

SITE AREA: 10,012m<sup>2</sup> / 2.47 ac  
RESIDENTIAL UNIT COUNT:  
TOWER A = 350  
TOWER B = 271  
TOWER C = 279  
TOTAL = 900

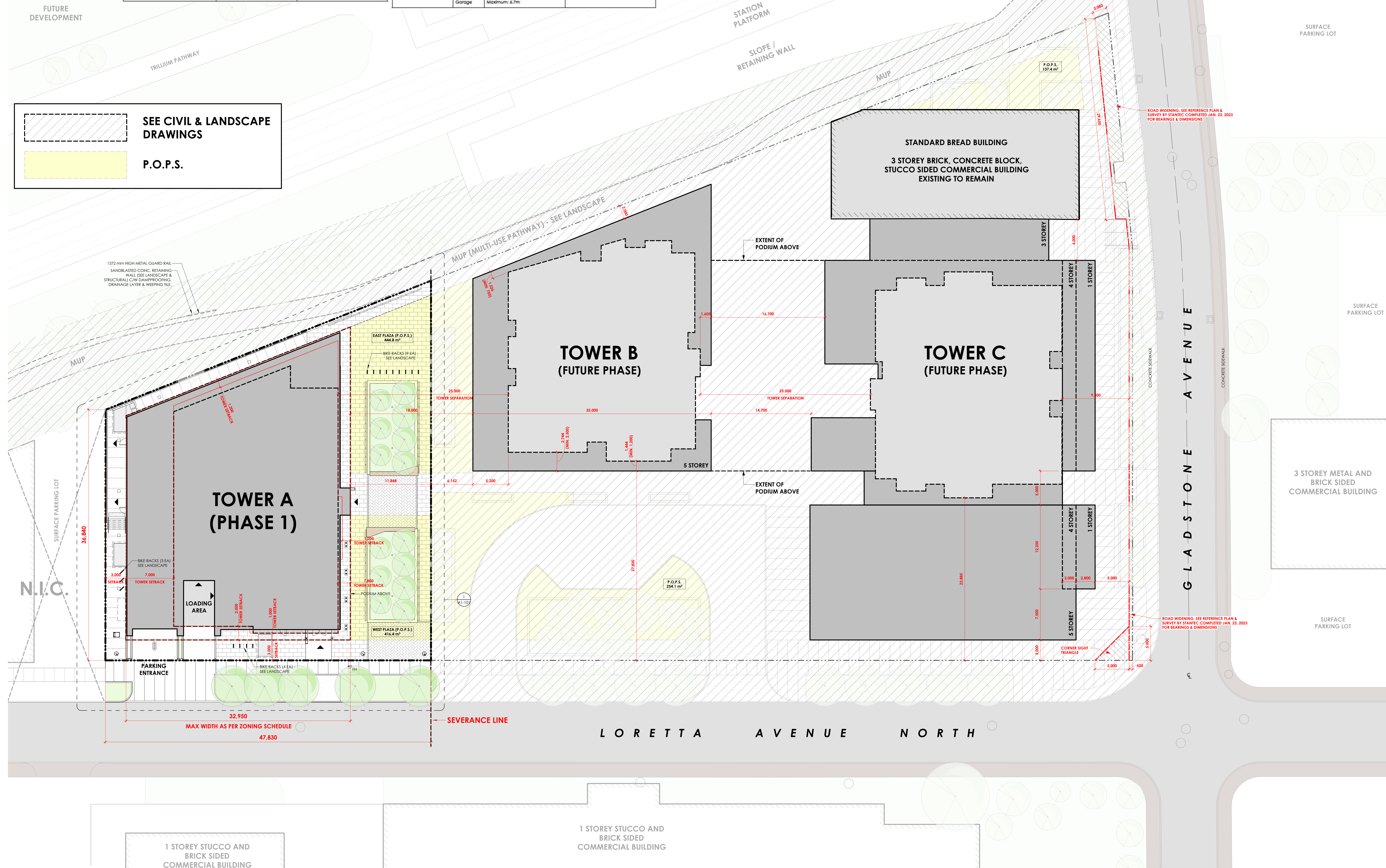
MC[2830] 5446-h1	Requirement	Proposed
Minimum Lot Width (m)	No minimum	Complies
Minimum Lot Area (m <sup>2</sup> )	No minimum	Complies
Minimum Front Yard Setback (m)	As per Schedule 466	Complies
Minimum Rear Yard Setback (m)	As per Schedule 466	Complies
Interior Side Yard Setback (m)	As per Schedule 466	Complies
Corner Side Yard Setback (m)	As per Schedule 466	Complies
Minimum Building Height (m)	As per Schedule 466	Complies
Maximum Building Height (m)	As per Schedule 466	Complies
Maximum Floor Space Index	No Maximum	N/A
Minimum Width of Landscaped Area	No minimum, except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces or outdoor commercial patio, the whole yard must be landscaped	Complies
Minimum Tower Separation	23 metres	Complies
Minimum Tower Podium Stepback Distance	2 metres	2m at Gladstone frontage only

<b>Parking Requirements (Sec. 101, 102, 103, 106, 111)</b>  <b>Section 103, Area Z</b> Residential: Max 1.75 spaces per Dwelling Unit Visitor: Min 0.1 space per Dwelling Unit, MAX required per building: 30 Office: Max 2.2 per 100m <sup>2</sup> GCA Retail: Max 3.6 per 100m <sup>2</sup> GCA		Resident: 1575 Max (900 units) Visitor: 30 per building (90 total)  Office: 405 Max Retail: 58 Max	Resident: 436 (surface 4) Visitor: 30  Office: 46 Retail: 14 Total: 526
<b>Vehicle Space Dimensions</b>		~ Must be 2.6m-3.1m by 5.2m ~ Up to 40% of required parking aside from visitor's spaces may be 2.4m x 4.6m	Compiles
<b>Bicycle Parking Rates</b>		(0.5 per Dwelling Unit) 0.5 x 900 units = 450 (1 per 250m <sup>2</sup> commercial space) 90,000m <sup>2</sup> / 250 = 360 Total required = 810	Surface Bicycle Parking = 68 Indoor Bicycle Parking = 626 Total Bicycle Parking = 694
<b>Bicycle Space Dimensions</b>		Horizontal: 0.8m x 1.8m Vertical: 0.5m x 1.5m (max 50% of required spaces) Stacked: 0.37m x 1.5m	Compiles
<b>Drive Aisle Width (Double traffic lane)</b>	Parking Lot   Parking Garage	Minimum: 6.7m   Minimum: 6m Maximum: 6.7m	compiles   6m

Amenity Space Requirements (Sec. 137)	Requirement	Proposed
Total: 4m <sup>2</sup> per unit Communal: 85% of total required	Total: 5,400 m <sup>2</sup> Communal (min): 2,700 m <sup>2</sup>	Rooftop Terrace (Communal): 1441.9 m <sup>2</sup> Indoor Amenity (Communal): 1414.7 m <sup>2</sup> Total Communal (55.4%): 3056.6 m <sup>2</sup> Balconies: ~ 2343.4 m <sup>2</sup>  Total Amenities: 5400 m <sup>2</sup>
POPS (Privately Owned Public Space)		POPS: 1,017.7 m <sup>2</sup>

TRILLIUM PATHWAY

**P.O.P.S.**



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