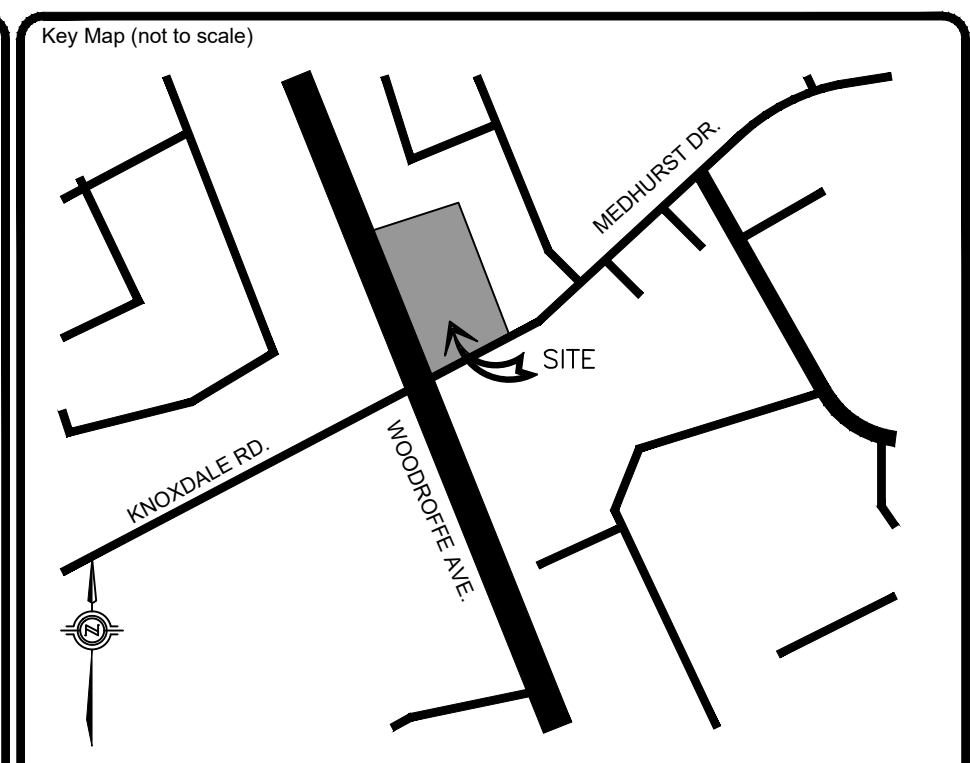


- KEYNOTES:**
1. CONVENIENCE STORE BUILDING AREA.
 2. CAR WASH BUILDING AREA.
 3. ASPHALT AREA. REFER TO CIVIL DRAWINGS AND GEOTECHNICAL REPORT. LANDSCAPE AREA.
 4. PROPOSED NEW MONUMENT SIGN, UNDER SEPARATE PERMIT. REFER TO SITE ELECTRICAL PLANS FOR POWER REQUIREMENTS.
 5. CONCRETE WALK, RAMPS TO MEET OBC REQUIREMENTS, REFER TO CIVIL DRAWINGS.
 6. EX. ELECTRICAL TRANSFORMER (7A) TO BE RELOCATED ON NEW CONCRETE PAD (7B).
 7. OUTDOOR SEATING - NOT USED.
 8. TRASH ENCLOSURE. REFER TO DRAWING SD1.2.
 9. CONCRETE CURBS (WITH CURB DEPRESSIONS) WHERE INDICATED. REFER TO CIVIL DRAWINGS.
 10. CONCRETE SLAB. REFER TO CIVIL DRAWINGS.
 11. YARD LIGHT. REFER TO SITE ELECTRICAL AND STRUCTURAL DRAWINGS.
 12. ACCESSIBLE ACCESS (CONCRETE IS FLUSH WITH ASPHALT). REFER TO CIVIL DRAWINGS.
 13. ACCESSIBLE PARKING STALL.
 14. FUEL CANOPY AREA. REFER TO FUEL DRAWINGS.
 15. BIKE RACK. REFER TO DRAWING SD1.2.
 16. 1016mm HIGH SCREEN WALL - NOT USED.
 17. CO2 WITH STORAGE CABINET.
 18. BUILDING SERVICE ENTRANCE SECTION.
 19. PROVIDE AND INSTALL FUEL STORAGE TANKS PER FUEL DRAWINGS.
 20. 102mm BOLLARDS, SPACED EVERY 1524mm. REFER TO DRAWINGS. SD1.2.
 21. AIR MACHINE PROVIDED BY CIRCLE K VENDOR. REFER TO ELECTRICAL DRAWINGS.
 22. EMERGENCY SHUT-OFF SWITCH. REFER TO FUEL DRAWINGS.
 23. 762mm WIDE CONCRETE COLOUR BAND. REFER TO DRAWING SD1.2.
 24. OUTDOOR PAINTED STRIPES FOR NO-PARKING AREA.
 25. PROPERTY LINE.
 26. 102mm DIAMETER FUEL CANOPY BOLLARDS WITH GREY COVERS.
 27. VACUUM ISLAND.
 28. PAINTED LINES/DIRECTIONAL ARROWS.
 29. MASONRY COLUMN AND METAL FENCE WALL - NOT USED.
 30. POSTS WITH CHAIN.
 31. CARWASH ENTRY TICKET READER & BOLLARD.
 32. 102mm BOLLARDS.
 33. 150mm BOLLARDS.
 34. TICKET MACHINE.
 35. HEIGHT RESTRICTION BAR.
 36. COUNT DOWN TIMER ON CONCRETE PAD.
 37. MOUNTABLE ROLL-OVER CURB SEE DRAWING SD1.2.

- GENERAL NOTES:**
1. SIGNS REQUIRE A SEPARATE PERMIT.
 2. DUMPSTERS AND MECHANICAL EQUIPMENT WILL BE SCREENED FROM THE PUBLIC.
 3. WALLS OVER 1829mm HIGH APPROVED BY SEPARATE PERMIT.
 4. PARKING WILL BE PAVED.
 5. PARKING WILL BE WITHIN 182.88m OF BUILDING.
 6. THERE SHALL BE NO OBSTRUCTION OF SITE SIGNAGE BY LANDSCAPE PLANT MATERIAL AND SUCH MUST BE RELOCATED/CORRECTED BEFORE THE FIELD INSPECTION WILL ACCEPT/PASS THE SIGN IN THE FIELD OR ISSUE A CERTIFICATE OF OCCUPANCY FOR A PROJECT.
 7. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
 8. SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.
 9. ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEANUP, MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY FOR ANY BUILDING WITHIN A PHASE.
 10. THE FIRE DEPT. DOUBLE CHECK ASSEMBLY SHALL BE PAINTED TO MATCH ADJACENT WALL COLOR.
 11. ALL DIMENSIONS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.
 12. ALL DIMENSIONS MUST BE VERIFIED BY THE GC PRIOR TO CONSTRUCTION. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF CIRCLE K'S REPRESENTATIVE.
 13. ALL WORK TO BE DONE BY THE GC UNLESS NOTED OTHERWISE.
 14. EVERYTHING TO BE CONSIDERED NEW UNLESS NOTED OTHERWISE.
 15. MAKE GOOD ALL AREAS DISTURBED DURING CONSTRUCTION.
 16. GC IS RESPONSIBLE FOR ALL LOCATES BEFORE CONSTRUCTION START.
 17. TOPOGRAPHIC SURVEY INFORMATION: BY MONTOSH PERRY SURVEYING INC. FILE: CSH-21-1534, DATED 2020-12-11, RECEIVED FROM CLIENT ON 2020-12-15.
 18. LEGAL INFORMATION: PART OF LOT 30, CONCESSION 1 RIDEAU FRONT AND PART OF THE ROAD ALLOWANCE BETWEEN LOTS 30 AND 31, CONCESSION 1, RIDEAU FRONT, GEOGRAPHIC TOWNSHIP OF NEPEAN, CITY OF OTTAWA



LEGEND:

IRON BAR	EX. CONCRETE CURB
BENCHMARK	EX. LIGHT POLE
EX. FIRE HYDRANT	EX. LIGHT STANDARD
EX. LIGHT POLE	EX. STORM MH
EX. STORM MH	EX. SANITARY MH
EX. SANITARY MH	EX. STORM CB
EX. WATER VALVE	EX. WATER VALVE
EX. VALVE CHAMBER	EX. VALVE CHAMBER
EX. STORM CB	EX. BELL & HYDRO POLE
EX. BELL & HYDRO POLE	EX. COY WIRE AND ANCHOR
EX. COY WIRE AND ANCHOR	EX. TRAFFIC SIGNAL
EX. TRAFFIC SIGNAL	EX. GAS VALVE
EX. GAS VALVE	EX. SIGN
EX. SIGN	EX. TREE
EX. TREE	SUBJECT PROPERTY
SUBJECT PROPERTY	PROPERTY LINE
PROPERTY LINE	EX. CENTERLINE OF DITCH
EX. CENTERLINE OF DITCH	EX. ROAD CENTERLINE
EX. ROAD CENTERLINE	EX. FENCE
EX. FENCE	EX. STORM SEWER
EX. STORM SEWER	EX. SANITARY SEWER
EX. SANITARY SEWER	EX. WATER MAIN
EX. WATER MAIN	EX. NATURAL GAS
EX. NATURAL GAS	EX. OVERHEAD HYDRO
EX. OVERHEAD HYDRO	EX. UNDERGROUND HYDRO
EX. UNDERGROUND HYDRO	EX. UNDERGROUND BELL
EX. UNDERGROUND BELL	EX. TRAFFIC CABLES
EX. TRAFFIC CABLES	EX. EX-TOUR
EX. EX-TOUR	NEW YARD LIGHT
NEW YARD LIGHT	NEW STORM MH
NEW STORM MH	NEW SANITARY MH
NEW SANITARY MH	NEW STORM CB
NEW STORM CB	NEW STORM DRAIN
NEW STORM DRAIN	NEW CONC. CURB
NEW CONC. CURB	NEW CONC. CURB CUT/DEPRESSED CURB

No.	ISSUED FOR SPA	Date	By	App.
		APR 27 2021	C.F.	C.F.
REVISIONS				

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• BUILDINGS • EARTH & ENVIRONMENT • ENERGY •
 • INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

Owner/Client:

CIRCLE K

Location:
**1545 WOODROFFE AVE.
 OTTAWA, ON**

Title:
PROPOSED SITE PLAN

Designed By:	Drawn By: T.M.	Checked By: C.F.
Scale: AS NOTED	Date: DECEMBER 2020	City Drawing No.:
Project No.: BRM006064-B0		Drawing No.: A01

PROPOSED SITE PLAN
 SCALE 1:250

DEVELOPMENT STATISTICS

	GM - GENERAL MIXED USE ZONE (SECTIONS 187 & 188) & GM 15 SUBZONE	
	REQUIREMENT ZONING BY-LAW 2008-250	PROPOSED
LOT AREA		8209.89m ²
LOT WIDTH		60.74m
MIN. REQUIRED FRONT YARD (MEDHURST) & CORNER SIDE YARD SETBACK	3.0m AND 5.0m ABUTTING RESIDENTIAL	98.9m CAR WASH, 71.8m GARBAGE ENCLOSURE, 19.3m CANOPY, 21.7m STORE
MIN. REQUIRED REAR YARD SETBACK	NO MIN. AND 7.5m ABUTTING RESIDENTIAL AND 3.0m ABUTTING A STREET	11.8m CAR WASH, 38.0m GARBAGE ENCLOSURE, 52.4m CANOPY, 56.8m STORE
MIN. REQUIRED INTERIOR SIDE YARD SETBACK	5.0m ABUTTING RESIDENTIAL	31.4m CARWASH, 10.5m GARBAGE ENCLOSURE, 43.1m CANOPY, 10.3m STORE
MAX. BUILDING HEIGHT	18m	6.4m CANOPY, 7.01m STORE, 5.13m CAR WASH
CANOPY AREA		354.54m ²
TOTAL STORE AREA		506m ²
RETAIL AREA		56.00m ²
CONVENIENCE STORE AREA		337.09m ²
RESTAURANT AREA		112.92m ²

	REQUIREMENT ZONING BY-LAW 2008-250	PROPOSED
GARBAGE ENCLOSURE AREA		33.81m ²
CAR WASH AREA		139.47m ²
PARKING MIN. 2.6, MAX. 3.1 x 5.2m	20	37 @ 2.6x5.2 AND 2 @ 3.3x5.2
GAS BAR	0	0
CONVENIENCE STORE (AREA C)	3.4/100m ²	12
RESTAURANT-FAST FOOD	10/100m ²	12
CAR WASH	0	0
RETAIL	3.4/100m ²	2
BARRIER-FREE (3.66 WIDE)	20-99 SPACES = 1	1 @ 3.66x5.2
aisle WIDTH	6.0 MIN (TWO-WAY TRAFFIC)	6.2m
LOADING	1/2000-4999m ²	1
BICYCLE PARKING (MIN. 0.6x1.8)	1/250m ² OF GFA = 1	5
LANDSCAPE AREA	NO MIN. AND 3.0m ABUTTING RESIDENTIAL OR INSTITUTIONAL OR A STREET	3m
LANDSCAPE MIN. AREA	15%	30%
QUEUING SPACES (MIN. 3x5.7m)	CAR WASH QUEUING: MIN. 10 SPACES INGRESS & 1 EGRESS RESTAURANT WITH MENU BOARD 7 AT/BEFORE ORDER BOARD, MIN. TOTAL 11	13 INGRESS, 4 EGRESS @ 3.5x7m EACH 9 TO MENU BOARD, 11 TOTAL @ 3x5.7m EACH