

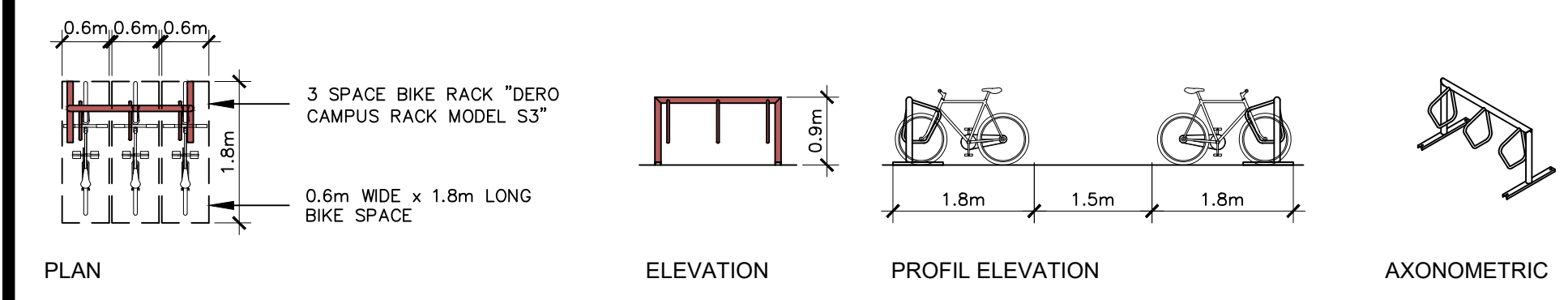
1 SITE PLAN
SP-01 SCALE = 1:150

CLIENT:
12213559
Canada Inc
B-996 St. - Augustin Rd,
Embrun ON, K0A1W0

P2
concepts
139 RIDGEWOOD AVE., UNIT 201
OTTAWA, ONTARIO, K1V 6M8

TATHAM
ENGINEERING
5335 Canotek Road, Unit 103,
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- LEGEND:**
- PROPOSED NEW BUILDING
 - NEW SOD, REFER TO LANDSCAPING/CIVIL FOR REQUIREMENTS.
 - ASPHALTE, REFER TO LANDSCAPING/CIVIL FOR REQUIREMENTS.
 - NEW CONCRETE, REFER TO LANDSCAPING/CIVIL FOR REQUIREMENTS.
 - DESIGNATED FIRE ROUTE, REFER TO LANDSCAPING/CIVIL FOR REQUIREMENTS.
 - PARKING SPACE (V FOR VISITOR)
 - NEW VEGETATION/PLANTING/TREES, REFER TO LANDSCAPING FOR REQUIREMENTS.
 - EXISTING TREES TO BE REMOVED/RETAINED, REFER TO LANDSCAPING FOR REQUIREMENTS.
 - PROPERTY LINE
 - ADJACENT LOT PROPERTY LINES
 - EXISTING OVERHEAD HYDRO LINE
 - ENTRANCES
 - NEW BIKE RACKS
 - NEW CONCRETE CURB
 - D.C. DEPRESSED CURB



2 TYP. BICYCLE RACK
SP-01 SCALE = N.T.S

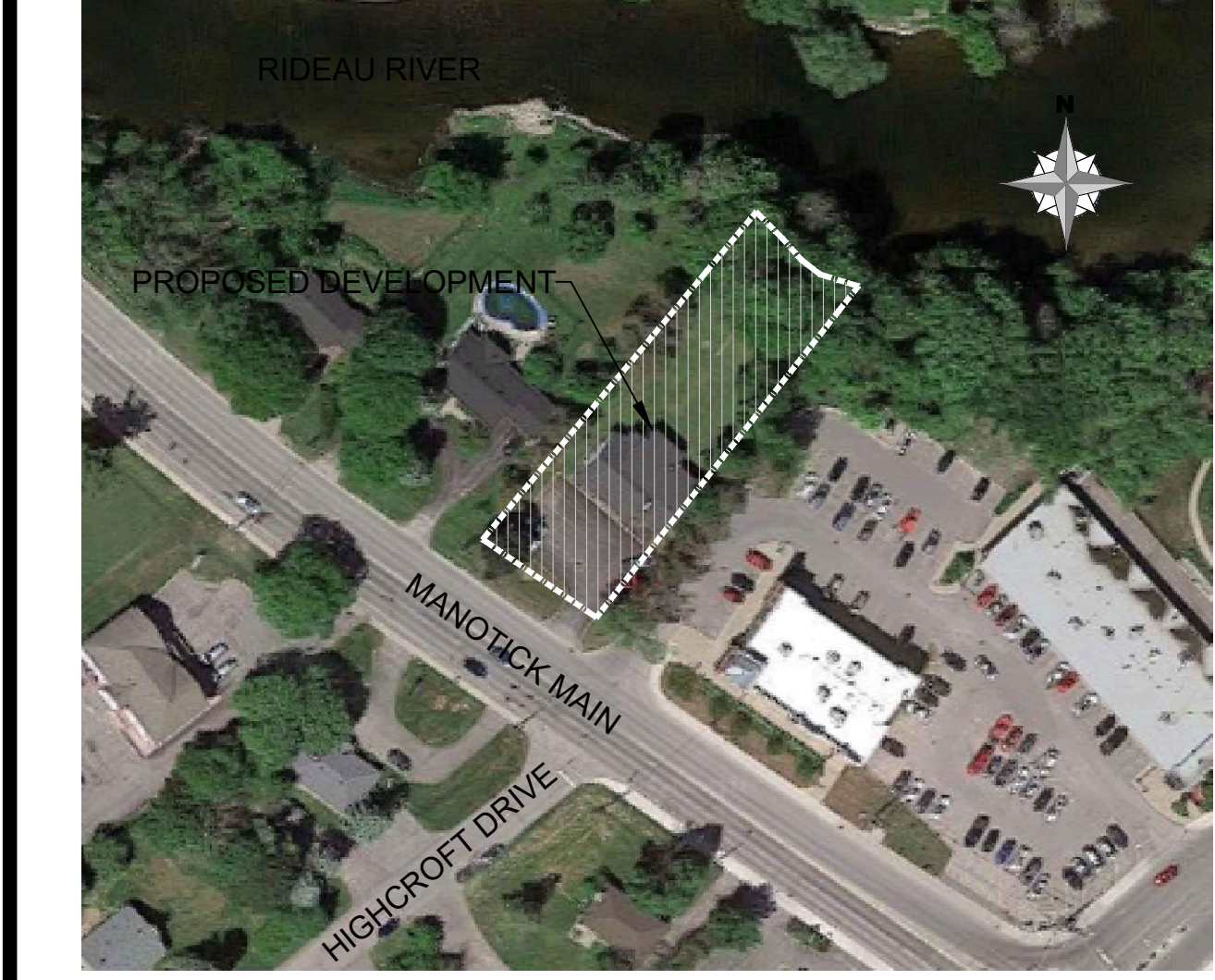
NOTE:
SNOW WILL NOT BE STORED ON SITE AND WILL BE REMOVED OFF SITE AS REQUIRED

NOTE:
GRADES SHOWN ON THIS DRAWING ARE EXISTING AND HAVE BEEN TAKEN FROM A SURVEY DRAWING. COORDINATE ALL NEW GRADING WORK WITH CIVIL AND LANDSCAPING.

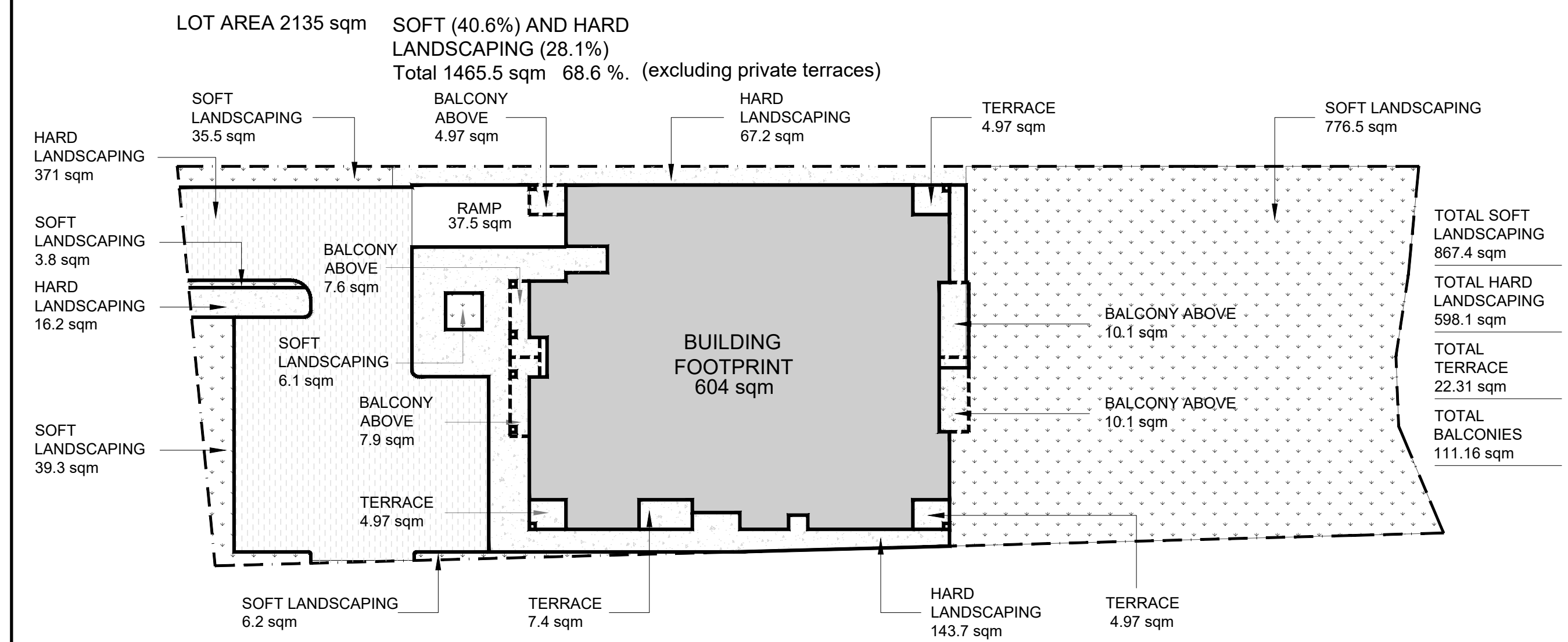
SITE INFORMATION DERIVED FROM SURVEY TITLED,
TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOTS 3 AND 4 REGISTERED PLAN 547 CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

ELEVATION NOTE
1. ELEVATIONS ARE GEODETIC.
2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN THE ABOVE REFERENCED SURVEY.

No.	REVISIONS	BY	DATE
21	FOR COORDINATION	JP	NOV. 23 2022
20	FOR COORDINATION	PE	SEPT. 27 2022
19	FOR REVIEW	PE	SEP 01 2022
18	FOR REVIEW	PE	AUG 11 2022
17	FOR REVIEW	PE	JUNE 06 2022
16	FOR REVIEW	PE	JUNE 02 2022
15	FOR REVIEW	PE	MAY 09 2022
14	FOR REVIEW	PE	APR. 22 2022
13	FOR REVIEW	PE	OCT. 13 2021
12	FOR REVIEW	PE	AUG 19 2021
11	FOR REVIEW	PE	JUNE 29 2021
10	FOR REVIEW	PE	MAY 14 2021
09	FOR REVIEW	PE	APR. 27 2021
08	FOR REVIEW	PE	APR. 16 2021
07	FOR REVIEW	PE	MAR. 16 2021
06	FOR REVIEW	PE	FEB. 16 2021
05	REVISIONS TO SITE ACCESS	PE	JAN. 06 2021
04	FOR REVIEW	PE	NOV. 24 2020
03	FOR REVIEW	PE	NOV. 16 2020
02	FOR REVIEW	PE	OCT. 09 2020



2 LOCATION PLAN
SP-01 N.T.S



3 AREA BREAK DOWN
SP-01 SCALE = --

SITE STATISTICS		5497 MANOTICK MAIN	
ITEM	REQUIRED	PROVIDED	
Zone	VM9 Village Mixed Use	VM9 Village Mixed Use	
Lot Area	1350 SQ. M.	2135 SQM.	
Lot Width	20 M MIN.	27.2 M	
Maximum Building Height	6.7 M MIN. - 11.0M MAX	10.6 M - 3 STOREYS	
Front Yard	3.0 M MAX.	21.7 M	
Side Yard	Corner	3.0 M MIN. - 4.5 MAX.	N/A
	Interior	NO MIN.	1.2M
Rear Yard	7.5 M MIN. (30.0 M FROM TOP OF SLOPE)	27.96 M FROM TOP OF SLOPE TO BUILDING 26.66 M FROM TOP OF SLOPE TO BALCONY	
Building Footprint	NO MAX	604 SQM.	
Lot Coverage	NO MAX		
Number of Dwelling units			
		21 UNITS (12 ONE BEDROOM, 9 TWO BEDROOMS)	
Parking Spaces Required			
	Residential	1.0 PER x 21 = 21 SPACES	21 SPACES
	Visitor	0.2 PER x 21 = 4.2 SPACES	4 SPACES
		(10 SURFACE) (16 UNDERGROUND)	
	TOTAL	TOTAL = 25 SPACES	TOTAL = 26 SPACES
Required Bike Racks			
		0.5 PER x 21 = 10.5 SPACES	(12 INTERIOR) (4 EXTERIOR)
		TOTAL = 10.5 SPACES	TOTAL = 16 SPACES
Landscaping			
	Hard		642.95 SQM
	Soft		856.05 SQM
Amenity			
	Total	6.0 SQM PER x 21 = 126 SQM	131.04 SQM + 776.52 SQM = 907.56 SQM
	Communal	50% OF TOTAL = 63 SQM	776.52 SQM

DESIGNED BY: P.E. DRAWN BY: P.E. APPROVED BY: B.K.

PROJECT: **5497 MANOTICK MAIN**

DRAWING TITLE: **SITE PLAN**

PROJECT NO: 0387
DATE: SEPT. 27, 2022

SP-01