

- KEYNOTES:**
- CONVENIENCE STORE BUILDING AREA.
 - CAR WASH BUILDING AREA.
 - ASPHALT AREA. REFER TO CIVIL DRAWINGS AND GEOTECHNICAL REPORT.
 - LANDSCAPE AREA.
 - PROPOSED NEW MONUMENT SIGN, UNDER SEPARATE PERMIT.
 - CONCRETE WALK, RAMPS TO MEET OBC REQUIREMENTS, REFER TO CIVIL DRAWINGS.
 - EX. ELECTRICAL TRANSFORMER (7A) TO BE RELOCATED ON NEW CONCRETE PAD (7B).
 - OUTDOOR SEATING - NOT USED.
 - YARD LIGHT. REFER TO SITE ELECTRICAL AND STRUCTURAL DRAWINGS.
 - TRASH ENCLOSURE. REFER TO DRAWING SD1.2.
 - CONCRETE CURBS (WITH CURB DEPRESSIONS) WHERE INDICATED. REFER TO CIVIL DRAWINGS.
 - CONCRETE SLAB. REFER TO CIVIL DRAWINGS.
 - YARD LIGHT. REFER TO SITE ELECTRICAL AND STRUCTURAL DRAWINGS.
 - ACCESSIBLE ACCESS (CONCRETE IS FLUSH WITH ASPHALT). REFER TO CIVIL DRAWINGS.
 - 14a ACCESSIBLE PARKING STALL TYPE A. 14b ACCESSIBLE PARKING STALL TYPE B. 14c ACCESSIBLE PARKING POLE MOUNTED SIGN, STALLS, SIGNS AND PAVERS MARKINGS PER CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARD SECTION 3.1.
 - VENT RACK.
 - FUEL CANOPY AREA. REFER TO FUEL DRAWINGS.
 - BIKE RACK. REFER TO DRAWING SD1.2.
 - 100mm HIGH SCREEN WALL - NOT USED.
 - CO2 WITH STORAGE CABINET.
 - BUILDING SERVICE ENTRANCE SECTION.
 - PROVIDE AND INSTALL FUEL STORAGE TANKS PER FUEL DRAWINGS.
 - 102mm BOLLARDS, SPACED EVERY 1500mm. REFER TO DRAWINGS SD1.2.
 - OUTDOOR PAINTED STRIPES FOR NO-PARKING AREA.
 - AIR MACHINE PROVIDED BY CIRCLE K VENDOR. REFER TO ELECTRICAL DRAWINGS.
 - EMERGENCY SHUT-OFF SWITCH. REFER TO FUEL DRAWINGS.
 - 75mm WIDE CONCRETE COLOUR BAND. REFER TO DRAWING SD1.2.
 - OUTDOOR PAINTED STRIPES FOR NO-PARKING AREA.
 - PROPERTY LINE.
 - 102mm DIAMETER FUEL CANOPY BOLLARDS WITH GREY COVERS.
 - VACUUM ISLAND.
 - PAINTED LINES/DIRECTIONAL ARROWS. ACCESSIBLE PARKING PAINTED SYMBOLS AND LINES PAVEMENT MARKINGS PER CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARD SECTION 3.1.
 - MASONRY COLUMN AND METAL FENCE WALL - NOT USED.
 - POSTS WITH CHAIN.
 - CARWASH ENTRY TICKET READER & BOLLARD.
 - 34a. 102mm BOLLARDS (YELLOW) 34b. 102mm BOLLARDS (TIM HORTONS RED SLEEVE)
 - 150mm BOLLARDS
 - TICKET MACHINE
 - HEIGHT RESTRICTION BAR
 - COUNT DOWN TIMER ON CONCRETE PAD
 - MOUNTABLE ROLL-OVER CURB SEE DRAWING SD1.2
 - ON SITE SNOW STORAGE AREA
 - YIELD TO PEDESTRIAN SIGN
 - TIM HORTONS HEIGHT RESTRICTION BAR
 - TIM HORTONS DRIVE-THRU ENTRANCE SIGN
 - TIM HORTONS PRE-SELL MENU BOARD
 - TIM HORTONS DRIVE-THRU DIGITAL MENU BOARD
 - TIM HORTONS DRIVE-THRU PICKUP WINDOW
 - TIM HORTONS DRIVE-THRU EXIT SIGN
 - LOADING AREA
 - TIM HORTONS CAR READER
 - TIM HORTONS MAGNETIC LOOP
 - TIM HORTONS ILLUMINATED PROJECTING CANOPY
 - FUTURE ROAD WIDENING PROPERTY LINE
 - 274mm ILLUMINATED BOLLARDS, SPACED EVERY 9145mm, TYP. 6. REFER TO DRAWINGS SD1.2.
 - NEW TRANSFORMER WITH PROTECTIVE FENCE. REFER TO ELECTRICAL SITE PLAN

- GENERAL NOTES:**
- SIGNS REQUIRE A SEPARATE PERMIT.
 - DUMPSTERS AND MECHANICAL EQUIPMENT WILL BE SCREENED FROM THE PUBLIC.
 - WALLS OVER 1828mm HIGH APPROVED BY SEPARATE PERMIT.
 - PARKING WILL BE PAVED.
 - PARKING WILL BE WITHIN 182.88m OF BUILDING.
 - THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL AND SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
 - ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 - SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
 - ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
 - THE FIRE DEPT. DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR.
 - ALL DIMENSIONS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.
 - ALL DIMENSIONS MUST BE VERIFIED BY THE GC PRIOR TO CONSTRUCTION, ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF CIRCLE K'S REPRESENTATIVE.
 - ALL WORK TO BE DONE BY THE GC UNLESS NOTED OTHERWISE.
 - EVERYTHING TO BE CONSIDERED NEW UNLESS NOTED OTHERWISE.
 - MAKE GOOD ALL AREAS DISTURBED DURING CONSTRUCTION.
 - GC IS RESPONSIBLE FOR ALL LOCATES BEFORE CONSTRUCTION START.
 - TOPOGRAPHIC SURVEY INFORMATION: BY MCINTOSH PERRY SURVEYING INC., FILE: CSI-21-1534, DATED 2020-12-11, RECEIVED FROM CLIENT ON 2020-12-15.
 - LEGAL INFORMATION: PART OF LOT 30, CONCESSION 1, RIDEAU FRONT AND PART OF THE ROAD ALLOWANCE BETWEEN LOTS 30 AND 31, CONCESSION 1, RIDEAU FRONT, GEOGRAPHIC TOWNSHIP OF NEPEAN, CITY OF OTTAWA

CONTACT INFORMATION:
 SURVEYOR:
 MCINTOSH PERRY SURVEYING INC.
 3240 DRUMMOND CON. 5A, R.R. #7
 PERTH, ON K7H 3C9
 613.267.6524
 WWW.MCINTOSHPERRY.COM

DEVELOPER/OWNER:
 CIRCLE K CENTRAL CANADA DIVISION
 305 MILLNER AVE, SUITE 400
 TORONTO, ON M1B 3V4
 416.291.4444

APPLICANT/ENGINEERING FIRM:
 CRYSTAL FRAZAO
 EXP SERVICES INC.
 1595 CLARK BLVD.
 BRAMPTON, ON L6T 4V1
 905.793.9800

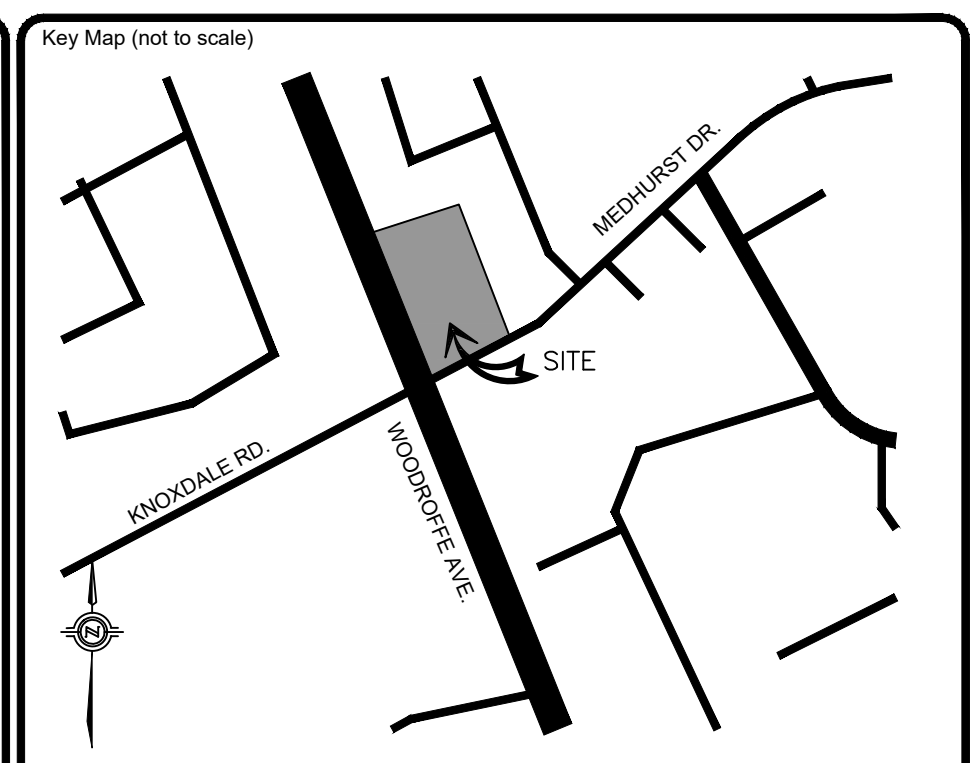
DESIGNER (BUILDING & LANDSCAPE):
 WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, A DIVISION OF WOOD CANADA LIMITED
 2020 WINSTON PARK DR., SUITE 600
 OAKVILLE, ON L6H 6X7
 905.568.2929

Owner/Client:
CIRCLE K

Location:
 1545 WOODROFFE AVE.
 OTTAWA, ON

Title:
 PROPOSED SITE PLAN

Designed By: T.M. **Checked By:** C.F.
Scale: AS NOTED **Date:** DECEMBER 2020 **City Drawing No.:** A01
Project No.: BRM00606364-B0 **Drawing No.:** A01
CITY DWG. # 17094



LEGEND:

IRON BAR	EX. CONCRETE CURB
BENCHMARK	EX. CONCRETE SIDEWALK
EX. FIRE HYDRANT	EX. ASPHALT
EX. LIGHT POLE	EX. ASPHALT
EX. LIGHT STANDARD	EX. ASPHALT
EX. STORM MH	EX. ASPHALT
EX. SANITARY MH	EX. ASPHALT
EX. STORM CB	EX. ASPHALT
EX. WATER VALVE	EX. ASPHALT
EX. VALVE CHAMBER	EX. ASPHALT
EX. BELL & HYDRO POLE	EX. ASPHALT
EX. CUY WIRE AND ANCHOR	EX. ASPHALT
EX. TRAFFIC SIGNAL	EX. ASPHALT
EX. GAS VALVE	EX. ASPHALT
EX. SIGN	EX. ASPHALT
EX. TREE	EX. ASPHALT
SUBJECT PROPERTY	EX. ASPHALT
PROPERTY LINE	EX. ASPHALT
EX. CONCRETE CURB	EX. ASPHALT
EX. CENTRELINE OF DITCH	EX. ASPHALT
EX. ROAD CENTRELINE	EX. ASPHALT
EX. FENCE	EX. ASPHALT
NEW YARD LIGHT	EX. ASPHALT
NEW STORM MH	EX. ASPHALT
NEW SANITARY MH	EX. ASPHALT
NEW STORM CB	EX. ASPHALT
NEW STORM CBMH	EX. ASPHALT
NEW ILLUMINATED BOLLARD	EX. ASPHALT
NEW CONC. CURB	EX. ASPHALT
NEW CURB CURB DEPRESSION	EX. ASPHALT
FIRE ROUTE SIGN	EX. ASPHALT
NEW 1.8m HIGH FENCE	EX. ASPHALT

No.	REVISIONS	Date	By	App.
F	ISSUED FOR SPA	MAR. 28 2022	J.B.	C.F.
E	ISSUED FOR SPA	JAN. 26 2022	T.M.	C.F.
D	ISSUED FOR INFORMATION	NOV. 2 2021	T.M.	C.F.
C	ISSUED FOR INFORMATION	OCT. 27 2021	T.M.	C.F.
B	REISSUED FOR SPA	SEPT. 25 2021	C.F.	C.F.
A	ISSUED FOR SPA	APR. 27 2021	C.F.	C.F.



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• BUILDINGS • EARTH & ENVIRONMENT • ENERGY •
 • INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

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CIRCLE K

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 OTTAWA, ON

Title:
 PROPOSED SITE PLAN

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PROPOSED SITE PLAN
 SCALE 1:250

DEVELOPMENT STATISTICS		
GM - GENERAL MIXED USE ZONE (SECTIONS 187 & 188) & GM 15 SUBZONE		
	REQUIREMENT ZONING BY-LAW 2008-250	PROPOSED
LOT AREA		8209.89m ²
LOT WIDTH		60.74m
MIN. REQUIRED FRONT YARD SETBACK	3.0m AND 5.0m ABUTTING RESIDENTIAL	98.9m CAR WASH, 71.8m GARBAGE ENCLOSURE, 19.3m CANOPY, 21.5m STORE
MIN. REQUIRED REAR YARD SETBACK	NO MIN. AND 7.5m ABUTTING RESIDENTIAL AND 3.0m ABUTTING A STREET	11.8m CAR WASH, 38.0m GARBAGE ENCLOSURE, 52.4m CANOPY, 56.3m STORE
MIN. REQUIRED INTERIOR SIDE YARD SETBACK	5.0m ABUTTING RESIDENTIAL	31.4m CARWASH, 10.5m GARBAGE ENCLOSURE, 43.1m CANOPY, 10.1m STORE
MAX. BUILDING HEIGHT	18m	6.4m CANOPY, 7.01m STORE, 5.13m CAR WASH
CANOPY AREA		354.54m ²
TOTAL STORE AREA		506m ²
RETAIL AREA		58.54m ²
CONVENIENCE STORE AREA		337.86m ²
GARBAGE ENCLOSURE AREA		33.81m ²
CAR WASH AREA		139.47m ²

	REQUIREMENT ZONING BY-LAW 2008-250	PROPOSED
PARKING MIN. 2.6, MAX. 3.1 x 5.2m	20	35 @ 2.6x5.2 AND 2 @ 3.3x5.2
GAS BAR	0	0
CONVENIENCE STORE (AREA C)	3.4/100m ²	12
RESTAURANT-FAST FOOD	10/100m ²	12
CAR WASH	0	0
RETAIL	3.4/100m ²	2
BARRIER-FREE TYPE A 3.4m WIDE & TYPE B 2.4m WIDE	13-25 REQUIRED SPACES = 1 TYPE A & 1 TYPE B	1 TYPE A 3.4x5.2m & 1 TYPE B 2.6x5.2m
TOTAL PARKING PROVIDED	20 STALLS (2 BARRIER-FREE)	36 @ 2.6x5.2, 2 @ 3.3x5.2, 1 @ 3.4x5.2 & 1 @ 2.6x5.2 = 40 STALLS
aisle width	6.0 MIN (TWO-WAY TRAFFIC)	6.2m
LOADING	1/2000-4999m ²	1
BICYCLE PARKING (MIN. 0.6x1.8)	1/250m ² OF GFA = 1	5
LANDSCAPE AREA	NOT MIN. AND 30m ABUTTING RESIDENTIAL OR A STREET	3m
LANDSCAPE MIN. AREA	15%	30%
QUEUING SPACES (MIN. 3x5.7m)	CAR WASH QUEUING: MIN. 10 SPACES INGRESS & 1 EGRESS RESTAURANT WITH MENU BOARD 7 AT/BEFORE ORDER BOARD, MIN. TOTAL 11	13 INGRESS, 4 EGRESS @ 3.5x7m EACH 8 TO MENU BOARD, 13 TOTAL @ 3x5.7m EACH