

1 Site Plan - New Work
A1.2 Scale = 1:150

LEGAL DESCRIPTION:
LOT 3 & LOT 4
PIN: 04588 - 0194

PROPERTY:
LOT AREA: 2168.56 SQ.M
LOT FRONTAGE: 27.16 M
LOT WIDTH: 27.01 M
LOT DEPTH: 81.19 M
PROPOSED BUILDING FOOT PRINT: 796.94 SQ.M
EXISTING BUILDING FOOT PRINT: 94.94 SQ.M
PROPOSED LOT COVERAGE: 36.75%

SITE BOUNDARY INFORMATION DERIVED FROM SURVEY OF PROPERTY, PART OF LOTS 3 & 4 REGISTERED PLAN 547 CITY OF OTTAWA, GEOGRAPHIC TOWNSHIP OF NORTH GOWER, CITY OF OTTAWA, SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBERG LTD, AUGUST 27, 2020.

PLAN 4R - 8159.

SITE STATISTICS: 5947 MAIN ST, MANOTICK, ON K4M 1B3

PROJECT INFORMATION	
ZONING BY-LAW 2024-85	VM9[937]
SITE AREA	2,168.56 SQ.M
AVERAGE MEAN GRADE (GEODEIC ELEVATION)	122.865M
GROSS FLOOR AREA (CITY OF OTTAWA)	
BELOW GRADE	755.62 SQ.M (8,133.43 SQ.FT)
GROUND FLOOR	704.42 SQ.M (7,582.31 SQ.FT)
SECOND FLOOR	772.07 SQ.M (8,310.49 SQ.FT)
THIRD FLOOR	772.07 SQ.M (8,310.49 SQ.FT)
TOTAL GROSS FLOOR AREA	3,004.18 SQ.M (32,336.72 SQ.FT)
UNIT STATISTICS	
1 BEDROOM UNIT	15
2 BEDROOM UNIT	9
1 BEDROOM UNIT (ACCESSIBLE)	2
2 BEDROOM UNIT (ACCESSIBLE)	2
TOTAL	28

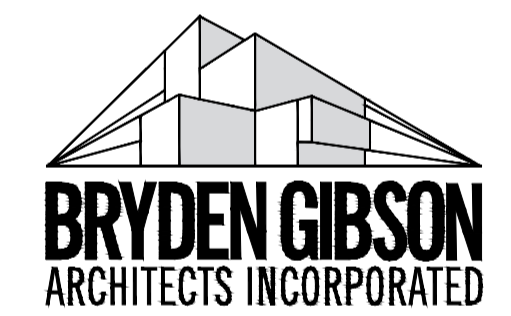
PROJECT STATISTICS		
	REQUIRED	PROVIDE
BUILDING HEIGHT	12.6M MAX.	11.94M
FRONT YARD SETBACK	3M	13.21M
CORNER SIDE YARD SETBACK	3M MIN - 4.5M MAX	N/A
REAR YARD SETBACK	7.5m	28.31M
INTERIOR YARD SETBACK	NO MIN	1.5M
LANDSCAPE BUFFER FOR A PARKING LOT ABUTTING A STREET	1.3M MIN.	1.3M
LANDSCAPE BUFFER FOR A PARKING LOT NOT ABUTTING A STREET	NONE (PARKING LOT CONTAINING 10 OR FEWER SPACES)	N/A
CAR PARKING REQUIREMENT		
	REQUIRED	PROVIDE
RESIDENTS	28 (1 x 28 UNITS)	25
VISITOR	6 (0.2 X 28 UNITS)	3
BICYCLE PARKING REQUIREMENT		
	REQUIRED	PROVIDE
RESIDENTS	14 (0.5 x 28 UNITS)	15 (7 - VERTICAL AND 8 - HORIZONTAL)
AMENITY AREA		
	REQUIRED	PROVIDE
TOTAL	168 SQ.M (28 UNITS x 6 SQ.M)	142.03 SQ.M + 180.73 SQ.M = 322.76 SQ.M
COMMUNAL	50% OF TOTAL (168 SQ.M x 50% = 84 SQ.M)	42.03 SQ.M (CYM) + 100 SQ.M (OUTDOOR) = 142.03 SQ.M
WASTE MANAGEMENT REQUIREMENT		
	REQUIRED	PROVIDE
GARBAGE	6.2 (0.231 SQ.YD / UNIT)	6 YARD
RECYCLING	360L CART / 6 UNITS	5 - 360L
COMPOST	COMMUNAL 250L GREEN CONTAINER / 50 UNITS	1 - 250L
AREA	2 SQ.M MIN.	28 SQ.M

LEGEND FOR DRAWING A1.2:

- PROPERTY — PROPERTY LINE
- SET BACK — SETBACK
- OHW — OVERHEAD UTILITY WIRES
- WATER — WATER MAIN
- SAN — SAN — SANITARY SERVICE
- S.I. S.I. — STORM SERVICE
- CB □ CATCH BASIN
- ▶ ENTRANCE.
- ◁ PARKING SPACE (V FOR VISITOR)
- SOD
- CONCRETE SIDEWALK
- DESIGNATED FIRE ROUTE.
- VEGETATION/PLANTING/TREES

LEGEND FOR DRAWING A1.2:

1. PAVED DRIVEWAY.
2. DEPRESS SIDEWALK.
3. CONCRETE WALKWAY.
4. CONCRETE CURB.
5. CONCRETE VEHICULAR RAMP EQUIPPED WITH HYDROID HEATING SYSTEM.
6. SOFT LANDSCAPING.
7. BENCH.
8. ROOF OVERHANG.
9. BALCONY.
10. PEDESTRIAN WALKWAY.
11. DEPRESS CURB.
12. EXTEND OF DEPRESS CONCRETE WALKWAY.
13. TACTILE INDICATOR.
14. PAINTED PARKING LINES.
15. PAINT LINES NOTED PEDESTRIAN CROSSING.
16. PROPOSED SIDEWALK.
17. RIGHT - OF - WAY.
18. FIRE ROUTE SIGN.
19. CANTILEVER OVERHANG.
20. PARAPET AT FIRE WALL.

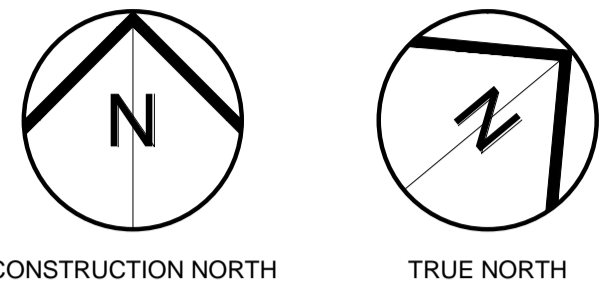


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PROJECT NAME: NOM DU PROJET
5497 Manotick Apartment
DRAWING TITLE: TITRE DU DESSIN
5497 Main St, Manotick, ON K4M 1B3
Site Plan New Work

JOB No 813-24	N° DE PROJET	DATE May 2024	DATE
SCALE 1:150	ECHELLE	PRINTING SCALE/ ÉCHELLE D'IMPRESSION	
CONCEPTION BY SG	CONÇUS PAR	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PRINTING SCALE.	
DRAWN BY CT	DESSINÉ PAR	SI CETTE LIGNE NE MESURE PAS 25mm, AJUSTEZ VOTRE ÉCHELLE D'IMPRESSION.	
CHECKED BY SG	VÉRIFIÉ PAR	ARCHITECT'S STAMP	DRAWING No DESSIN N°
SCEAU D'ARCHITECTE		REVISION No REVISION N° 0	

A1.2



No	1	Issued for Response to City	11.11.2024
Nº	1	Issued for City Review	12.09.2024
Nº		ISSUE/REVISION ÉMISSION/RÉVISION	DATE DD/MM/YY



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5497 Manotick Apartment

5947 Main St, Manotick, ON K4M 1B3

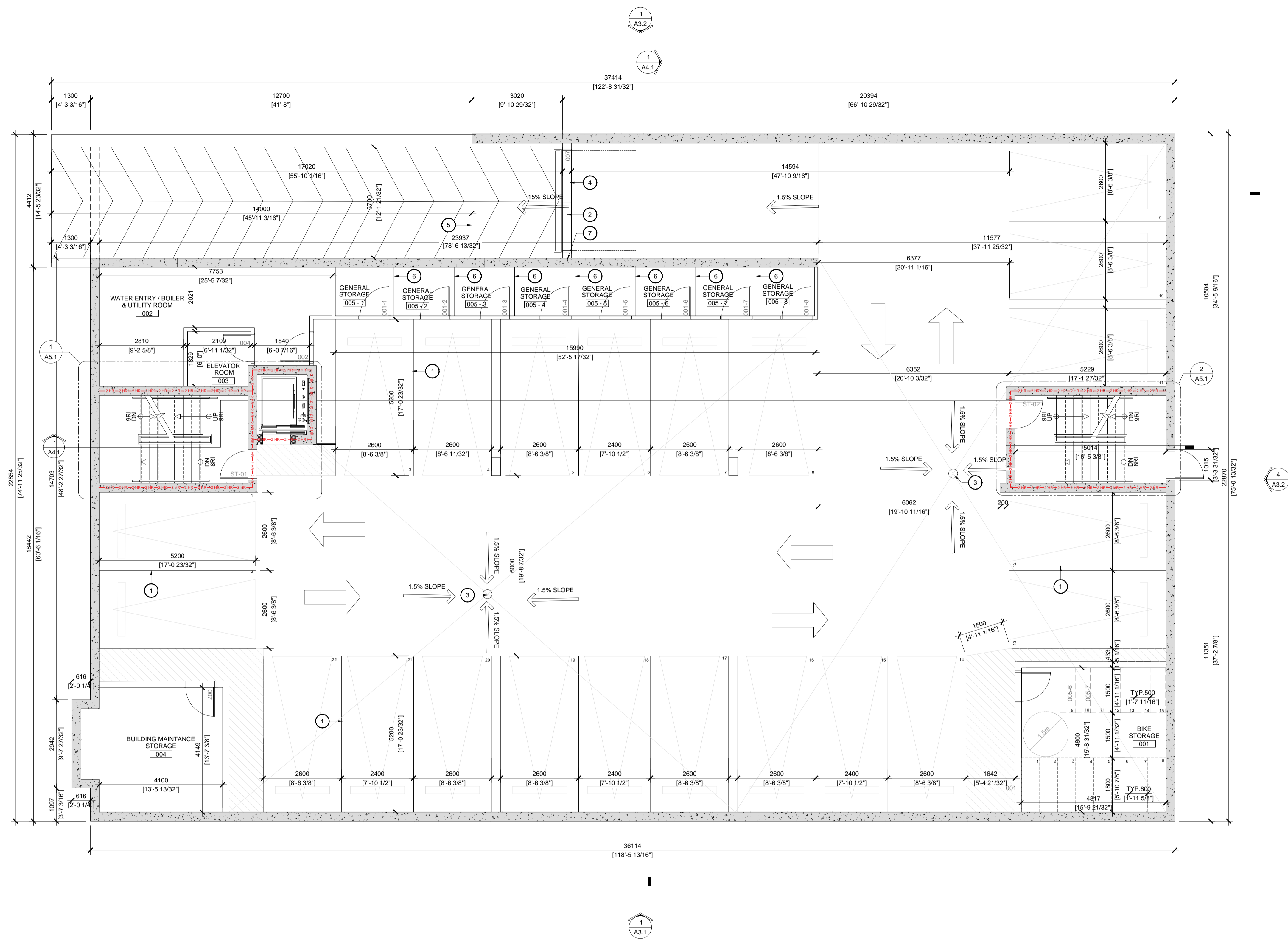
DRAWING TITLE / TITRE DU DESSIN

Underground Parking Floor Plan

JOB No 813-24	N° DE PROJET	DATE May 2024	DATE
SCALE 1:70	ECHELLE	PRINTING SCALE/ ÉCHELLE D'IMPRESSION	
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CHECKED BY SG	VÉRIFIÉ PAR		
ARCHITECT'S STAMP	DRAWING No DESSIN N°		

A2.1

SCEAU D'ARCHITECTE / REVISION No / RÉVISION N° 0



1 Underground Parking Plan
A2.1 Scale = 1:70

- NOTES FOR DRAWING A2.1:
1. PAINTED PARKING LINES.
 2. TRENCH DRAIN.
 3. DRAIN, SLOPE CONCRETE TOWARD DRAIN.
 4. OVER HEAD DOOR.
 5. LINE OF FLOOR ABOVE.
 6. CHAIN LINK DIVIDER.
 7. THERMAL BREAK.

LEGEND FOR DRAWING SERIES A3:

- STONE VENEER COLOR 1.
- STONE VENEER COLOR 2.
- HORIZONTAL VINYL SIDING COLOR 1.
- HORIZONTAL VINYL SIDING COLOR 2.
- ASPHALT SHINGLED.
- PRE-FINISHED ALUMINUM BANDING.

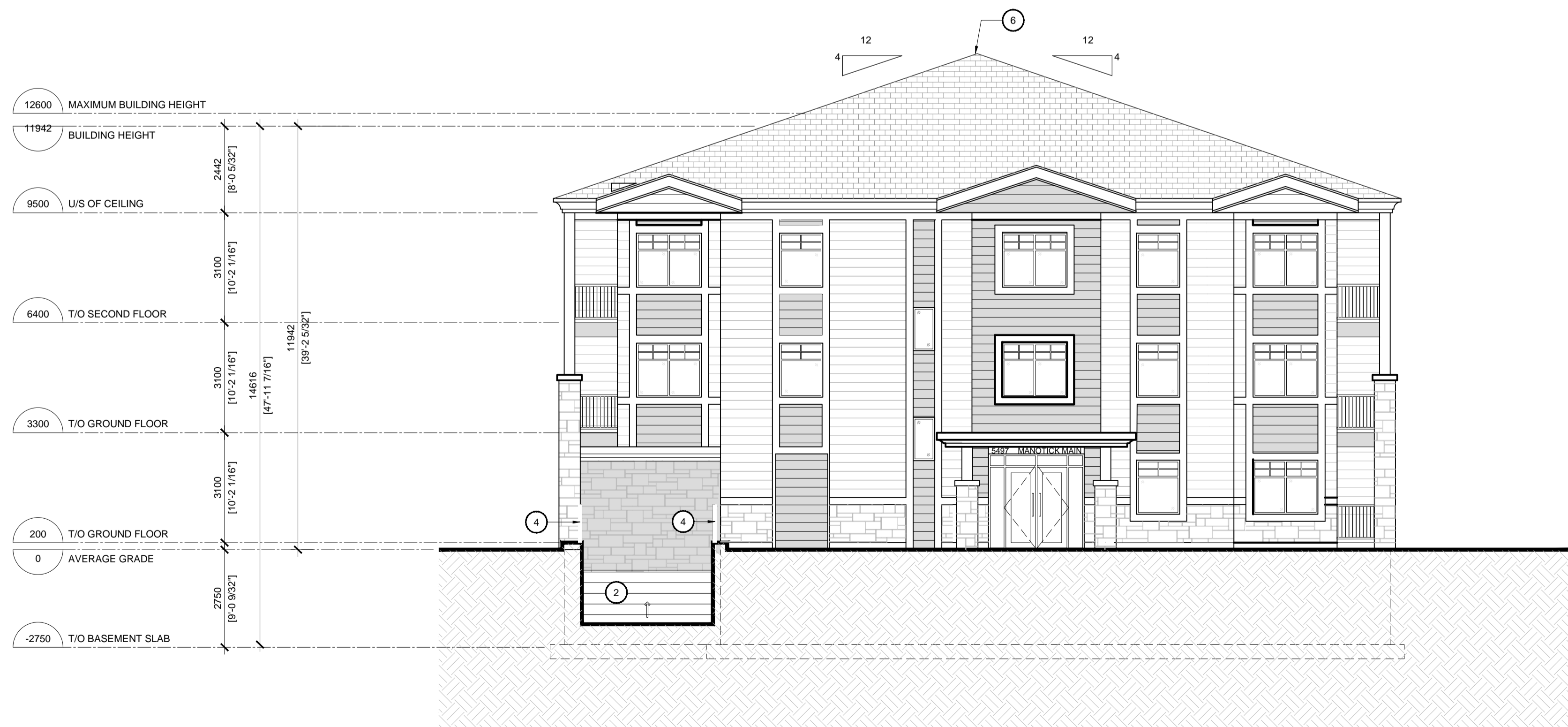
NOTE FOR DRAWING SERIES A3:

1. STRUCTURAL POSTS.
2. OVERHEAD DOOR TO UNDERGROUND PARKING.
3. LINE OF RAMP TO UNDERGROUND PARKING.
4. METAL GUARD.
5. PRESERVED WOOD CAP.
6. GALVANIZED METAL RIDGE VENT.



1 North Elevation

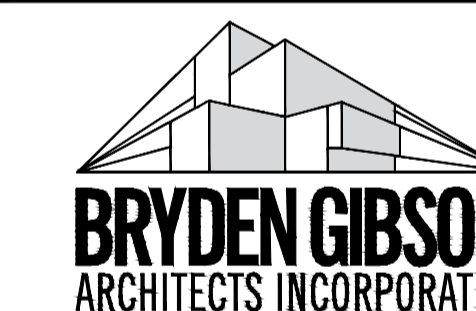
A3.2 Scale = 1:100



2 East Elevation

A3.2 Scale = 1:100

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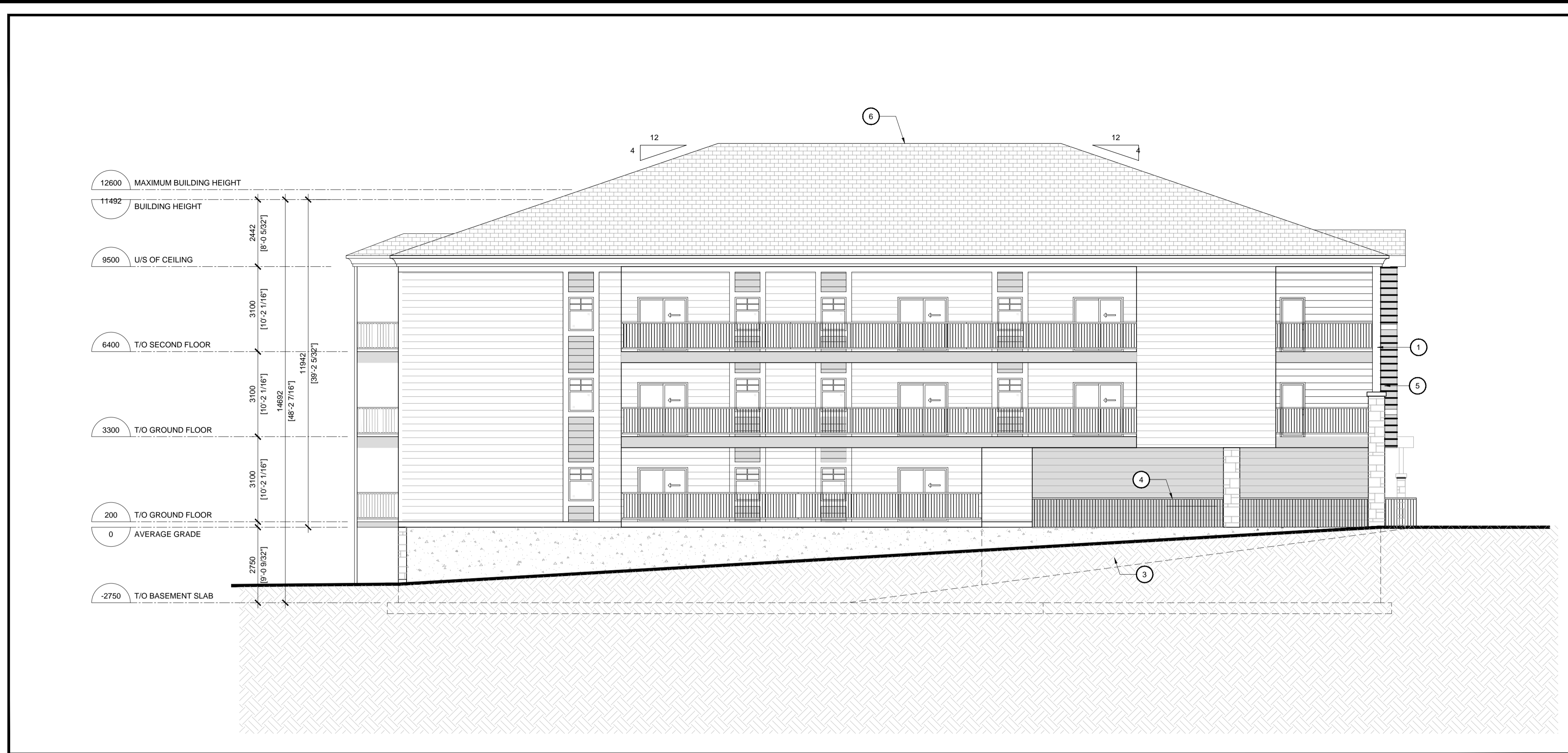
5497 Main St, Manotick, ON K4M 1B3

DRAWING TITLE / TITRE DU DESSIN

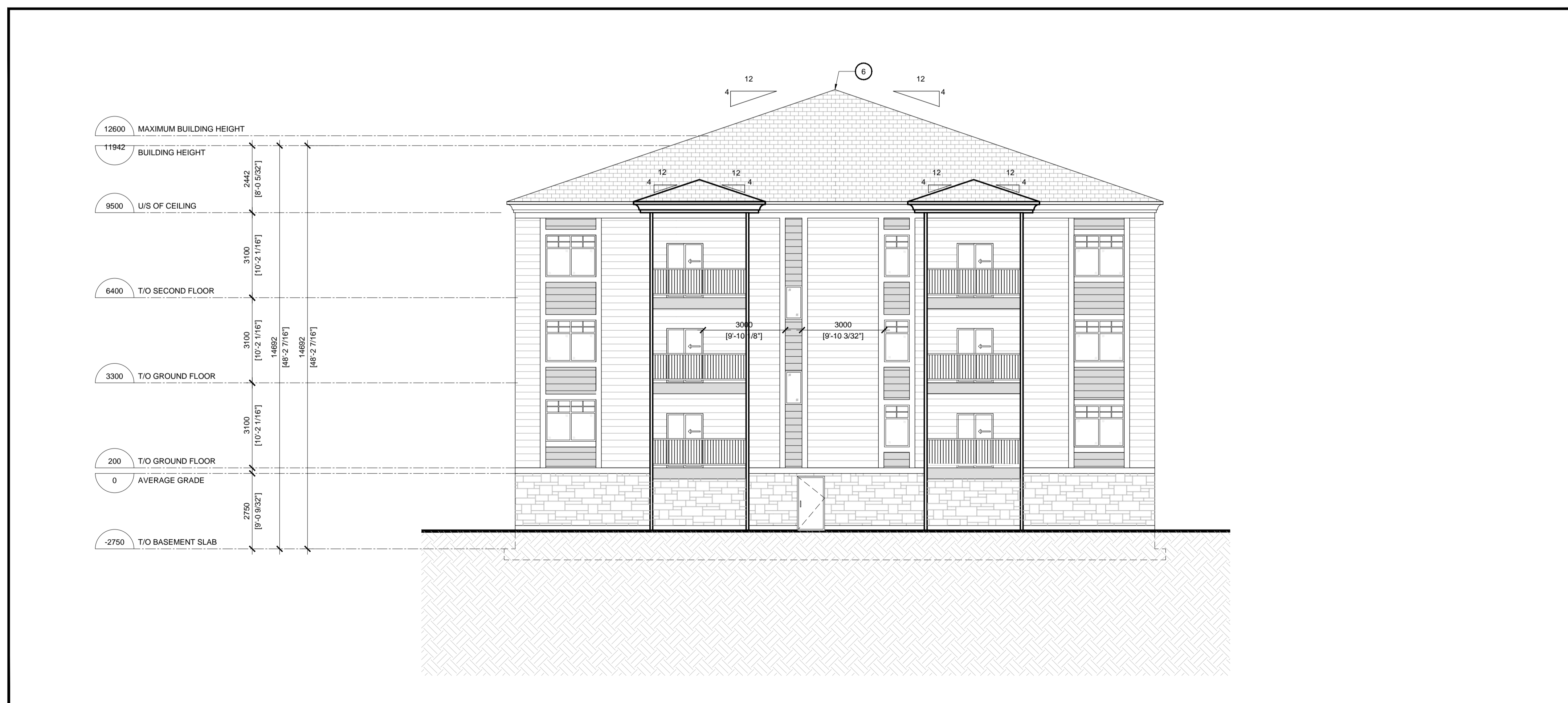
North & East Elevations

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CHECKED BY SG	VÉRIFIÉ PAR		

ARCHITECT'S STAMP	DRAWING No A3.1	DESSIN N°
SCEAU D'ARCHITECTE	REVISION No 0	RÉVISION N°



1 South Elevation
A3.1 Scale = 1:100



2 West Elevation
A2.1 Scale = 1:100

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BRYDEN GIBSON
ARCHITECTS INCORPORATED

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5497 Main St, Manotick, ON K4M 1B3

DRAWING TITLE / TITRE DU DESSIN
South & West Elevations

JOB No 813-23	N° DE PROJET	DATE May 2024	DATE
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ARCHITECT'S STAMP	DRAWING No	DESSIN N°
	A3.2	
SCEAU D'ARCHITECTE	REVISION No	0
	RÉVISION N°	