

### PROJECT INFORMATION

#### ZONING INFORMATION

ZONING	IG6 & IG6 (300)
SITE AREA	23,168.0 sq. m. (249,382) sq. ft.
BUILDING HEIGHT	13.5 M
FRONT YARD SETBACK	12.0 M
CORNER YARD SETBACK	12.0 M
INTERIOR YARD SETBACK	7.5 M
REAR YARD SETBACK	7.5 M
LOT COVERAGE	45%
LANDSCAPE BUFFER AROUND A PARKING LOT	3.0 M
LOADING SPACE	
PARKING	
LIGHT INDUSTRIAL	-0.8 PER 100m <sup>2</sup> OF G.F.A.
1st 5,000m <sup>2</sup>	
ABOVE 5,000m <sup>2</sup>	-0.4 PER 100m <sup>2</sup> OF G.F.A.

### PROPOSED PROJECT STATISTICS

#### GROSS BUILDING - AREAS

GFA - CITY OF OTTAWA'S DEFINITION	4,514.0 sq. m. (48,588) sq. ft.
BUILDING 'A' - LIGHT INDUSTRIAL	2,337.6 sq. m. (25,162) sq. ft.
BUILDING 'B' - LIGHT INDUSTRIAL	1,773.6 sq. m. (19,090) sq. ft.
BUILDING 'C' - LIGHT INDUSTRIAL	1,802.8 sq. m. (19,458) sq. ft.
TOTAL AREA	8,625.1 sq. m. (92,640) sq. ft.
GFA - BUILDING FOOTPRINT	4,576.0 sq. m. (49,275) sq. ft.
BUILDING 'A' - LIGHT INDUSTRIAL	2,376.0 sq. m. (25,599) sq. ft.
BUILDING 'B' - LIGHT INDUSTRIAL	1,808.0 sq. m. (19,458) sq. ft.
BUILDING 'C' - LIGHT INDUSTRIAL	1,808.0 sq. m. (19,458) sq. ft.
TOTAL AREA	8,764.0 sq. m. (94,355) sq. ft.

#### CAR PARKING

REQUIRED	
BLDG. 'A' - LIGHT INDUSTRIAL	-0.8 PER 100 m <sup>2</sup> OF GFA 36
BLDG. 'B' - LIGHT INDUSTRIAL	-0.8 PER 100 m <sup>2</sup> OF GFA 19
BLDG. 'C' - LIGHT INDUSTRIAL	-0.8 PER 100 m <sup>2</sup> OF GFA 14
TOTAL	69
PROVIDED	
BLDG. 'A' - LIGHT INDUSTRIAL	62
BLDG. 'B' - LIGHT INDUSTRIAL	41
BLDG. 'C' - LIGHT INDUSTRIAL	31
TOTAL	134

#### BICYCLE PARKING

REQUIRED	
LIGHT INDUSTRIAL	-1.0 PER 1000 m <sup>2</sup> OF GFA 8
PROVIDED	12

#### LOADING

REQUIRED	
LIGHT INDUSTRIAL	-1,000m <sup>2</sup> - 9,999m <sup>2</sup> OF G.F.A. 3
PROVIDED	9

#### LOT COVERAGE

PAVED SURFACE =	9,187.7 sq. m. 39.6%
BUILDING FOOTPRINT =	8,764.0 sq. m. 37.83%
LANDSCAPE OPEN SPACE =	5,216.3 sq. m. 22.51%
TOTAL =	23,168.0 sq. m. 100.0%

#### REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN CONTROL	Apr. 06, 21
2	ISSUED FOR OWNER REVIEW	Mar. 10, 21
3	ISSUED FOR OWNER REVIEW	Feb. 11, 21
4	ISSUED FOR OWNER REVIEW	Feb. 5, 21

#### ARCHITECT SEAL:

ONTARIO ASSOCIATION OF ARCHITECTS  
 ARCHITECT: [Signature]  
 NORTH ARROW: [Arrow pointing up]

#### CLIENT:

RENFROE LAND MANAGEMENT

#### ARCHITECT:

rla/architecture  
 roderick lahey architect inc.  
 56 beech street, ottawa, ontario K1S 3J6  
 T: 613.724.9932 F: 613.724.1209  
 PROJECT TITLE: 103 SCHNEIDER ROAD

#### PROJECT DEVELOPER:

Keptel Holdings Ltd.  
 2-371 A Richmond Road  
 Ottawa, Ontario K2L 1Y3  
 Tel: (613) 883-6124  
 Email: davidrenfroe@outlook.com

#### DEVELOPMENT MANAGER:

Renfro Land Management  
 2-371 A Richmond Road  
 Ottawa, Ontario K2L 1Y3  
 Tel: (613) 883-6124  
 Email: davidrenfroe@outlook.com

#### URBAN PLANNER:

Novatech Eng. Consultants Limited  
 200 - 240 Michael Cowpland Drive  
 Ottawa, Ontario K2M 1P6  
 Tel: (613) 254-9643  
 Fax: (613) 254-5867  
 Email: m.Chown@novatech-eng.com

#### GEOTECHNICAL ENGINEER:

paterson group  
 154 Colonnade Road South  
 Ottawa, Ontario K2E 7J5  
 Tel: (613) 226-7381  
 Email: DGilbert@Patersongroup.ca

#### LANDSCAPE ARCHITECT:

Gino J. Aiello Landscape Architect  
 110 Didsbury Road Unit 9,  
 Ottawa, Ontario K2E 0C2  
 Tel: (613) 852-1343  
 Cell: (613)  
 Email: gino@giata.com

#### TRANSPORTATION ENGINEER:

CGH Transportation Inc.  
 13 Markham Avenue  
 Ottawa, ON K2G 3Z1  
 Tel: (343) 999-9117  
 Email: Christopher.Gordon@CGHTransportation.com

#### SURVEYOR:

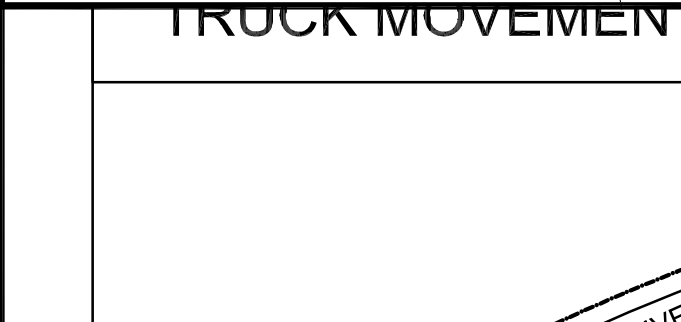
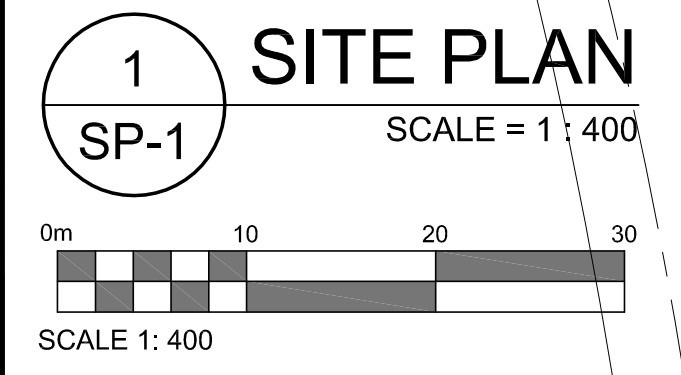
Annis O'Sullivan Vollebakk Ltd.  
 Ontario Land Surveyors  
 14 Concourse Gate, Suite 500,  
 Nepean, Ontario K2E 7S6  
 Tel: (613) 727-0850  
 Fax: (613) 727-1079  
 E-Mail: EdH@aovltd.com

#### LEGAL DESCRIPTION:

TOPOGRAPHICAL PLAN OF  
 PART OF LOT 6  
 CONCESSION 4  
 Geographic Township of March  
 CITY OF OTTAWA  
 Prepared by Annis, O'Sullivan, Vollebakk Ltd.  
 February 12, 2021

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.  
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.  
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.  
 DO NOT SCALE DRAWINGS.  
 COPYRIGHT RESERVED.

NOTATION SYMBOLS:  
 (1) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.  
 (2) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLY SCHEDULE.  
 (3) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A300 SERIES.  
 (4) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A300 SERIES.  
 (5) -DETAIL NUMBER  
 (6) TITLE  
 (7) SCALE  
 (8) -DETAIL REFERENCE PAGE  
 (9) -DETAIL CROSS REFERENCE PAGE



- ### DRAWING NOTES
- PROPERTY LINE
  - BUILDING SETBACK LINE
  - PROPOSED COMMERCIAL BUILDING
  - ASPHALT SURFACE WITH 150mm BARRIER CURB
  - CONCRETE SIDEWALK, WIDTH AS NOTED
  - PEDESTRIAN CROSS WALK WITH DEPRESSIONED CURBS
  - STANDARD PARKING SPACE (2.6 X 5.2 M)
  - WATER STORAGE TANK, SEE CIVIL
  - SIAMSE CONNECTION
  - FIRE ROUTE
  - SOFT LANDSCAPING
  - BICYCLE PARKING SPACES (0.6 X 1.8M) WITH RACK
  - FIRE HYDRANT
  - EXTERIOR WALL MOUNTED LIGHT FIXTURE
  - EXISTING HYDRO POLE
  - RAISED LOADING DOCK PLATFORM WITH STAIRS
  - LOADING BAY
  - EXISTING TREES TO BE REMOVED

- ### SITE PLAN SYMBOLS
- BIKE RACK
  - VEHICLE CIRCULATION
  - MAIN ENTRANCE
  - SERVICE DOOR / FIRE EXIT
  - PROPERTY LINE
  - ZONING SETBACKS
  - PARKING LOT LIGHTING
  - EXTERIOR LIGHT
  - BUILDING ROOF DRAINS

#### CIVIL ENGINEER

WSP Canada  
 300-1145 Hunt Club Road  
 Ottawa ON K1V 0Y3  
 Tel: (613) 736-7200  
 Email: Ishaque.Jafferjee@wsp.com

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