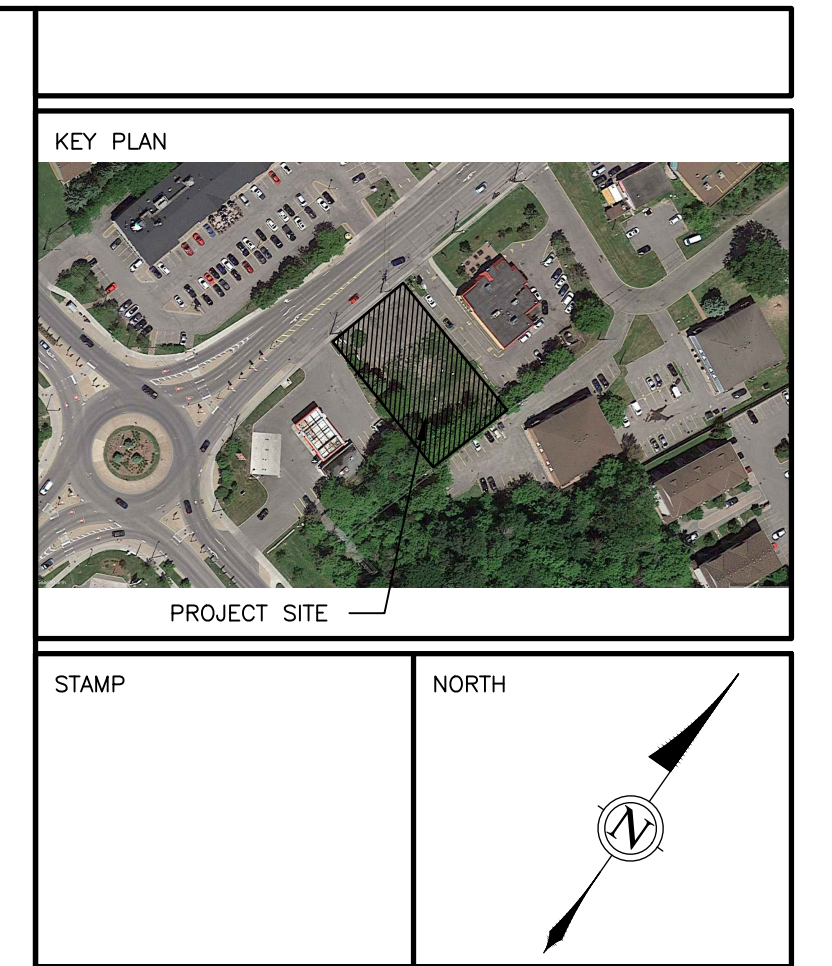
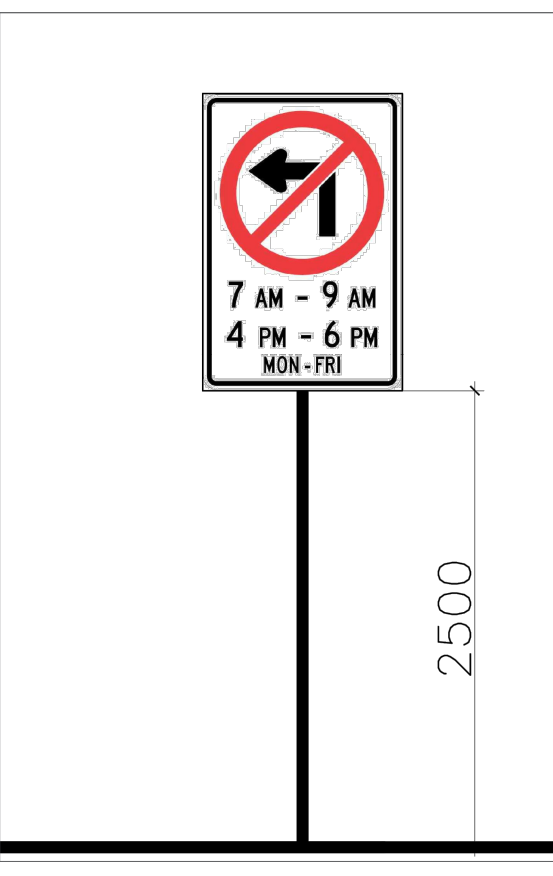
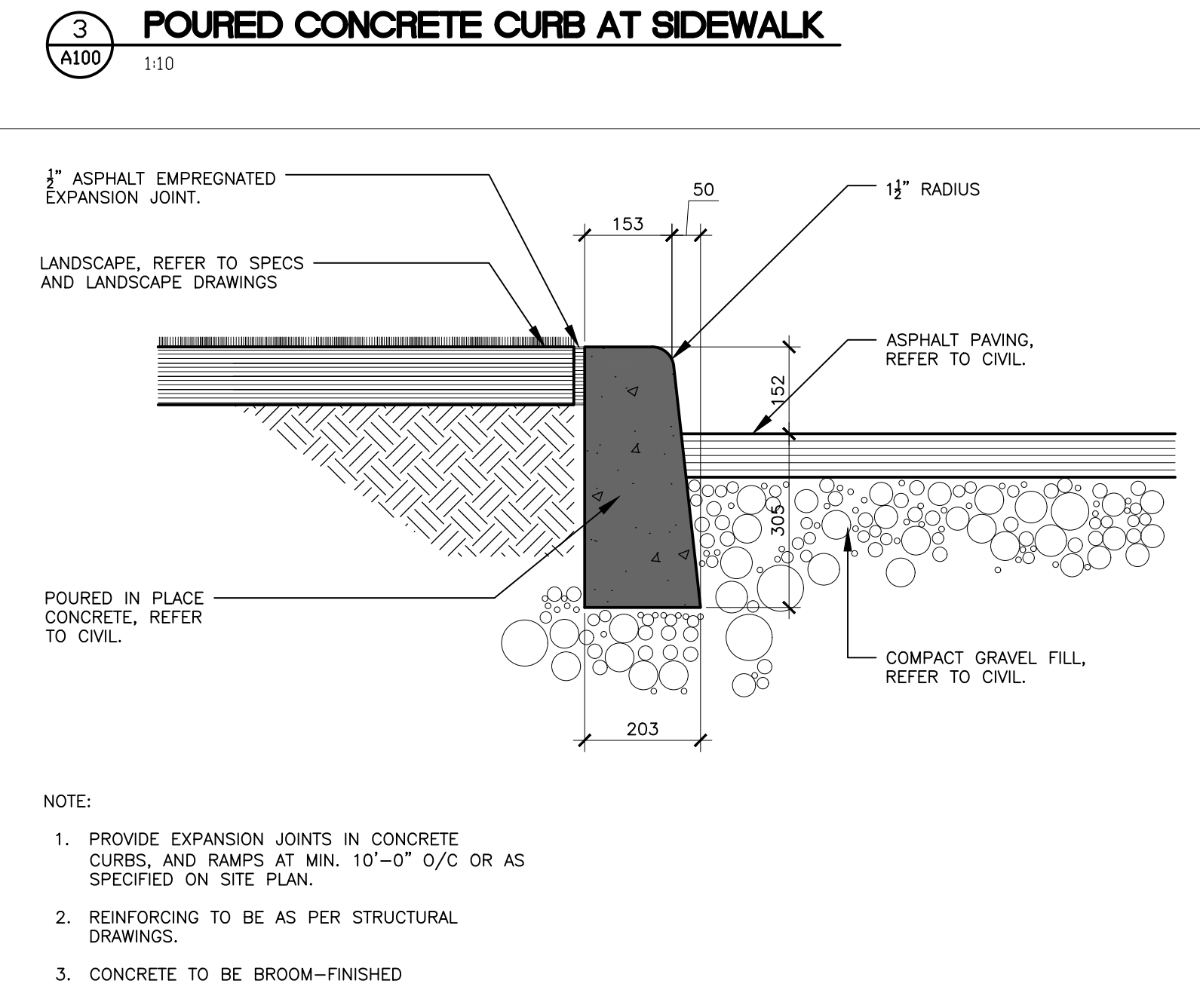
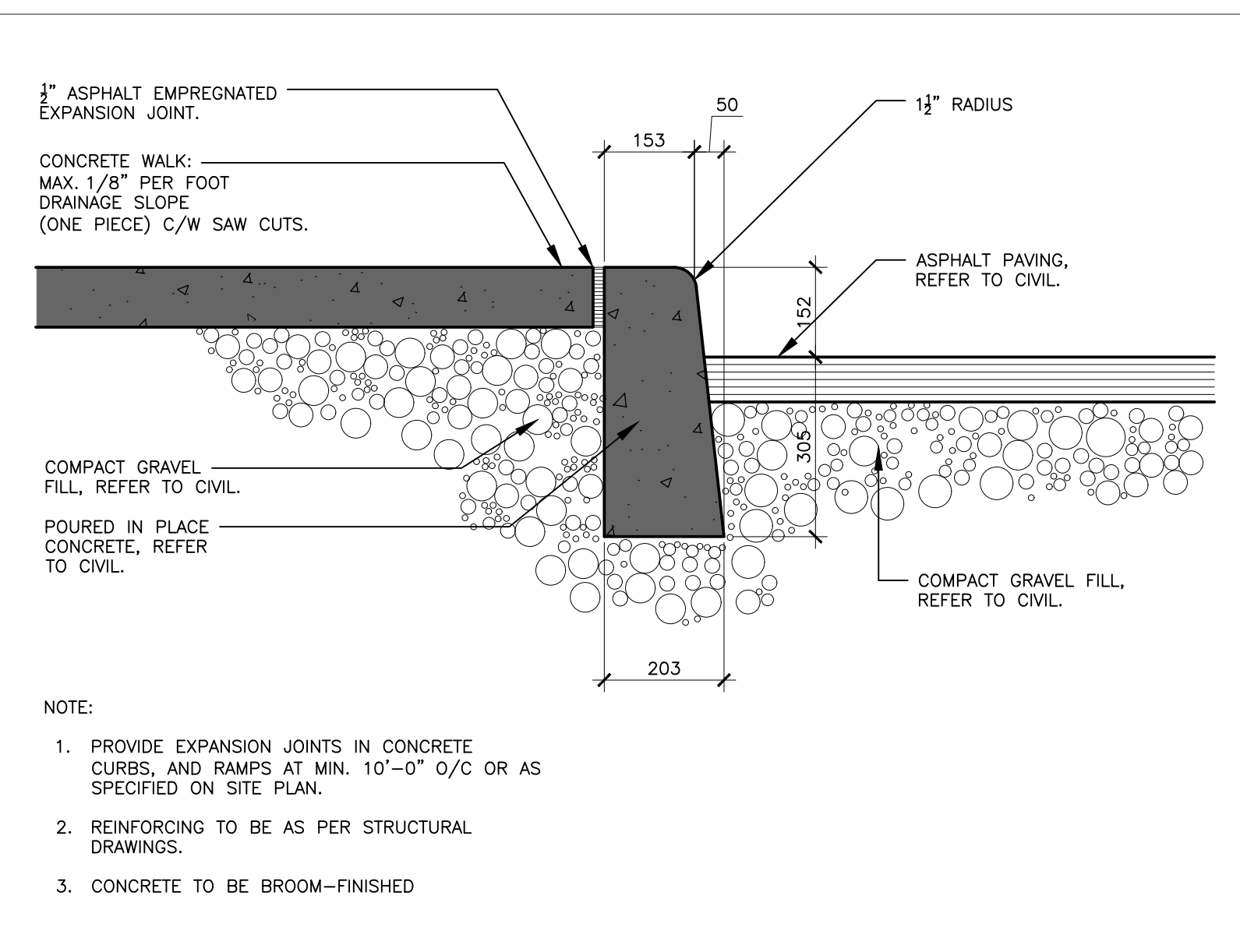
REQUIRED MINIMUM REAR YARD SETBACK : 7.50m
 PROVIDED: 24.0m

REQUIRED MAX. F.S.I.: LOTS GREATER THAN 40m IN DEPTH (3X): LOT AREA 1459.6sqm X 3 = 4378.80 sqm
 PROVIDED: 581.8sqm

REQUIRED PARKING: PERSONAL SERVICE @ 3.4/100sqm GFA : GROUND FLOOR = 285.86sqm GFA
 : SECOND FLOOR = 295.94sqm GFA
 TOTAL GFA : = 581.80sqm GFA
 581.8/100 = 5.8 X 3.4 = 19.7 = 20 : PROVIDED 24 STALLS, INC 1 ACCESSIBLE
 PROVIDED: 3

REQUIRED BICYCLE PARKING: PERSONAL SERVICE @ 0.5sqm GFA : 1.2 = 1
 PROVIDED: 3

REQUIRED BUILDING FACE TO BE MIN 50% OF LOT FRONT : LOT (31.34m) BUILDING (20.66m) = 66% OF WIDTH
 GROUND FLOOR TO BE MIN 50% OPENINGS : BUILDING FACADE (20.657m) OPENINGS (4.416+8.770)=13.186m
 = 64% OF LENGTH



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02	SITE PLAN REVISIONS	12/01/21
01	ISSUED FOR CLIENT REVIEW	06/04/21
NO.	REVISION	MM/DD/YY DATE

WOODMAN ARCHITECT ASSOCIATES LTD.

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PROJECT:
1994 ST. JOSEPH, OTTAWA, ON

DRAWING:
SITE PLAN & SITE DETAILS

DATE	04 JUNE, 2021	JOB NO.	1964
SCALE	AS SHOWN	DRAWING NO.	
DRAWN BY	A.S. SHOWN		
REVIEWED BY	R.J.W., R.W.		

JOHN SEVIGNY C.E.T.
 MANAGER (A), DEVELOPMENT REVIEW EAST
 PLANNING, DEVELOPMENT & BUILDING SERVICES
 DEPARTMENT, CITY OF OTTAWA

APPROVED
 By sevignyjo at 11:52 am, Oct 23, 2024

1 SITE PLAN
 A100 1:150

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