

1 Site Plan - New Work
A1.2 Scale = 1:150

LEGAL DESCRIPTION:
LOT 3 & LOT 4
PIN: 04588 - 0194

PROPERTY:
LOT AREA: 2168.56 SQ.M
LOT FRONTAGE: 27.01M
LOT WIDTH: 80.82 M
LOT DEPTH: 796.94 SQ.M
PROPOSED BUILDING FOOT PRINT: 94.94 SQ.M
EXISTING BUILDING FOOT PRINT: 36.75%

SITE BOUNDARY INFORMATION DERIVED FROM SURVEY OF PROPERTY, PART OF LOTS 3 & 4 REGISTERED PLAN 547 CITY OF OTTAWA, GEOGRAPHIC TOWNSHIP OF CUMBERLAND, CITY OF OTTAWA, SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBERK LTD. AUGUST 27, 2020.
PLAN 4R - 8159.

SITE STATISTICS: 5947 MAIN ST, MANOTICK, ON K4M 1B3

PROJECT INFORMATION	
ZONING BY-LAW 2024-85	VM9[937]
SITE AREA	2,168.56 SQ.M
AVERAGE MEAN GRADE (GEODETTIC ELEVATION)	122.865M
GROSS FLOOR AREA (CITY OF OTTAWA)	
BELOW GRADE	781.88 SQ.M (8,416.09 SQ.FT)
GROUND FLOOR	713.91 SQ.M (7,684.46 SQ.FT)
SECOND FLOOR	772.07 SQ.M (8,310.49 SQ.FT)
THIRD FLOOR	772.07 SQ.M (8,310.49 SQ.FT)
TOTAL GROSS FLOOR AREA	3,039.93 SQ.M (32,721.53 SQ.FT)
UNIT STATISTICS	
1 BEDROOM UNIT	11
2 BEDROOM UNIT	13
1 BEDROOM UNIT (ACCESSIBLE)	2
2 BEDROOM UNIT (ACCESSIBLE)	2
TOTAL	28

PROJECT STATISTICS		
	REQUIRED	PROVIDE
BUILDING HEIGHT	12.6M MAX.	11.94M
FRONT YARD SETBACK	3M	13.21M
CORNER SIDE YARD SETBACK	3M MIN - 4.5M MAX	N/A
REAR YARD SETBACK	30M FROM THE NORMAL HIGHWATER MARK	28.31M
INTERIOR YARD SETBACK	NO MIN	1.5M
LANDSCAPE BUFFER FOR A PARKING LOT ABUTTING A STREET	1.3M MIN.	1.3M
LANDSCAPE BUFFER FOR A PARKING LOT NOT ABUTTING A STREET	NONE (PARKING LOT CONTAINING 10 OR FEWER SPACES)	N/A
CAR PARKING REQUIREMENT		
	REQUIRED	PROVIDE
RESIDENTS	28 (1 x 28 UNITS)	25
VISITOR	6 (0.2 X 26 UNITS)	3
BICYCLE PARKING REQUIREMENT		
	REQUIRED	PROVIDE
RESIDENTS	14 (0.5 x 28 UNITS)	15 (7 - VERTICAL AND 8 - HORIZONTAL)
AMENITY AREA		
	REQUIRED	PROVIDE
TOTAL	168 SQ.M (28 UNITS x 6 SQ.M)	142.03 SQ.M + 180.73 SQ.M = 322.76 SQ.M
COMMUNAL	50% OF TOTAL (168 SQ.M x 50% = 84 SQ.M)	42.03 SQ.M (CYM) + 100 SQ.M (OUTDOOR) = 142.03 SQ.M
WASTE MANAGEMENT REQUIREMENT		
	REQUIRED	PROVIDE
GARBAGE	6.2 (0.231 SQ.YD / UNIT)	6 YARD
RECYCLING	360L CART / 6 UNITS	5 - 360L
COMPOST	COMMUNAL 250L GREEN CONTAINER / 50 UNITS	1 - 250L
AREA	2 SQ.M MIN.	28 SQ.M

LEGEND FOR DRAWING A1.2:

- PROPERTY — PROPERTY LINE
- SET BACK — SETBACK
- OHW — OVERHEAD UTILITY WIRES
- WATER — WATER MAIN
- CB □ CATCH BASIN
- UP UTILITY POLE
- ⊗ WW WATER VALVE
- ▶ ENTRANCE.
- ◁ PARKING SPACE (V FOR VISITOR)
- SOD
- CONCRETE SIDEWALK
- DESIGNATED FIRE ROUTE.
- ○ ○ VEGETATION/PLANTING/TREES

LEGEND FOR DRAWING A1.2:

1. PAVED DRIVEWAY.
2. DEPRESSED CONCRETE AND WALKWAY.
3. CONCRETE WALKWAY.
4. CONCRETE CURB.
5. CONCRETE VEHICULAR RAMP EQUIPPED WITH HYDROID HEATING SYSTEM.
6. SOFT LANDSCAPING.
7. BENCH.
8. ROOF OVERHANG.
9. BALCONY.
10. ACCESS AISLE.
11. DEPRESSED CURB.
12. EXTEND OF DEPRESSED CONCRETE WALKWAY.
13. TACTILE INDICATOR.
14. PAINTED PARKING LINES.
15. PAINT LINES NOTED PEDESTRIAN CROSSING.
16. PROPOSED SIDE WALK TO REMAIN PROTECT FULLY FOR DURATION OF PROJECT.



1066 Somerset Street West, Suite 200, Ottawa Ontario, K1Y 4T3
Telephone: 613.724.9914 E-mail: architecture@brydengibson.ca

PROJECT NAME NOM DU PROJET

5497 Manotick
Aparment

5497 Main St, Manotick, ON K4M 1B3

DRAWING TITLE TITRE DU DESSIN

Site Plan
New Work

JOB No N° DE PROJET DATE DATE
813-24 May 2024

SCALE 1:150 ECHELLE PRINTING SCALE/ÉCHELLE D'IMPRESSION

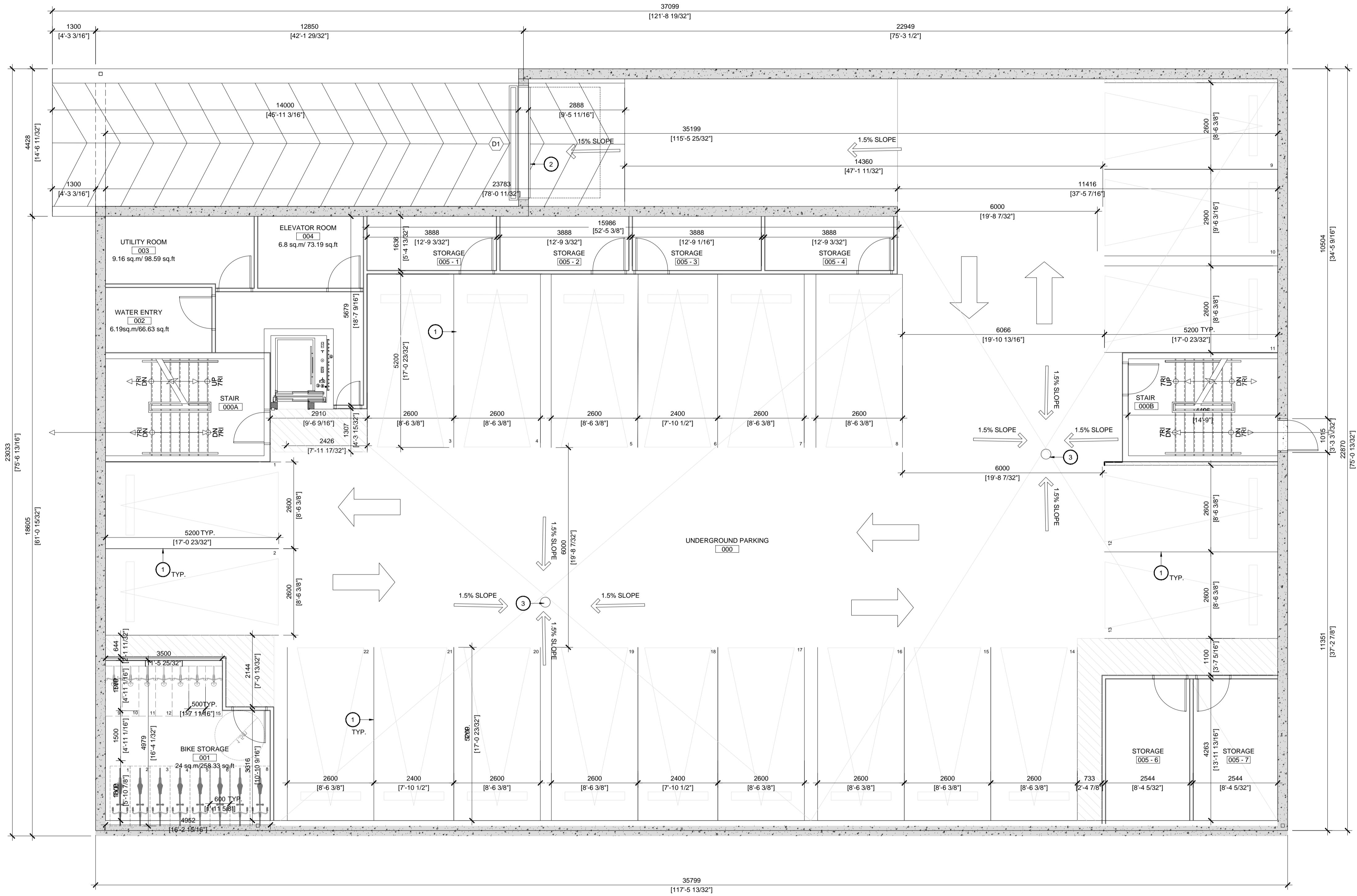
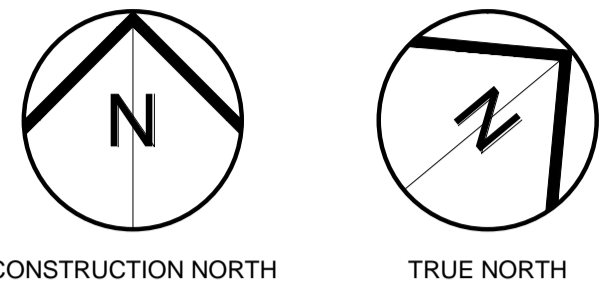
CONCEPTION BY CONÇUS PAR SG
DRAWN BY DESSINÉ PAR CT
IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PRINTING SCALE.

CHECKED BY VÉRIFIÉ PAR SG
ARCHITECT'S STAMP

DRAWING No DESSIN N°

A1.2

SCEAU D'ARCHITECTE REVISION No 0



1 Underground Parking Plan
Scale = 1:70

- NOTES FOR DRAWING A2.1:
1. PAINTED PARKING LINES.
 2. TRENCH DRAIN.
 3. DRAIN, SLOPE CONCRETE TOWARD DRAIN.

1	Issued for City Review	12.09.2024
No	ISSUE/REVISION	DATE
N°	ÉMISSION/RÉVISION	DD/MM/YY



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PROJECT NAME: NOM DU PROJET
5497 Manotick Apartment
5947 Main St, Manotick, ON K4M 1B3
DRAWING TITLE: TITRE DU DESSIN
Underground Parking Floor Plan

JOB No 813-24	N° DE PROJET	DATE May 2024	DATE
SCALE 1:70	ECHELLE	PRINTING SCALE/ ÉCHELLE D'IMPRESSION	
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DRAWN BY CT	DESSINÉ PAR	SI CETTE LIGNE NE MESURE PAS 25mm, AJUSTER VOTRE ÉCHELLE D'IMPRESSION.	
CHECKED BY SG	VÉRIFIÉ PAR		

ARCHITECT'S STAMP	DRAWING No	DESSIN N°
	A2.1	
SCEAU D'ARCHITECTE	REVISION No	0
	RÉVISION N°	

LEGEND FOR DRAWING SERIES A3:

- STONE VENEER COLOR 1.
- STONE VENEER COLOR 2.
- HORIZONTAL VINYL SIDING COLOR 1.
- HORIZONTAL VINYL SIDING COLOR 2.
- ASPHALT SHINGLED.
- PRE-FINISHED ALUMINUM BANDING.

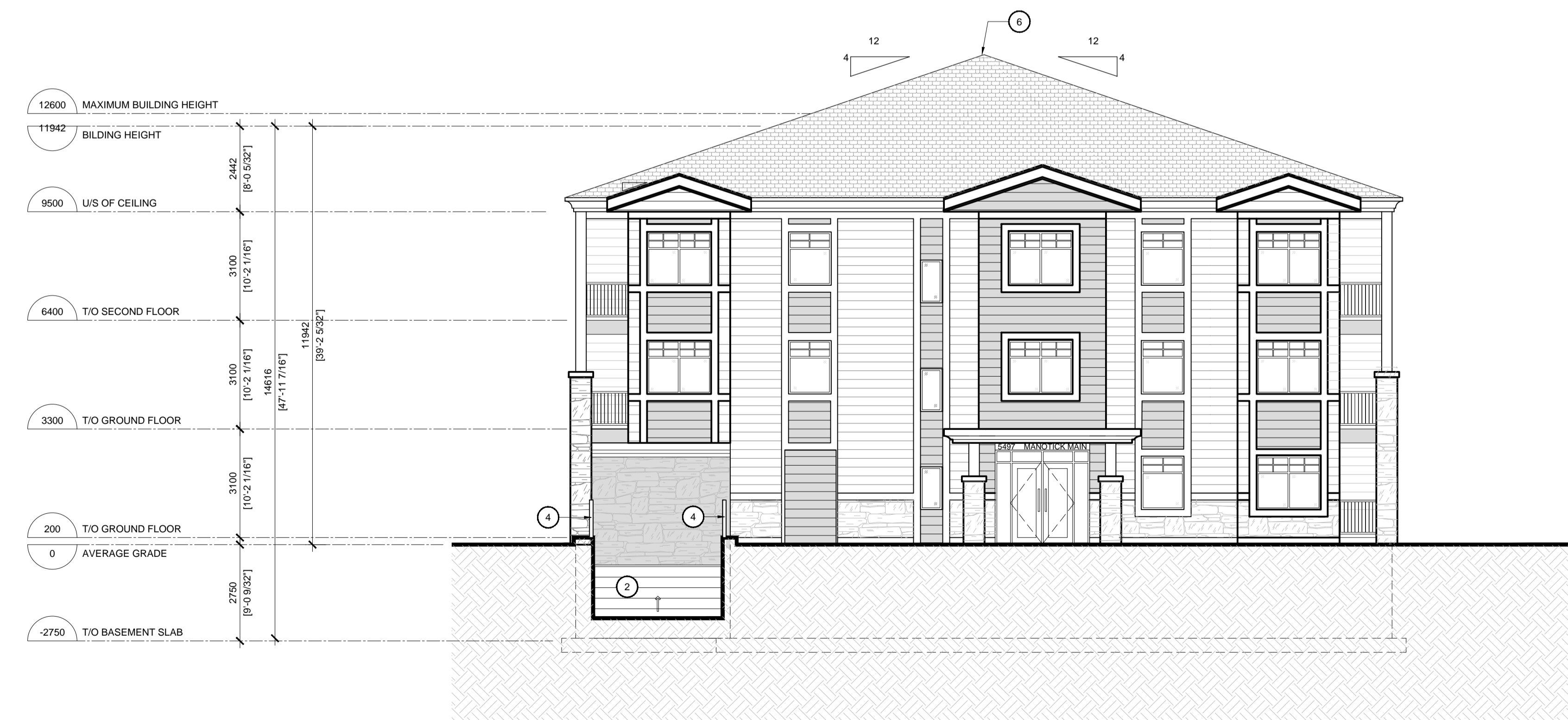
NOTE FOR DRAWING SERIES A3:

1. STRUCTURAL POSTS.
2. OVERHEAD DOOR TO UNDERGROUND PARKING.
3. LINE OF RAMP TO UNDERGROUND PARKING.
4. METAL GUARD.
5. PRESERVED WOOD CAP.
6. GALVANIZED METAL RIDGE VENT.



1 North Elevation

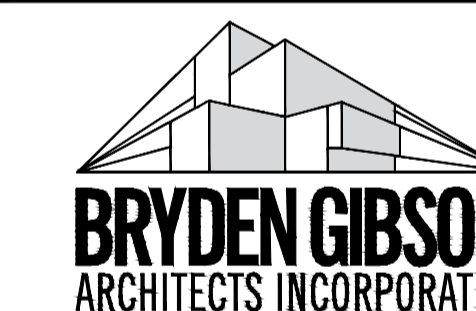
A3.2 Scale = 1:100



2 East Elevation

A3.2 Scale = 1:100

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5497 Manotick Apartment

5497 Main St, Manotick, ON K4M 1B3

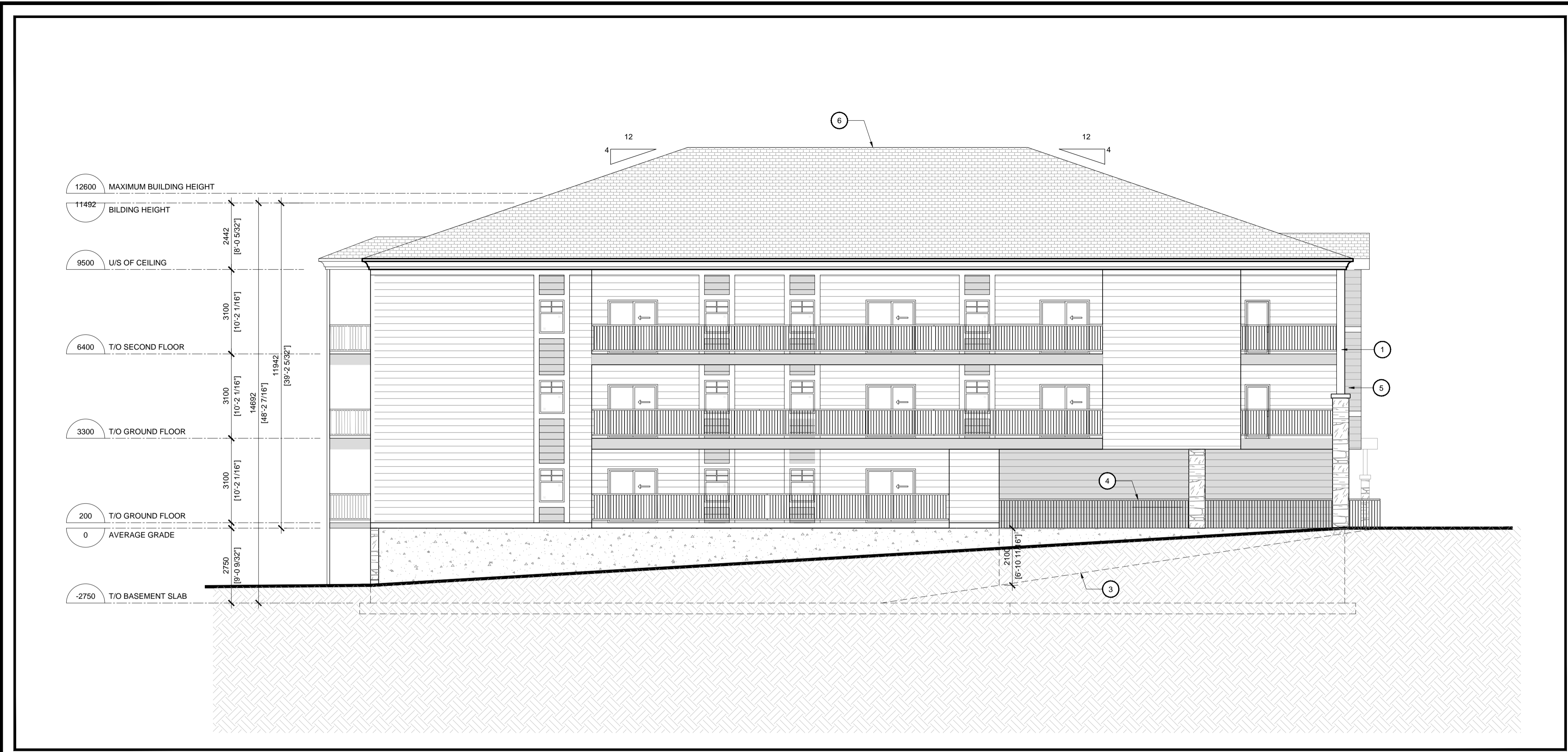
DRAWING TITLE TITRE DU DESSIN

North & East Elevations

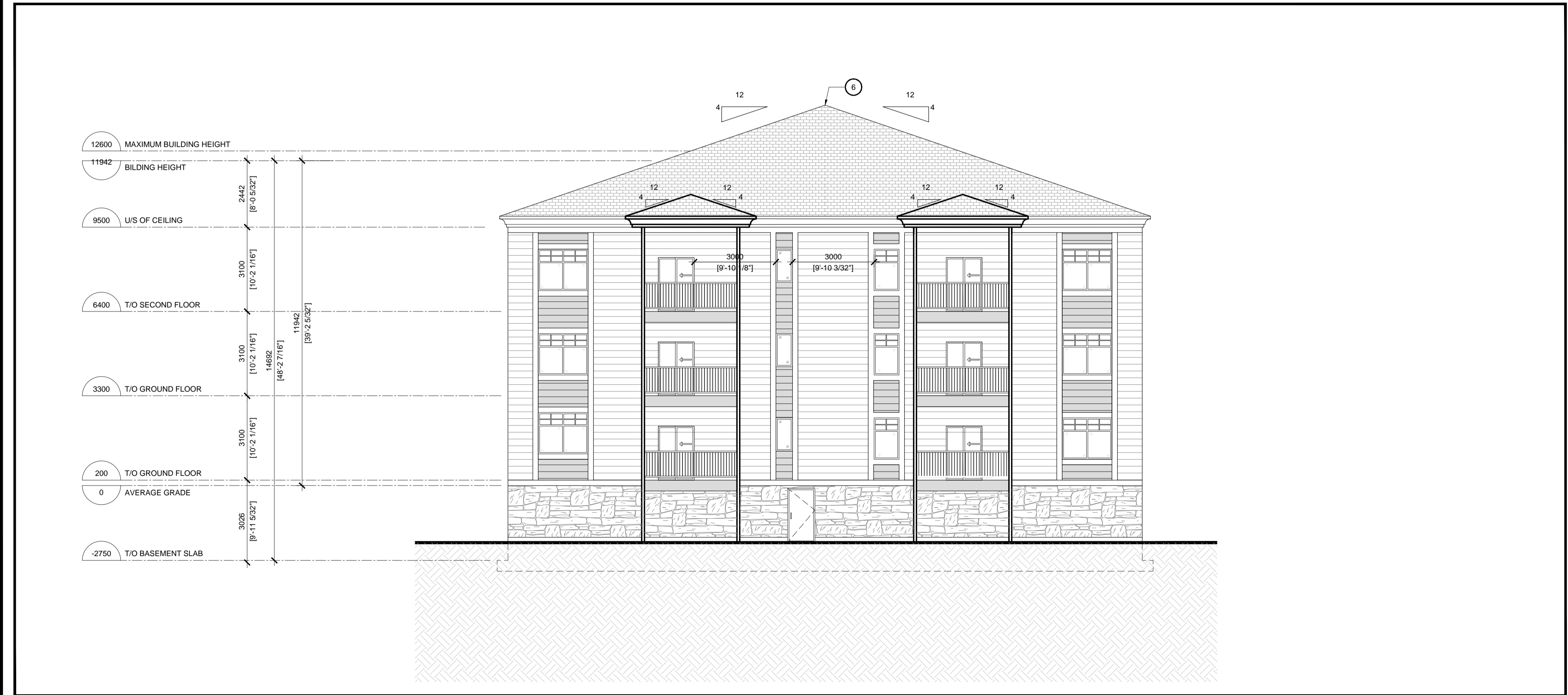
JOB No	N° DE PROJET	DATE	DATE
813-23		May 2024	
SCALE	ECHELLE	PRINTING SCALE/	ÉCHELLE D'IMPRESSION
1:70			
CONCEPTION BY	CONÇUS PAR	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PRINTING SCALE.	
SG			
DRAWN BY	DESSINÉ PAR	SI CETTE LIGNE NE MESURE PAS 25mm, AJUSTER VOTRE ÉCHELLE D'IMPRESSION.	
CT			
CHECKED BY	VÉRIFIÉ PAR		
SG			
ARCHITECT'S STAMP	DRAWING No	DESSIN N°	

A3.1

SCEAU D'ARCHITECTE REVISION No 0



1 South Elevation
A3.1 Scale = 1:100



2 West Elevation
A2.1 Scale = 1:100

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PROJECT NAME NOM DU PROJET		5497 Manotick Apartment	
DRAWING TITLE TITRE DU DESSIN		South & West Elevations	
5497 Main St, Manotick, ON K4M 1B3			
JOB No 813-23	N° DE PROJET	DATE May 2024	DATE
SCALE 1:70	ECHELLE	PRINTING SCALE/ ÉCHELLE D'IMPRESSION	
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CHECKED BY SG	VÉRIFIÉ PAR		
ARCHITECT'S STAMP	DRAWING No	DESSIN N°	
		A3.2	
SCEAU D'ARCHITECTE	REVISION No	0	
	RÉVISION N°		