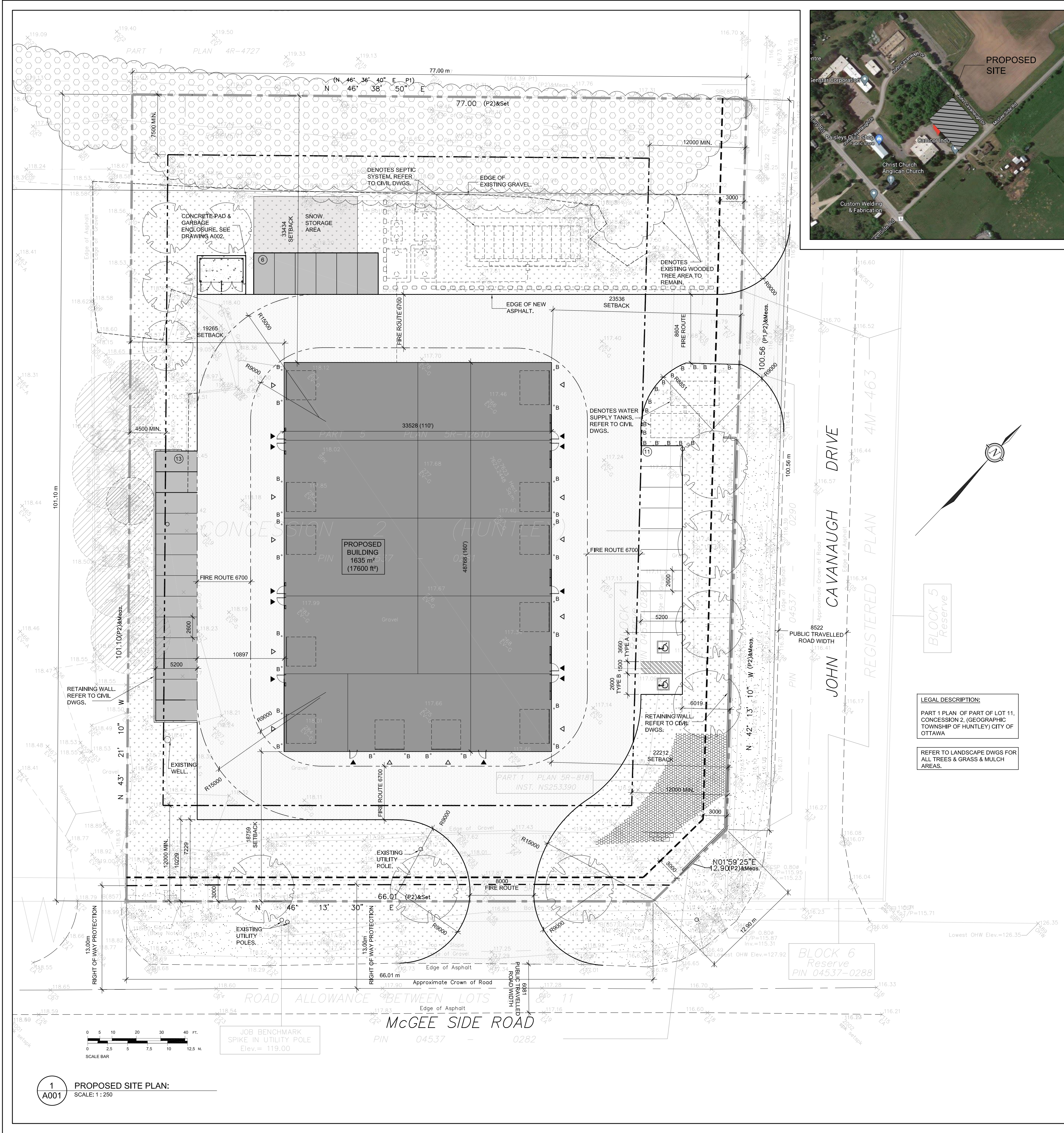




LEGEND

- PROPERTY BOUNDARY LINE.
- SET BACK LINE
- LANDSCAPE BUFFER
- RIGHT OF WAY PROTECTION LINE, TO BE VERIFIED BY OLS PRIOR TO CONSTRUCTION.
- FIRE ROUTE LANES

PROPOSED BUILDING

LIGHT-DUTY PAVEMENT, REFER TO CIVIL DWGS.

HEAVY-DUTY PAVEMENT (FIRE ROUTE), REFER TO CIVIL DWGS.

CONCRETE SURFACE, REFER TO CIVIL DWGS.

SEEDED GRASS AREA, REFER TO LANDSCAPE DWGS.

EXISTING LANDSCAPED AREA, REFER TO LANDSCAPE DWGS.

EXISTING WOODED AREA, REFER TO LANDSCAPE DWGS.

INFILTRATION TRENCH, REFER TO CIVIL DWGS.

MAN DOOR LOCATIONS.

O/H DOOR LOCATIONS

B DENOTES BOLLARDS, REFER TO CIVIL DWGS.

GENERAL NOTES:

1. REFER TO SURVEYOR'S REAL PROPERTY REPORT PART 1 PLAN OF PART OF LOT 11, CONCESSION 2, (GEOGRAPHIC TOWNSHIP OF HUNTLEY) CITY OF OTTAWA, SURVEYED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD, ONTARIO LAND SURVEYORS.

SITE DATA:

BUILDING AREA: 1635m²

GROSS FLOOR AREA: (City of Ottawa Zoning Bylaw): Gross floor area means the total area of each floor whether located above, at or below grade, measured from the interiors of outside walls and including floor area occupied by interior walls and floor area created by bay windows, but excluding:

(a) floor area occupied by shared mechanical, service and electrical equipment that serve the building; (By-law 2008-326)

(b) common hallways; corridors; stairwells, elevator shafts and other voids; steps and landings; (By-law 2008-326)

(c) bicycle parking; motor vehicle parking or loading facilities;

(d) common laundry, storage and washroom facilities that serve the building or tenants;

(e) common storage areas that are accessory to the principal use of the building; (By-law 2008-326)

(f) common amenity area and play areas accessory to a principle use on the lot; and (By-law 2008-326)

(g) living quarters for a caretaker of the building.

GROUND FLOOR AREA (1635m²) + MEZZANINES (218m²)

NEW INDUSTRIAL BUILDING: 1853m²

TOTAL 1853m²

GROSS AREA: (Ontario Building Code definition): The total area of all floors above grade measured between the outside surfaces of exterior walls or between the outside surfaces of exterior walls and the centre line of firewalls, except that, in any occupancy other than a residential occupancy, where an access or a building service penetrates a firewall, measurements shall not be taken to the centre line of such firewall.

GROUND FLOOR AREA (1635m²) + MEZZANINES (218m²)

NEW INDUSTRIAL BUILDING: 1853m²

TOTAL 1853m²

ZONING:

1.0 ZONING DESIGNATIONS (Part 13):

RG - RURAL GENERAL INDUSTRIAL ZONE

2.0 ZONING PROVISIONS:

RG5 SUBZONES - CARP ROAD CORRIDOR:

	REQUIRED	PROVIDED
MINIMUM LOT WIDTH (m):	30	66.01
MINIMUM LOT AREA (m ²):	4000	7,622
MINIMUM FRONT YARD SETBACK (m):	12	18,759
MINIMUM REAR YARD SETBACK (m):	7.5	33,434
MINIMUM INTERIOR SIDE YARD SETBACK (m):	4.5	19,265
MINIMUM CORNER SIDE YARD SETBACK (m):	12	22,212
MAXIMUM PRINCIPAL BUILDING HEIGHT (m):	15	8,012
MAXIMUM LOT COVERAGE (%):	50	21.45
LANDSCAPED AREA (%):	50	78.55
MINIMUM LANDSCAPING ABUTTING A STREET (m):	3	6,019
MINIMUM LANDSCAPING ALL OTHER CASES (m):	0	0

3.0 PARKING (Section 101):

AREA D ON SCHEDULE 1A.

Minimum Required:

OFFICE	8 (2.4/100m ² of GFA 332.5 m ²)
WAREHOUSE:	13 (0.8/100m ² of GFA 1520.5 m ²)
TOTAL	21

Provided:

STANDARD SPACE:	28
BARRIER-FREE:	2
TOTAL	30

4.0 BICYCLE PARKING (Section 111):

Not Required as per section 111 (1): **NOT PROVIDED**

5.0 LOADING (Section 113):

Not required as per table 113A. **NOT PROVIDED**

6.0 ACCESSIBLE PARKING PROVISION REQUIREMENTS
(Parking Bylaw 2017-301, PART C Section 111):

Minimum Required:	1 TYPE A PARKING SPACE
	1 TYPE B PARKING SPACE
Provided:	1 TYPE A PARKING SPACE

CLIENT/OWNER

STOKED INDUSTRIES INC.
14 KNOLL TERRACE, NEPEAN,
ON, K2J 2K6

13	RE-ISSUED FOR SPC APPROVAL	06/04/2025
12	RE-ISSUED FOR SPC APPROVAL	12/05/2024
11	REVISED FOR FINAL SPC APPROVAL	12/21/2023
10	REVISED FOR CITY COMMENTS	26/09/2023
09	FOR SITE PLAN CONTROL REVIEW/RESPONSE	11/08/2023
08	FOR SITE PLAN CONTROL	30/06/2023
07	FOR CLIENT DISCUSSION	10/02/2023
06	REVISED AS PER CIVIL COMMENTS	22/03/2023
05	REVISED AS PER CLIENT COMMENTS	16/02/2023
04	FOR SITE PLAN CONTROL REVIEW/RESPONSE	27/07/2021
03	FOR SITE PLAN CONTROL REVIEW/RESPONSE	01/06/2021
02	FOR SITE PLAN CONTROL	26/02/2021
01	FOR SITE PLAN PRE-CONSULTATION	30/11/2020

ISSUE DESCRIPTION DATE

CONSULTANTS:

ONTARIO LAND SURVEYOR:
ANNIS, O'SULLIVAN, VOLLEBEKK LTD
14 CONCOURSE GATE, SUITE 500
NEPEAN, ON, K2E 7S6

CIVIL ENGINEER:
D.B. GRAY ENGINEERING INC.
700 LONG POINT CIRCLE
OTTAWA, ON, K1T 4E9

LANDSCAPE ARCHITECT:
JAMES B. LENNOX & ASSOCIATES INC.
3332 CARLING AVE
OTTAWA, ON, K2H 5A8

es ARCHITECT

11 Hogan Drive | Arnprior | ON | K1Y 0H8
613.203.3760

PROFESSIONAL STAMP PROJECT NORTH

PROJECT

**2167 MCGEE SIDE RD,
WAREHOUSE BUILDING**

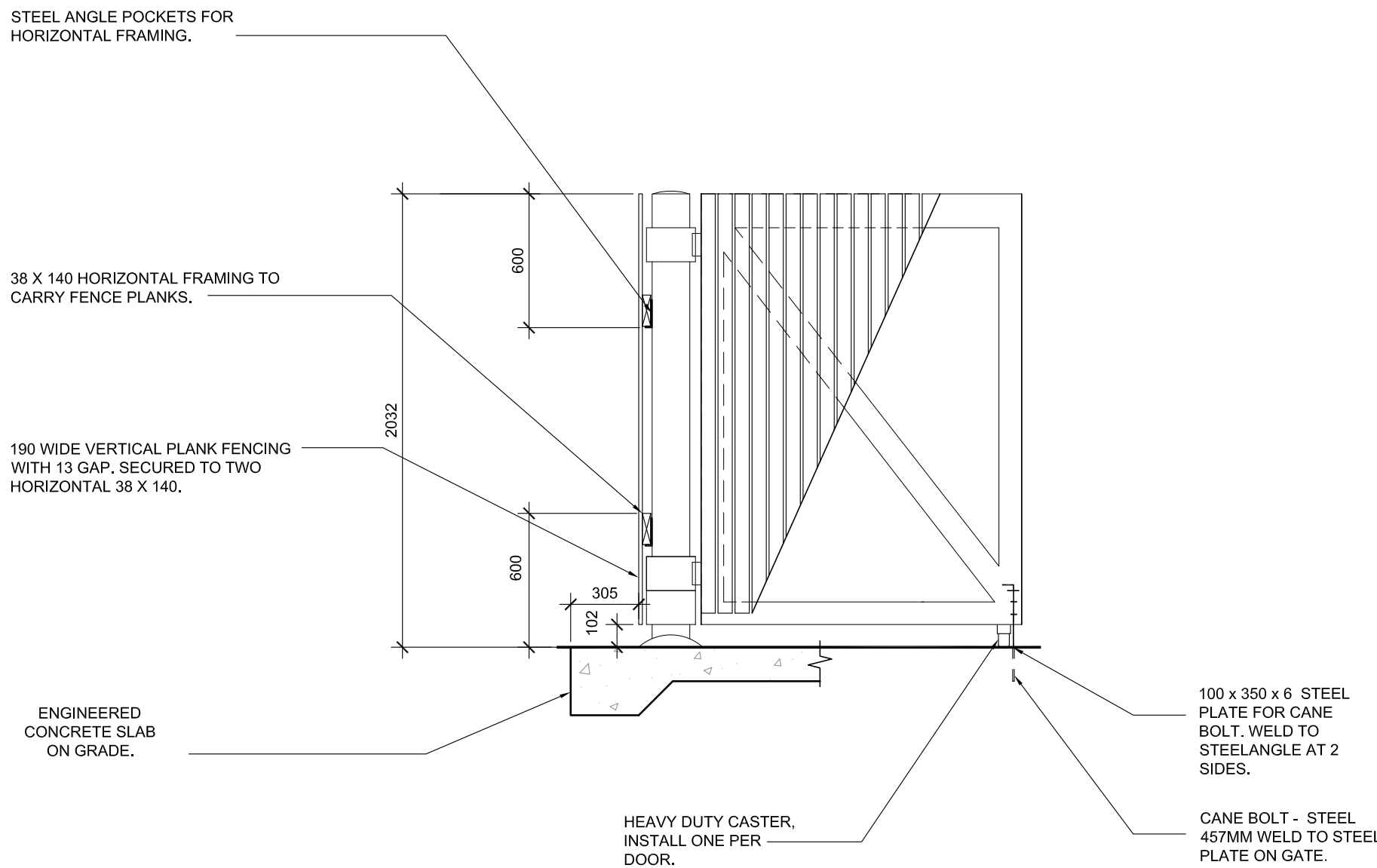
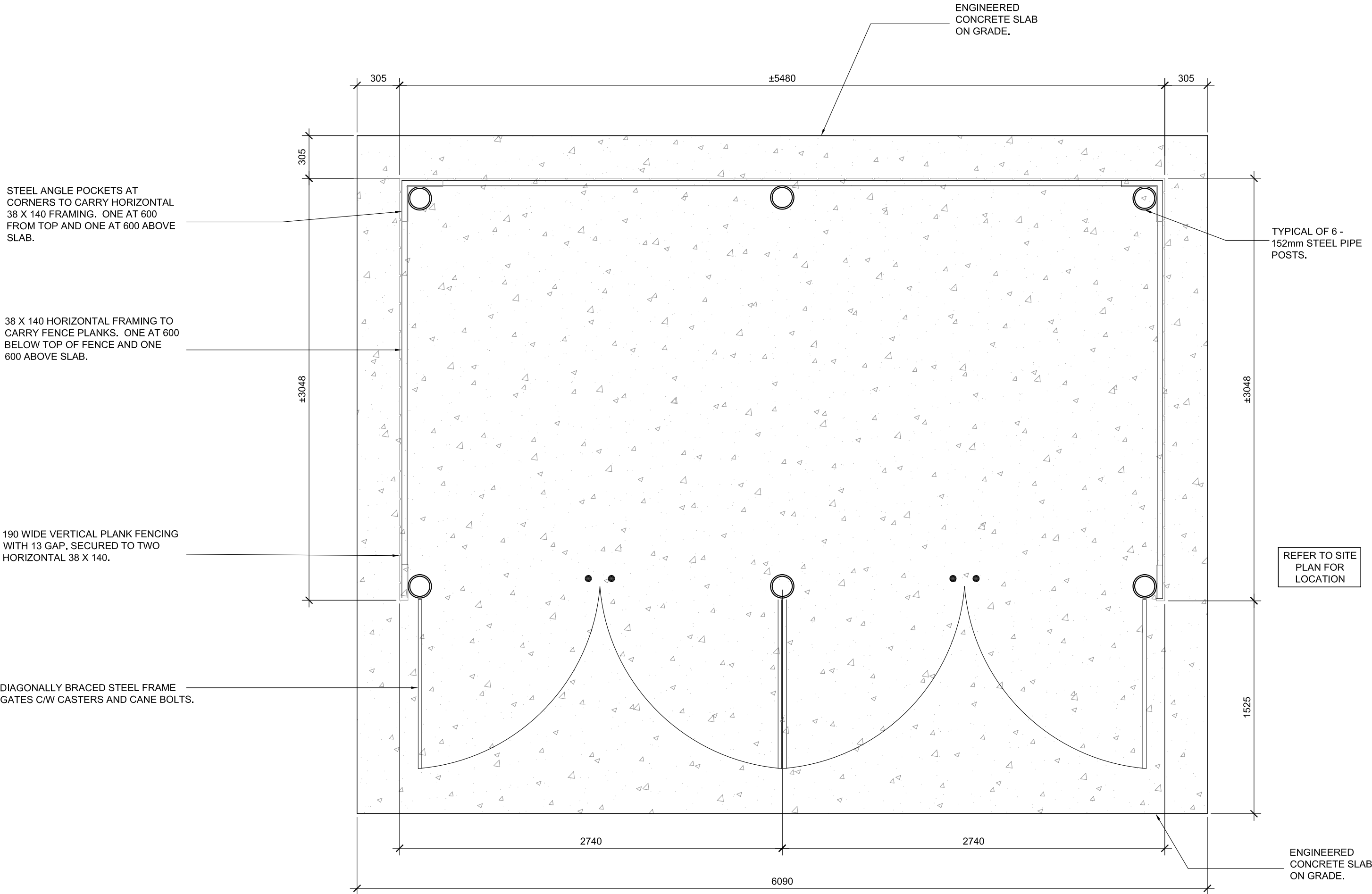
DRAWING

**PROPOSED
SITE PLAN**

PROJECT No:	060	REVISION:	13
DRAWN:	SL	DATE:	NOVEMBER 2020
APPROVED:	ES	SCALE:	AS SHOWN

DRAWING No:

A001



1 SITE PLAN: GARBAGE ENCLOSURE PLAN & GATE DETAIL
A002 SCALE: 1: 25

CLIENT/OWNER		
STOKED INDUSTRIES INC. 14 KNOLL TERRACE, NEPEAN, ON, K2J 2K6		
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PROFESSIONAL STAMP	PROJECT NORTH

PROJECT

2167 MCGEE SIDE RD,
WAREHOUSE BUILDING

DRAWING

GARBAGE ENCLOSURE
DETAILS

PROJECT No:	060	REVISION:	13
DRAWN:	SL	DATE:	NOVEMBER 2020
APPROVED:	ES	SCALE:	AS SHOWN

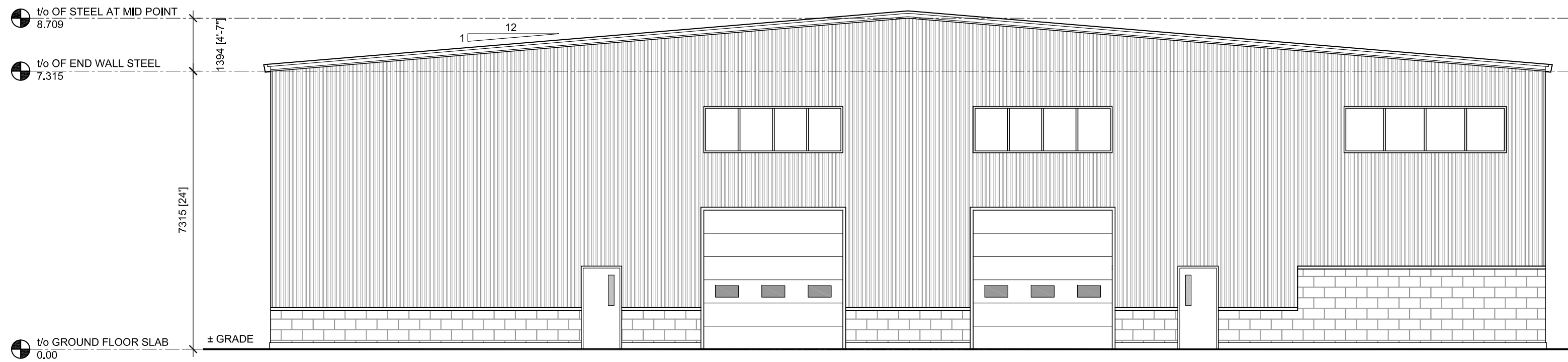
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A002

1
A300

PROPOSED SOUTH ELEVATION: OPTION A

SCALE: 1 : 100



LEGEND

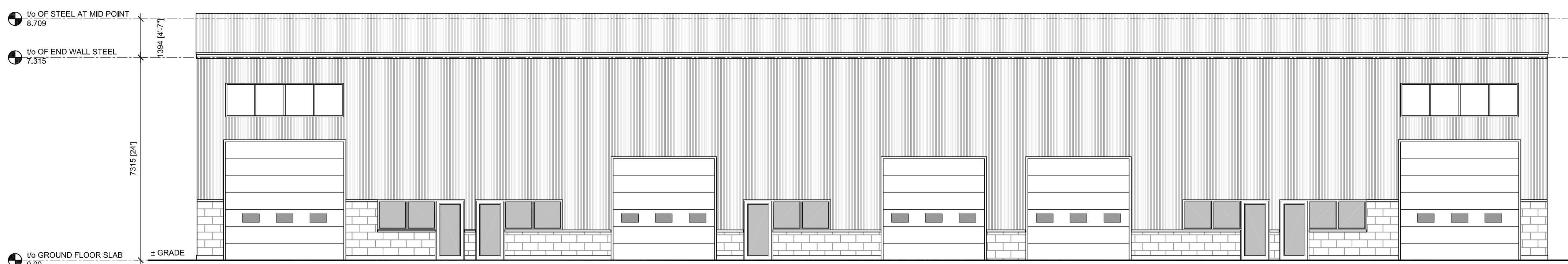
MASONRY CLADDING.

VERTICAL INSULATED METAL PANEL SIDING, GREY

1
A300

PROPOSED EAST ELEVATION: OPTION A

SCALE: 1 : 100



CLIENT

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PROFESSIONAL STAMP

PROJECT NORTH

PROJECT

2167 MCGEE SIDE RD,
WAREHOUSE BUILDING

DRAWING

PROPOSED
ELEVATIONS

PROJECT No:	060	REVISION:	05
DRAWN:	SL	DATE:	MAY 2023
APPROVED:	ES	SCALE:	AS SHOWN

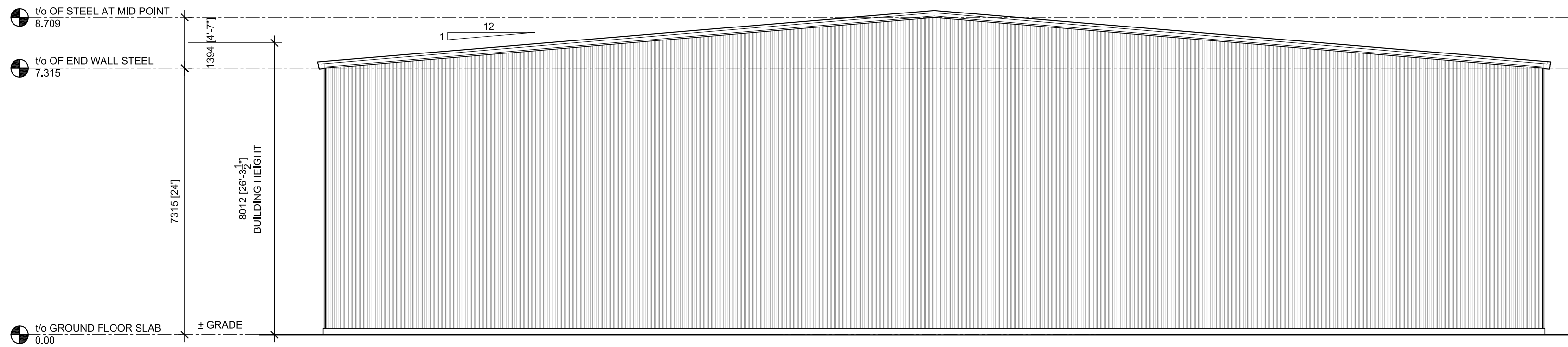
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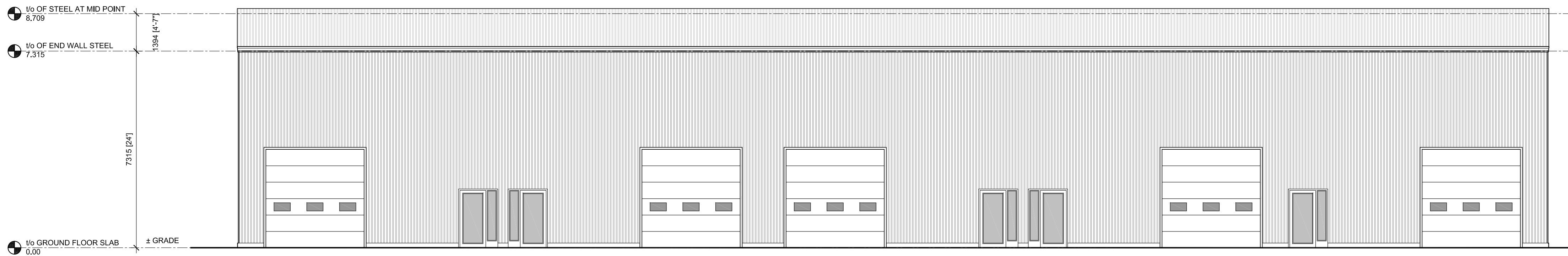
PLAN NO. 18432

D07-12-21-0027

1
A301 PROPOSED NORTH ELEVATION: OPTION A
SCALE: 1 : 100



1
A301 PROPOSED WEST ELEVATION: OPTION A
SCALE: 1 : 100



CLIENT

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PROFESSIONAL STAMP

PROJECT NORTH

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2167 MCGEE SIDE RD,
WAREHOUSE BUILDING

DRAWING

PROPOSED
ELEVATIONS

PROJECT No:	060	REVISION:	05
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DRAWING No:

A301

PLAN NO. 18432

D07-12-21-0027