

103 Schneider Road

Design Brief

APRIL 2021



103 SCHNEIDER ROAD KANAT NORTH, ON

DESIGN BRIEF

April 2021

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Quality Information

Document name	Ref	Prepared for	Prepared by	Date	Reviewed by
103 Schneider Road Design Brief	2104-Design Brief	Kapali Holdings Limited	RLA Architecture	Apr 2021	

Revision History

Revision	Revision date	Details	Authorised	Name	Position

This Design Brief has been prepared in support of a Site Plan Control application to construct three one-storey industrial buildings and associated parking at 103 Schneider Road as shown on the site plan submitted with the application.

Site Location

The property at 103 Schneider Road is located about 160m north of Carling Avenue in the Ward 4 Kanata North. The property is legally described as Part of Lot 6, Concession 4. It is 23,168 sq m (2.317 hectares) in size and has 42.88 metres of frontage on Schneider Road.

Existing Site Condition

The site is currently vacant. It is a generally flat site and consists of cultural meadow, thicket and woodland. The site is located near a floodplain to its north-east and the 100-year floodplain line passes through a small portion of the north-east corner of the site as shown on the site plan (drawing SP-1). To the north, east, west and south of the property are other commercial, industrial and office spaces zoned IG6.



SUBJECT PROPERTY

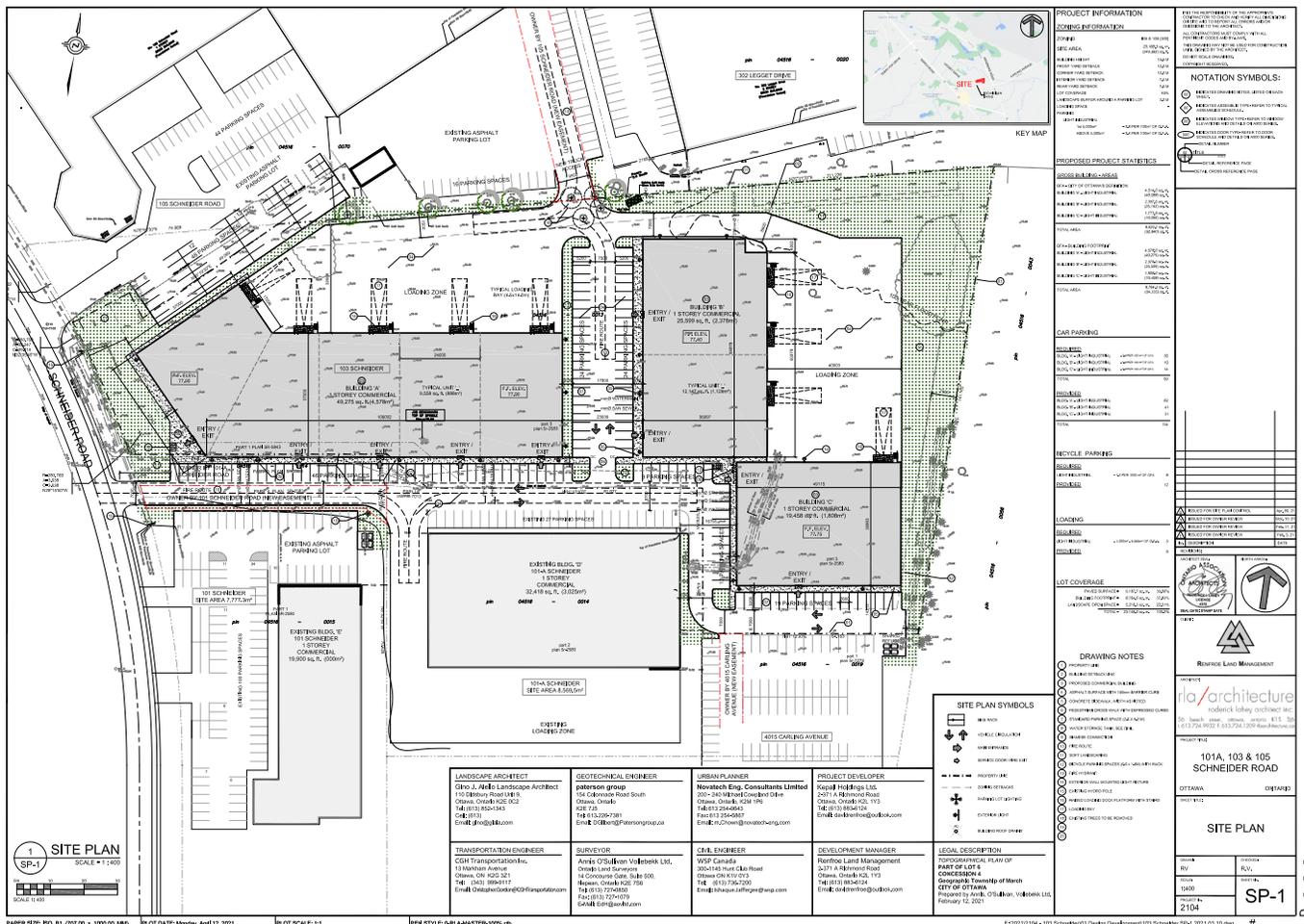
Overview of the Proposed Development

Site Plan

Three new industrial buildings – building 'A', building 'B' and building 'C' with gross floor area (GFA) of 4514.0 sq m, 2337.6 sq m and 1,773.6 sq m respectively, are proposed to be aligned parallelly with the southern lot line. The total GFA of the proposed development is 8625.1 sq m. The active sides of the buildings containing the entrance doors, overhead doors and loading bays are indicated on drawing SP-2. A total of 9 principal entrance doors, along with 9 overhead doors, 9 oversized loading spaces, 134 vehicular parking spaces and 12 bicycle parking are provided. Building-wise

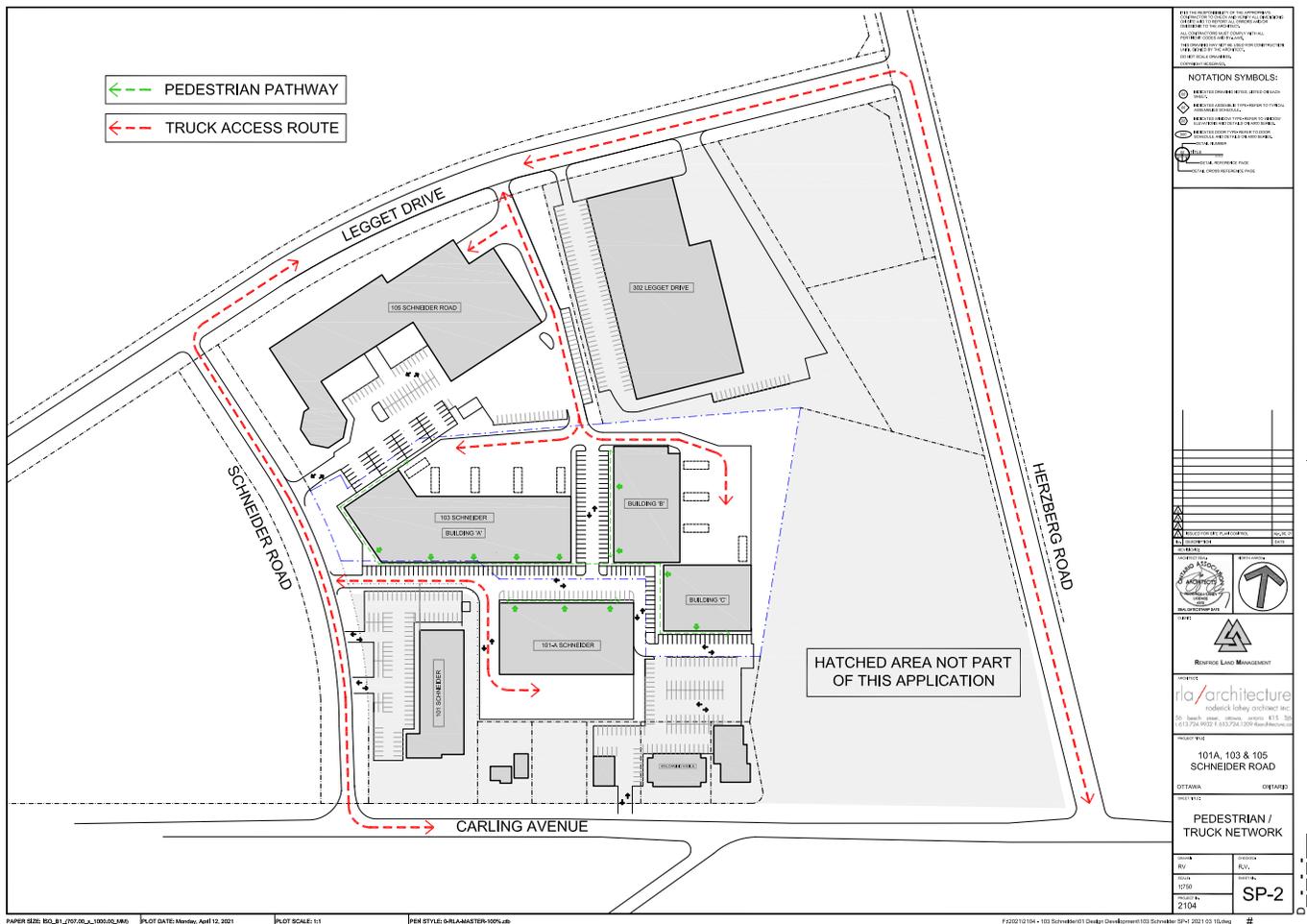
distribution of these provisions has been provided on the drawings SP-1 and SP-2.

The main vehicular entrance will be a shared access road through the existing 7.0 meter wide driveway on the property 101-A Schneider Road. Truck access route for the loading bays is shown on drawing SP-2. On-site sidewalks will be provided from the parking area to the building and will run the length of the proposed buildings.



SITE PLAN - SP-1

The site has been designed to meet or exceed the zoning, parking and loading space requirements for the IG6 zone as indicated in the table on the site plan drawing SP-1. Building A will be setback 12.0 meters from the front lot line along Schneider Road and will provide room for landscaping and stormwater management. Building B will be located so as to avoid the 100-year floodplain area. Building C will be set 14.2 metres from the southern property line while maintaining a separation distance of 16.76 meters from the existing building at 101-A Schneider Road. Site Plan

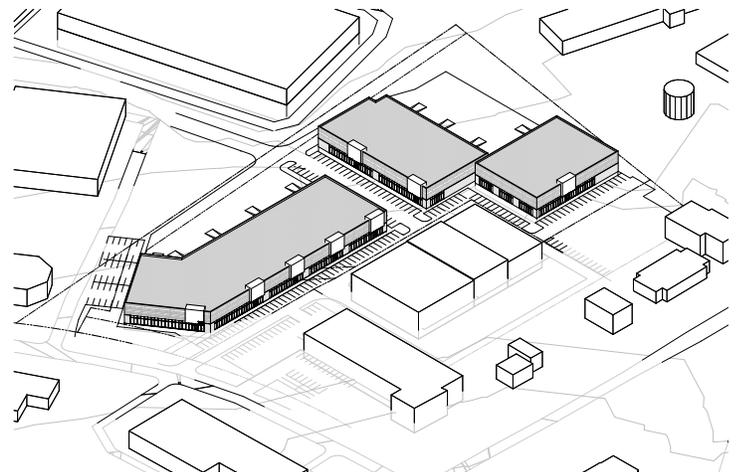
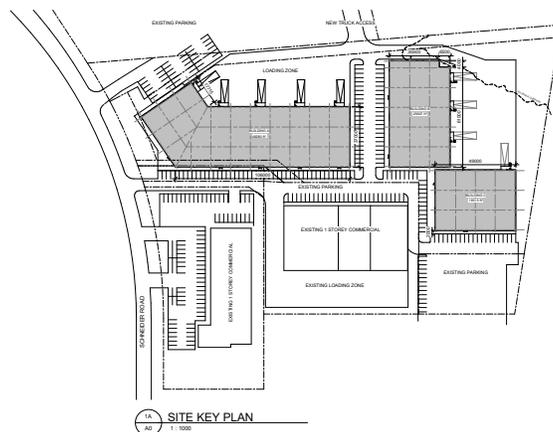


SITE PLAN - SP-2

Building Elevations and Facade Treatment

Building elevations and schematic 3D images have also been submitted with the application. The building will be constructed out of precast concrete walls. As a general design theme, the building facades have been broken up into two parts vertically in such a way that the lower part is articulated with brick pattern, glass doors and windows whereas the upper part will have stone cladding with glazing. As can be seen in the perspective views and building elevations, all main entrances to the buildings have

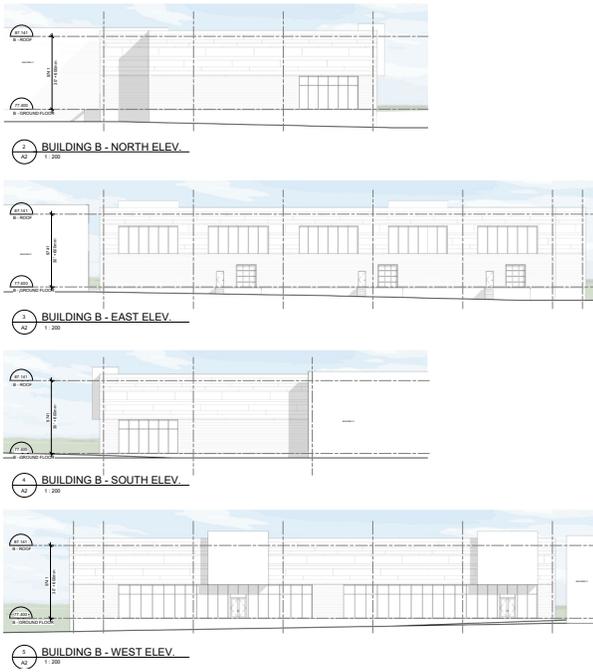
been designed to be clearly distinguishable with a projected canopy which will have a heavy sandblast finish in natural grey. These pronounced entrance canopies help in wayfinding as well as breaking up the visual length of the buildings.



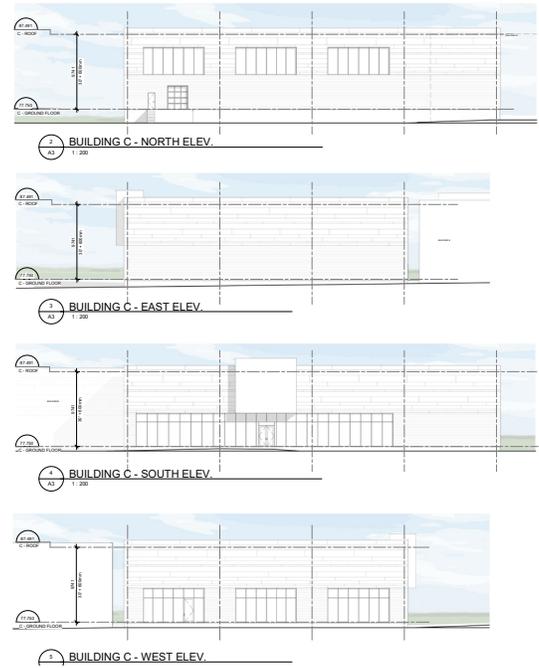
SCHEMATIC 3D IMAGES



BUILDING 'A' ELEVATIONS



BUILDING 'B' ELEVATIONS



BUILDING 'C' ELEVATIONS

