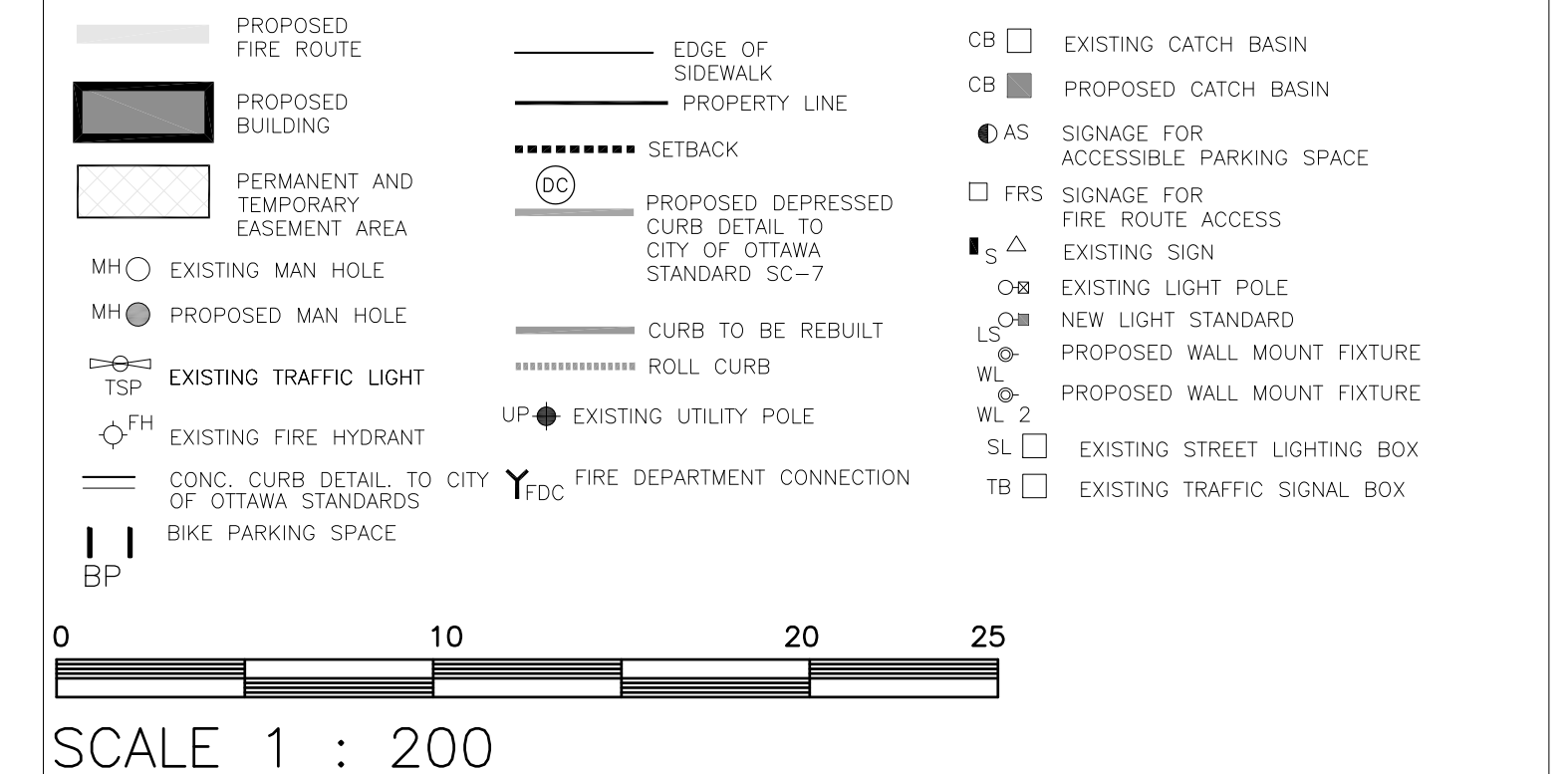


LOCATION PLAN



LEGEND:



SCALE 1 : 200

NOTE: ALL EXISTING SITE INFORMATION AS PER TOPOGRAPHICAL SURVEY PLAN DATED MAY 15th, 2021 PREPARED BY FARLEY SMITH & DENIS SURVEYING LTD.

PART OF BLOCKS A AND I
REGISTERED PLAN 465465
CITY OF OTTAWA
FARLEY SMITH & DENIS SURVEYING LTD, 2021

PROPOSED SITE PLAN

ZONING NOTES:

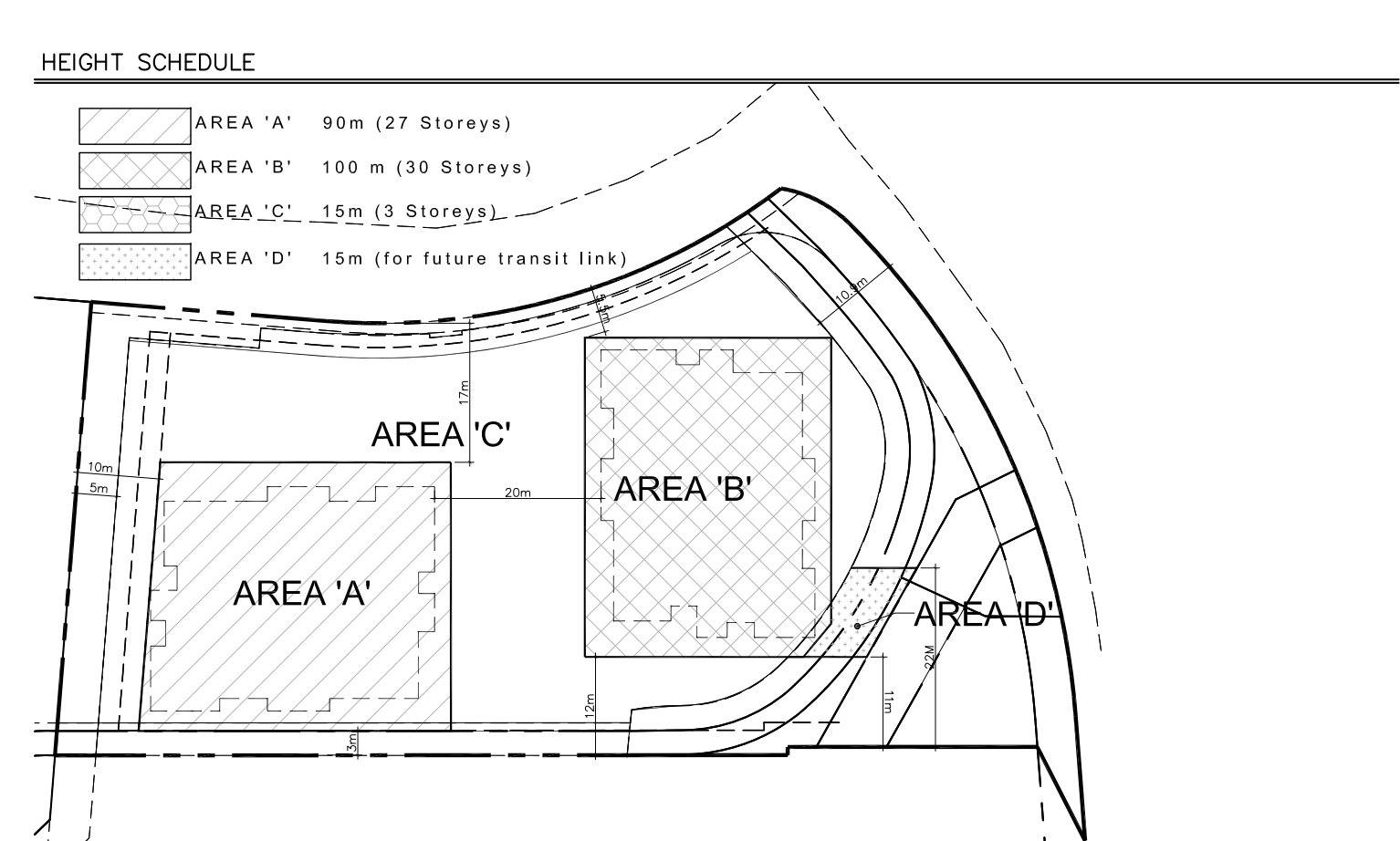
CURRENT ZONING: GMF (199) H(34)
PROPOSED ZONING: TBD

TOTAL DEVELOPMENT STATS		PROPOSED	
LOT OF AREA	6,743 m ²		
LOT WIDTH	127 m IRREGULAR		
LOT DEPTH	56 m IRREGULAR		
SETBACK ALONG WOODRIDGE	4.2 m		
SETBACK ALONG SOUTH SIDE	3 m		
SIDEYARD SETBACK - WEST SIDE	8 m		
CORNER SIDEYARD SETBACK - EAST SIDE	11 m		
MAXIMUM HEIGHT	100 m		
MAX NUMBER OF STOREYS	30		
TOTAL BUILDING AREA	2,938 m ²		
TOTAL UNITS	554 UNITS		
TOTAL PARKING SPACES (INTERIOR + SURFACE PARKING)	266 SPACES		
TOTAL TOTAL RES. PARKING SPACES (0.38/UNIT)	210 SPACES		
TOTAL TOTAL VISITOR PARKING SPACES (0.17/UNIT)	56 SPACES		
TOTAL BICYCLE PARKING SPACES (0.5/UNIT)	282 SPACES		

ZONING NOTES:

WEST PHASE - DEVELOPMENT STATS		PROPOSED	
NUMBER OF STOREYS	27		
TOTAL UNITS	262		
SETBACK ALONG WOODRIDGE	16.9 m to nearest		
SETBACK ALONG SOUTH SIDE	1.2 m		
SIDEYARD SETBACK - WEST SIDE	8 m		
SIDEYARD SETBACK ABOVE PODIUM - WEST SIDE	10 m		
MAXIMUM HEIGHT	90 m		
NUMBER OF STOREYS	27		
TOTAL GROSS FLOOR AREA (city def.)	17,608 m ²		
TYP. FLOOR GROSS FLOOR AREA (city def.)	725 m ²		

EAST PHASE - DEVELOPMENT STATS		PROPOSED	
NUMBER OF STOREYS	30		
TOTAL UNITS	292		
SETBACK ALONG WOODRIDGE	4.8 m to nearest		
SETBACK ALONG SOUTH SIDE	VARIES m		
SIDEYARD SETBACK	N/A m		
CORNER SIDEYARD SETBACK - EAST SIDE	11 m		
MAXIMUM HEIGHT	100 m		
NUMBER OF STOREYS	30		
TOTAL GROSS FLOOR AREA (city def.)	18,090 m ²		
TYP. FLOOR GROSS FLOOR AREA (city def.)	682 m ²		



WEST PHASE - PARKING REQUIREMENTS

1. PARKING REQUIREMENTS	PROVIDED VEHICLE PARKING
LAND USE	APARTMENT
	100 RESIDENTIAL PARKING SPACES PROVIDED FOR 262 UNITS (0.38/UNIT) * LOCATED IN UNDERGROUND PARKING GARAGE AND PARKING PODIUM
2. REQUIRED VISITOR PARKING	PROVIDED VISITOR PARKING
LAND USE	APARTMENT
	27 VISITOR PARKING SPACES PROVIDED FOR 262 UNITS * LOCATED IN PARKING GARAGE
TOTAL PARKING PROVIDED FOR PHASE 1	127 TOTAL PARKING PARKING SPACES 127 INTERIOR
3. BICYCLE PARKING	3.1 REQUIRED BICYCLE PARKING SPACES RESIDENTIAL (0.5 SPACE/UNIT = 132 SPACES REQUIRED) 3.2 PROVIDED BICYCLE PARKING 136 P1 level 55 spaces Ground 32 spaces + 15 exterior spaces Level 2 34 spaces TOTAL 136 spaces
4. AMENITY SPACE REQUIREMENTS	REQUIRED AMENITY SPACE 6 m ² REQUIRED PER UNIT 262 UNITS X 6 SQ.M. = 1572 SQ.M. TOTAL AMENITY REQUIRED REQUIRED AMENITY SPACE TO BE COMMON 786 SQ.M. PROVIDED COMMON AMENITY SPACE - 786 SQ.M.

EAST PHASE - PARKING REQUIREMENTS

1. REQUIRED PARKING	PROVIDED VEHICLE PARKING
LAND USE	APARTMENT
	110 RESIDENTIAL PARKING SPACES PROVIDED FOR 292 UNITS (0.38/UNIT) * LOCATED IN UNDERGROUND PARKING GARAGE AND PARKING PODIUM
2. REQUIRED VISITOR PARKING	PROVIDED VISITOR PARKING
LAND USE	APARTMENT
	29 VISITOR PARKING SPACES PROVIDED FOR 292 UNITS * LOCATED IN PARKING GARAGE AND @ GRADE
TOTAL PARKING PROVIDED FOR PHASE 2	139 TOTAL PARKING PARKING SPACES 133 INTERIOR
3. BICYCLE PARKING	3.1 REQUIRED BICYCLE PARKING SPACES RESIDENTIAL (0.5 SPACE/UNIT = 146 SPACES REQUIRED) 3.2 PROVIDED BICYCLE PARKING 146 P1 level 50 spaces Ground 81 spaces + 15 exterior spaces TOTAL 146 SPACES
4. AMENITY SPACE REQUIREMENTS	REQUIRED AMENITY SPACE 6 m ² REQUIRED PER UNIT 292 UNITS X 6 SQ.M. = 1752 SQ.M. TOTAL AMENITY REQUIRED REQUIRED AMENITY SPACE TO BE COMMON 876 SQ.M. PROVIDED COMMON AMENITY SPACE - 876 SQ.M.



PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BESSON
413.236.4534

PLANNING
Lloyd Phillips and Associates Ltd.
Lloyd Phillips
413.236.5373

CIVIL
WSP
STEPHEN MCCAUGHEY
413.690.3955

LANDSCAPE ARCHITECT
CSW LANDSCAPE ARCHITECTS LTD.
413.225.4534

TRANSPORTATION
BI GROUP
DAVID HOOK
413.225.1311 ext: 64029

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JOSHUA FOSTER
413.836.0434

no.	date	revision
6	21.07.23	ISSUED FOR S.P.A. RESUB #1
5	21.04.30	ISSUED FOR S.P.A.
4	20.07.24	RE-ISSUED FOR REZONING
3	20.06.04	RE-ISSUED FOR REZONING
2	20.03.30	RE-ISSUED FOR REZONING
1	19.02.20	ISSUED FOR REZONING

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Hobin Architecture Incorporated

63 Parilla Street
Ottawa, Ontario
Canada K1S 9K7
T: 613 239 7200
F: 613 235 2005
E: mail@hobinarc.com
hobinarc.com

PROJECT LOCATION:
100 BAYSHORE LOT "B"

WOODRIDGE CRESCENT

DRAWING TITLE:
SITE PLAN

DRAWN BY: FB **DATE:** 18.12.20 **SCALE:** 1:200

PROJECT: 1837 **DRAWING NO.:** A1.00

REVISION NO.: 18477

PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T: 416.228.7200

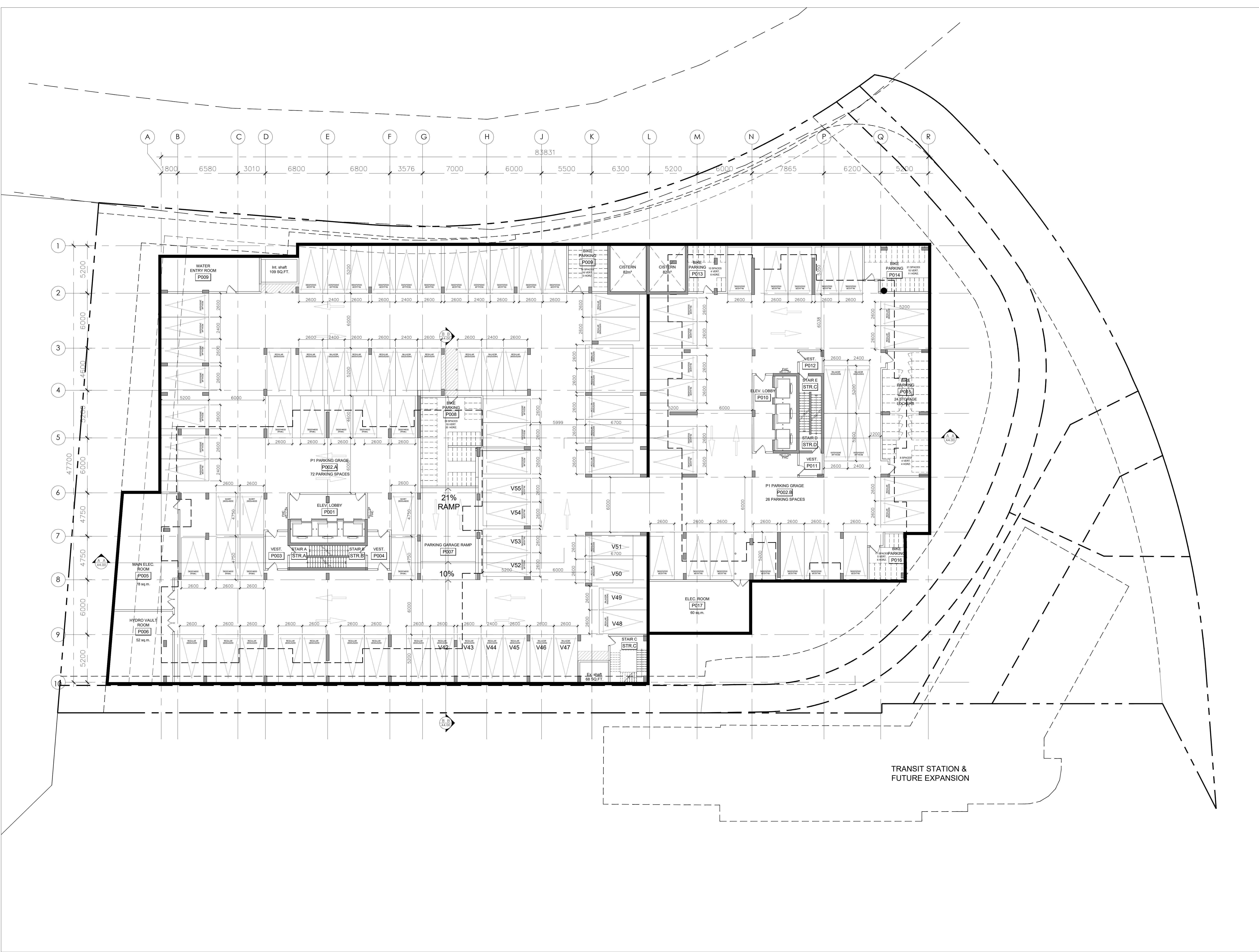
PLANNING & DESIGN
GYP PLANNING & DESIGN
CHRISTINE MCCLUAIG
416.850.8345

CIVIL
NSP
STEPHEN MCCAUGHEY
T: 416.690.3955

LANDSCAPE ARCHITECT
LASHLEY & ASSOCIATES CORPORATION
RIC CARREON
T: 416.233.8579 X102

TRANSPORTATION
BI GROUP
DAVID HOOK
T: 416.225.1311 ext: 44029

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JOSHUA FOSTER
T: 416.834.0634



no.	date	revision
3	21.07.23	S.P.A. RESUBMISSION #1
2	21.04.20	ISSUED FOR S.P.A.
1	19.02.20	ISSUED FOR REZONING

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Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 228 7200
F: 613 235 2005
E: mail@hobin.com
hobin.com



HOBIN
ARCHITECTURE

PROJECT LOCATION:
100 BAYSHORE LOT "B"
WOODRIDGE CRESCENT

DRAWING TITLE:
FLOOR PLANS - PHASE 2
PARKING LEVEL - P1

DRAWN BY: PB	DATE: 18.12.20	SCALE: 1:150
PROJECT: 1837	DRAWING NO.: A 2.01	
REVISION NO.:		

1 FLOOR PLAN - PHASE 2 - PARKING LEVEL - P1
1:150

PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T: 413.238.7200

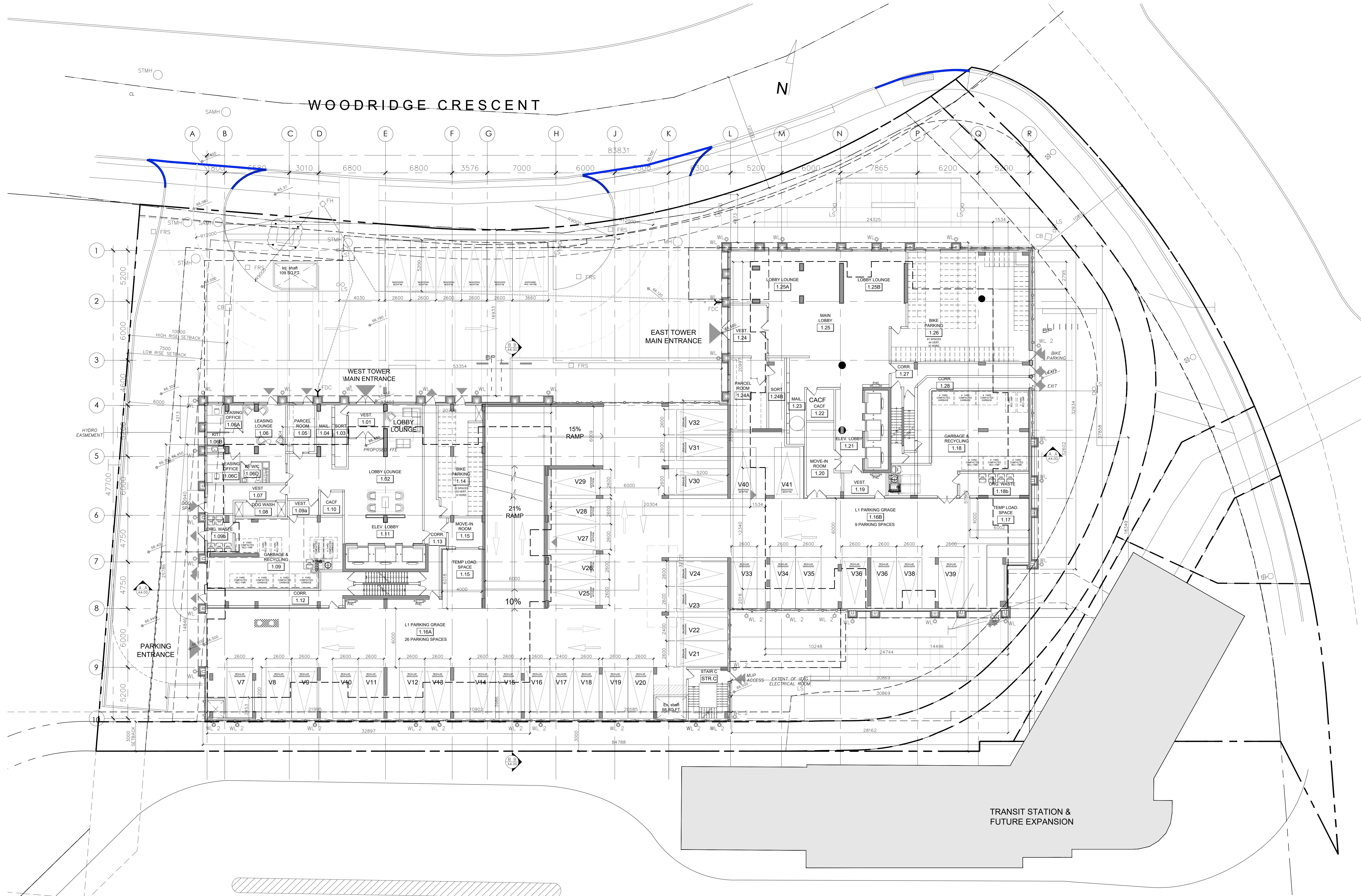
PLANNING
G2P PLANNING & DESIGN
CHRISTINE MCCLUAIG
T: 413.850.8342

CIVIL
HSP
STEPHEN MCCAUGHEY
T: 413.690.3955

LANDSCAPE ARCHITECT
LASHLEY & ASSOCIATES CORPORATION
ERIC CARREON
T: 413.233.8579 X102

TRANSPORTATION
BI GROUP
DAVID HOOK
T: 413.225.1311 ext: 44029

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JOSHUA FOSTER
T: 413.834.0434



LEVEL	TOWER	PARKING SPACES		BICYCLE PARKING	
		WEST	EAST	WEST	EAST
UNDERGROUND		72	26	55	50
GROUND		26	9	47	96
LEVEL 2		34	25	34	0
LEVEL 3		42	26	0	0
TOTALS		174	86	136	146

1 FLOOR PLAN - LEVEL 1
1:150

no.	date	revision
3	21.07.23	S.P.A. RESUBMISSION #1
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Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 238 7200
F: 613 235 2005
E: info@hobin.com
hobin.com



HOBIN
ARCHITECTURE

PROJECT LOCATION:
100 BAYSHORE LOT "B"

WOODRIDGE CRESCENT

DRAWING TITLE:
**FLOOR PLANS
LEVEL 1 - GROUND FLOOR**

DRAWN BY: DATE: SCALE:
PB 18.12.20 1:150

PROJECT:
1837

DRAWING NO.:
A 2.02

REVISION NO.:
18477

PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T: 413.238.7200

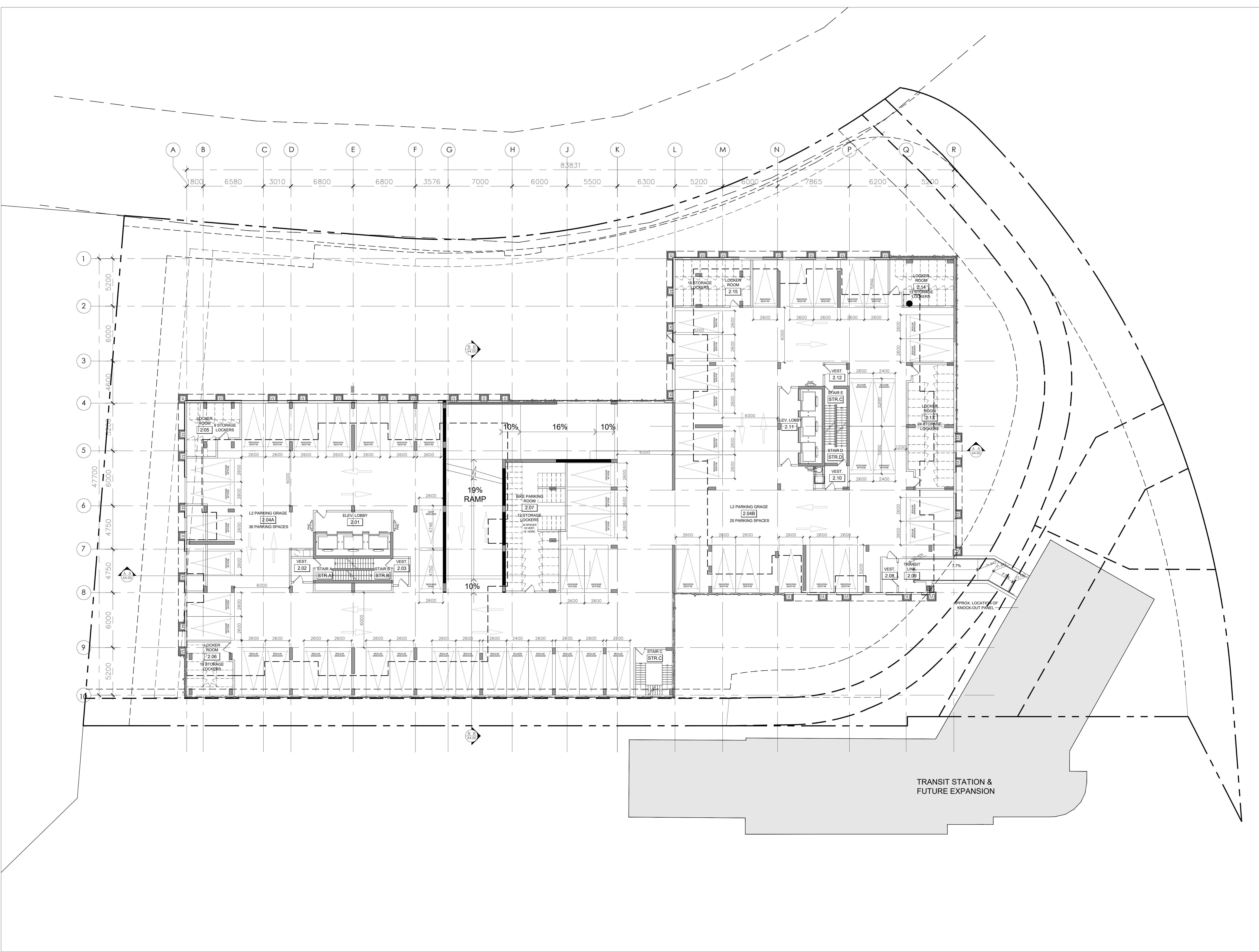
PLANNING
GPZ PLANNING & DESIGN
CHRISTINE MCCLAGG
T: 413.850.8342

CIVIL
NSP
STEPHEN MCCAUGHEY
T: 413.690.3955

LANDSCAPE ARCHITECTURE
LASHLEY & ASSOCIATES CORPORATION
NIC CARROEN
T: 413.233.8579 X102

TRANSPORTATION
B3 GROUP
DAVID HOOK
T: 413.225.1311 ext: 44029

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JOSHUA FOSTER
T: 413.834.0434



no.	date	revision
3	21.07.23	S.P.A. RESUBMISSION #1
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Hobin Architecture Incorporated
63 Perrin Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 238 7200
F: 613 235 2005
E: mail@hobinarc.com
hobinarc.com



HOBIN
ARCHITECTURE

PROJECT LOCATION:
100 BAYSHORE LOT "B"
WOODRIDGE CRESCENT

DRAWING TITLE:
FLOOR PLANS
LEVEL 2 - PARKING LEVEL 2

DRAWN BY: PB **DATE:** 18.12.20 **SCALE:** 1:150

PROJECT: 1837

DRAWING NO.: A 2.03

REVISION NO.: 007-1921-0057

1 FLOOR PLAN - LEVEL 2 - PARKING LEVEL 2
1:150

PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T: 613.228.7200

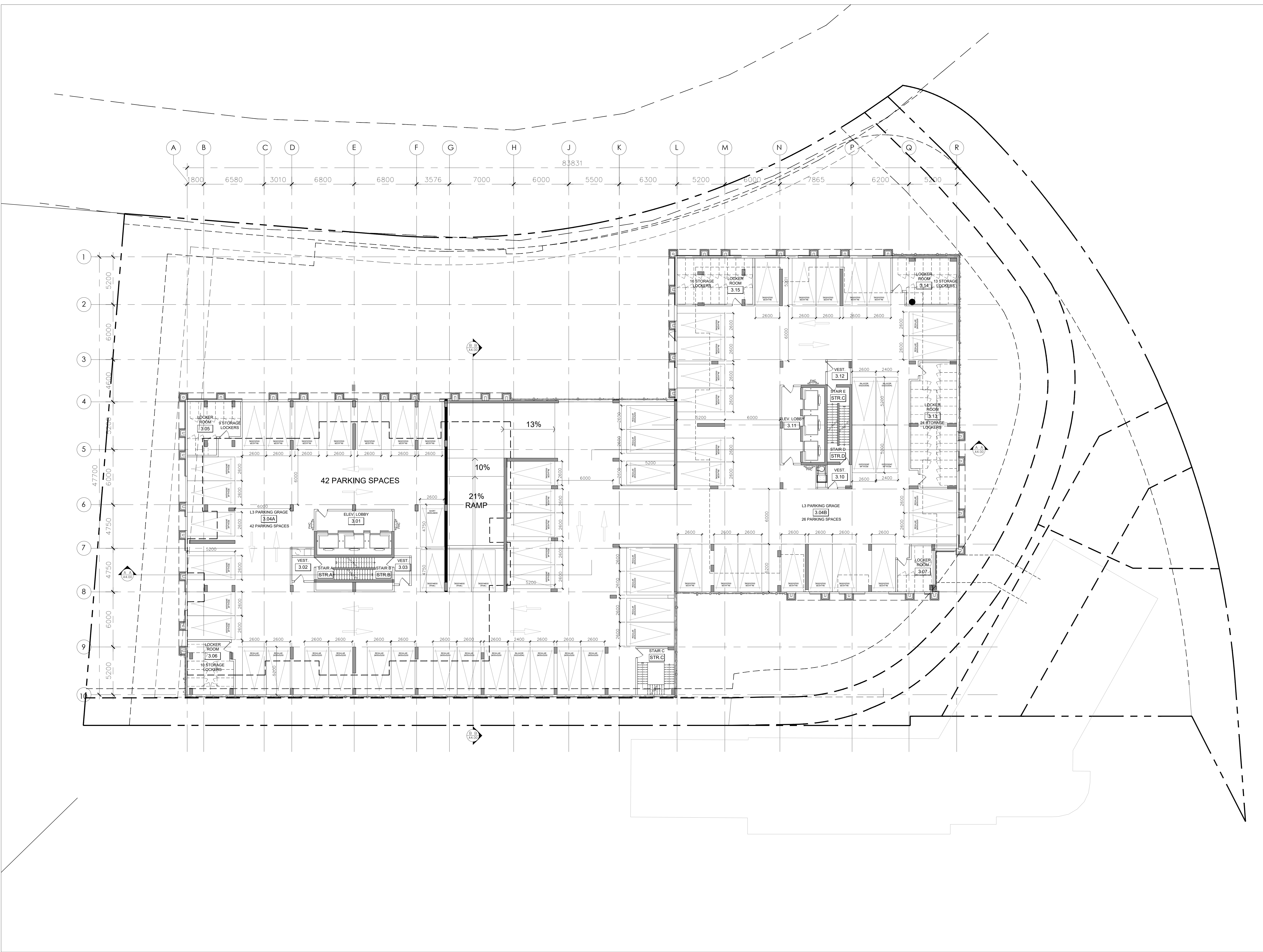
PLANNING
G2P PLANNING & DESIGN
CHRISTINE MCCLUAIG
T: 613.850.8342

CIVIL
NSP
STEPHEN MCCAUGHEY
T: 613.690.3955

LANDSCAPE ARCHITECT
LASHLEY & ASSOCIATES CORPORATION
NIC CARREON
T: 613.233.8579 X102

TRANSPORTATION
BI GROUP
DAVID HOOK
T: 613.225.1311 ext: 44029

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JOSHUA FOSTER
T: 613.834.0434



no.	date	revision
3	21.07.23	S.P.A. RESUBMISSION #1
2	21.04.30	ISSUED FOR S.P.A.
1	19.02.20	ISSUED FOR REZONING

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Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 228 7200
F: 613 235 2005
E: info@hobinarc.com
hobinarc.com



HOBIN
ARCHITECTURE

PROJECT LOCATION:
100 BAYSHORE LOT "B"

WOODRIDGE CRESCENT

DRAWING TITLE:
**FLOOR PLANS
LEVEL 3 - PARKING LEVEL 3**

DRAWN BY: DATE: SCALE:
PB 18.12.20 1:150

PROJECT:
1837

DRAWING NO.:

A 2.04

REVISION NO.:

1 FLOOR PLAN - LEVEL 3 - PARKING LEVEL 3
A2.04 1:150

PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T 613.238.7200

PLANNING
SP PLANNING & DESIGN
CHRISTINE MCCLUAIG
T 413.836.8345

CIVIL
WSP
STEPHEN MCCAUGHEY
T 613.690.3955

LANDSCAPE ARCHITECT
LASHLEY & ASSOCIATES CORPORATION
R.C. CARREON
T 613.233.8579 X102

TRANSPORTATION
BI GROUP
DAVID HOOK
T 613.225.1311 ext: 44029

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JOSHUA FOSTER
T 413.836.0634



no.	date	revision
1	19.02.20	ISSUED FOR REZONING

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Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613-238-7200
F: 613-235-2065
E: ma@hobinarc.com
hobinarc.com



PROJECT/LOCATION:
100 BAYSHORE LOT "B"

WOODRIDGE CRESCENT

DRAWING TITLE:
FLOOR PLANS

LEVEL 4 - SUITES + AMENITY

DRAWN BY: PB	DATE: 19.12.20	SCALE: 1:150
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PROJECT: 1837
DRAWING NO.:

A 2.05

REVISION NO.:

PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T: 613.238.7200

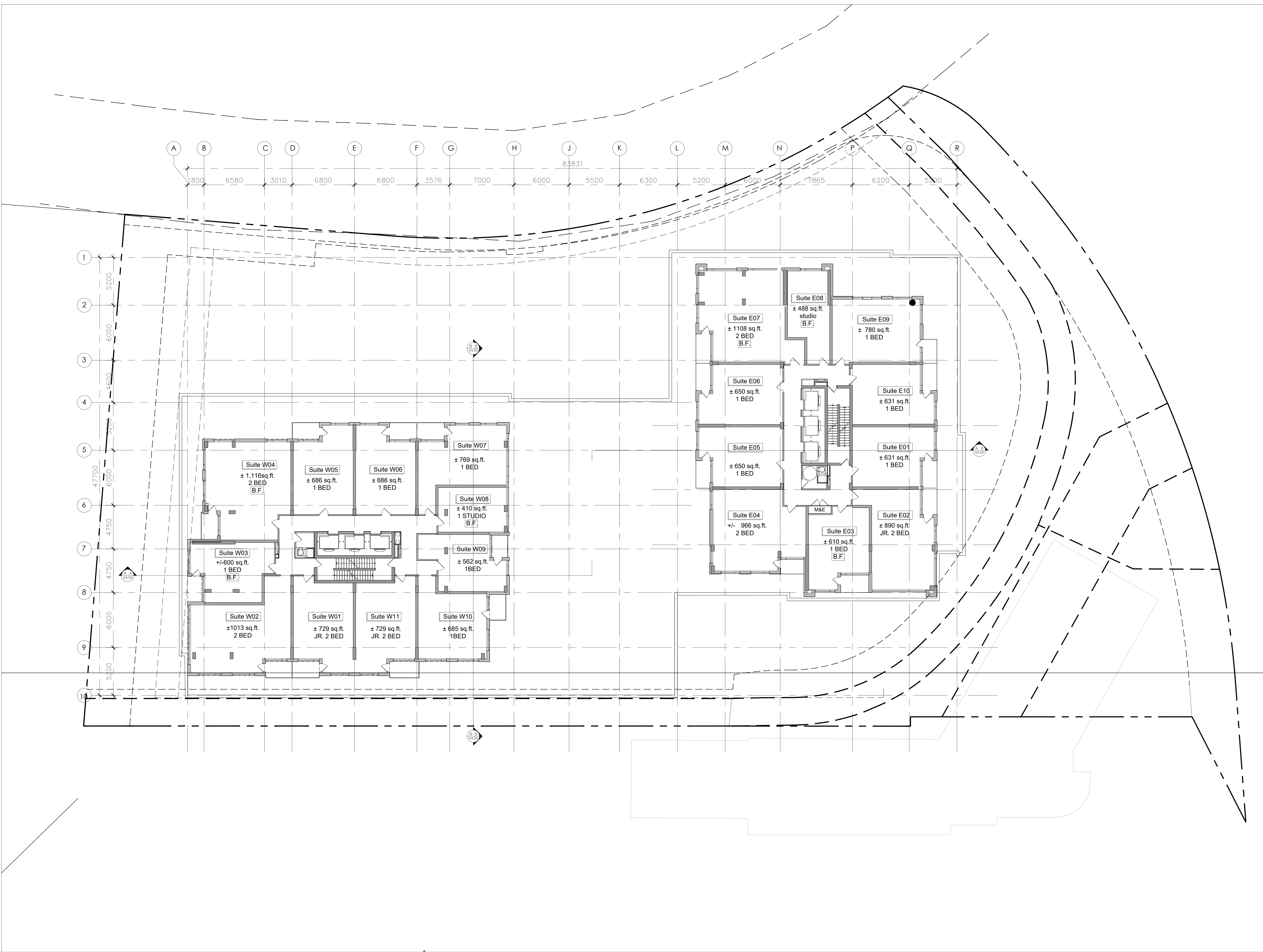
PLANNING
GP PLANNING & DESIGN
CHRISTINE MCCLURG
T: 613.850.8345

CIVIL
WSP
STEPHEN MCCAUGHEY
T: 613.690.3955

LANDSCAPE ARCHITECT
LASHLEY & ASSOCIATES CORPORATION
RIC CARREON
T: 613.233.8579 X102

TRANSPORTATION
BI GROUP
DAVID HOOK
T: 613.225.1311 ext: 64029

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JOSHUA FOSTER
T: 613.834.0434



no.	date	revision
1	21.07.23	ISSUED FOR SITE PLAN CONTROL
1	19.02.20	ISSUED FOR REZONING

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Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613.238.7200
F: 613.235.2005
E: mail@hobin.com
hobin.com



PROJECT/LOCATION:
100 BAYSHORE LOT "B"
WOODRIDGE CRESCENT

DRAWING TITLE:
**FLOOR PLANS
LEVEL 5
TYPICAL SUITES**

DRAWN BY: DATE: SCALE:
PB 19.12.20 1:150

PROJECT:
1837

DRAWING NO.:
A 2.06

REVISION NO.:
18477

1 FLOOR PLAN - LEVEL 5 - TYPICAL SUITES
1:150

PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T 416.228.7200

PLANNING & DESIGN
RJC CARRECH
CHRISTINE MCCLUAIG
T 416.850.8345

CIVIL
RSP
STEPHEN MCCAUGHEY
T 416.390.3955

LANDSCAPE ARCHITECT
LASHLEY & ASSOCIATES CORPORATION
RIC CARRECH
T 416.233.8579 X102

TRANSPORTATION
RJC GROUP
DAVID HOOK
T 416.225.1311 ext: 44029

ENVIRONMENTAL
GRANDT WIND ENGINEERING
JOSHUA FOSTER
T 416.436.0434

LEGEND:

AF	ALUMINUM FLASHING
AP -1	ALUMINUM PANEL 1
MV-1	MASONRY VENEER 1
MV-2	MASONRY VENEER 2
GR	GLASS RAILING
HMP	HORIZONTAL MASONRY PANEL
MS-1	METAL SIDING-1
MS-2	METAL SIDING-2
MS-3	METAL SIDING-3
PMP	PRE-ASSEMBLED METAL PANEL
PFMS-1	PRE-FINISHED METAL SIDING -1
PFMS	PRE-FINISHED HOOD SIDING
SP	SPANDREL PANEL
SHMP	STEEL COLUMN
VG	VISION GLASS

BIRD FRIENDLY GLASS - AS PER CITY BIRD SAFE GUIDELINES
GUIDELINE 2 - Treatments to be applied to a minimum of 90% of the glass within the first 15 meters of height
1. GLASS SPECIFIED TO BE LOW REFLECTIVITY ON LEV. 1-4
2. GLASS FRIT FOR ALL BALCONY RAILINGS ON LEV. 4
3. GLASS FRIT FOR ALL BALCONY RAILINGS ON ROOF TERRACE LEVELS

no.	date	revision
4	21.07.23	ISSUED FOR S.P.A. RESUB. NO.1
3	21.04.30	ISSUED FOR S.P.A.
2	20.07.24	ISSUED FOR REZONING - REV.3
1	19.02.20	ISSUED FOR REZONING

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Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 228 7200
F: 613 235 2005
E: info@hobin.com
hobin.com



HOBIN
ARCHITECTURE

PROJECT LOCATION:
100 BAYSHORE LOT "B"
WOODRIDGE CRESCENT

DRAWING TITLE:
ELEVATIONS

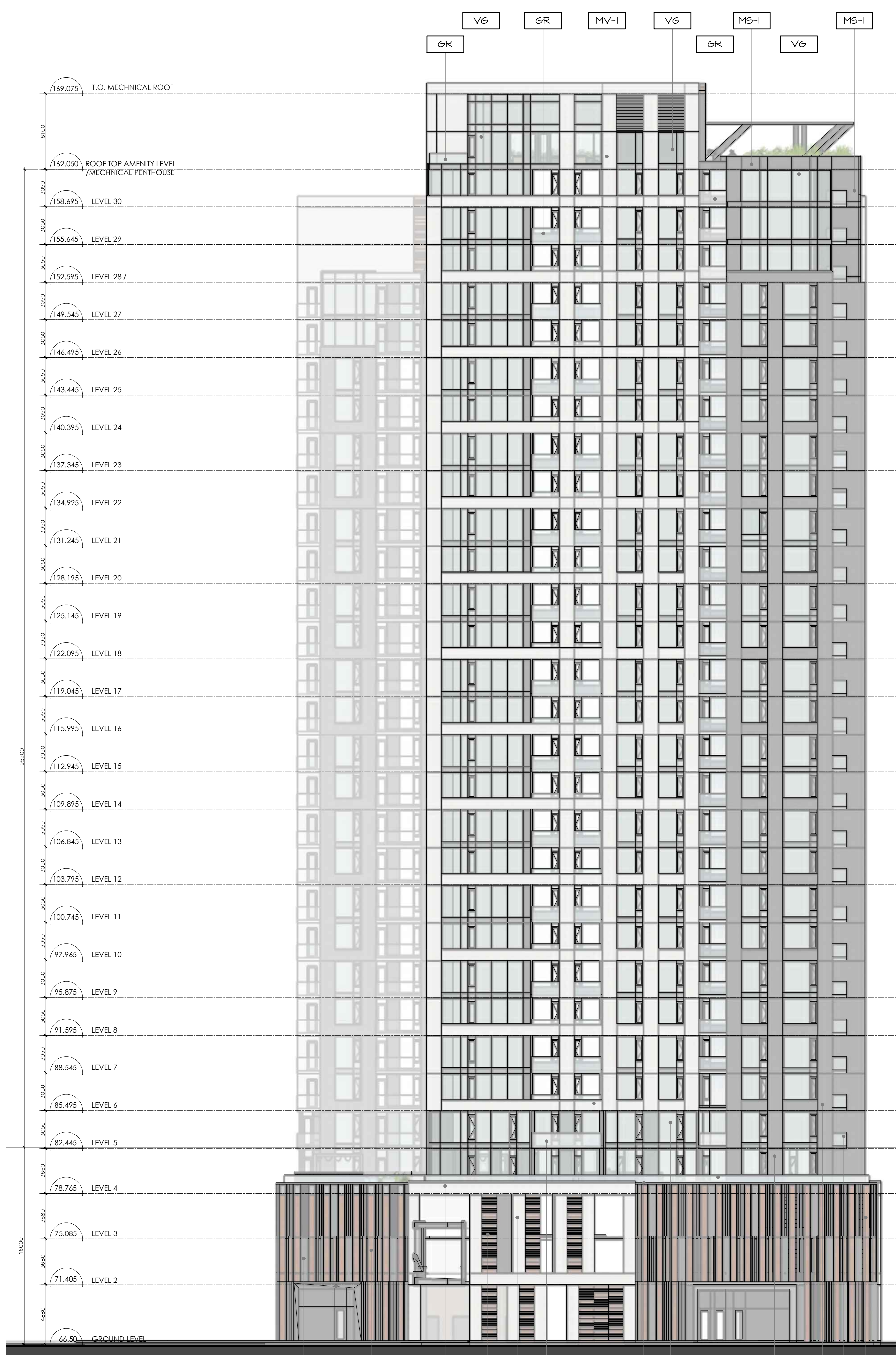
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PB 18.12.20 1:200

PROJECT: DRAWING NO.:
1837

ONTARIO ASSOCIATION OF ARCHITECTS
JAMES HOBAN LICENCE 3049
A 3.01
REVISION NO.:
18477



1 NORTH ELEVATION
A3.01 1:200



2 EAST ELEVATION - EAST TOWER
A3.01 1:200

PROJECT TEAM

ARCHITECT
ROBEI ARCHITECTURE
PATRICK BISSON
T 416.228.7200

PLANNING
GPF PLANNING & DESIGN
CHRISTINE MCCLUAIG
T 416.850.8345

CIVIL
HSP
STEPHEN MCCAUGHEY
T 416.690.3955

LANDSCAPE ARCHITECT
LASHLEY & ASSOCIATES CORPORATION
RIC CARREON
T 416.233.8579 x102

TRANSPORTATION
BI GROUP
DAVID HOOK
T 416.225.1311 ext: 44029

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JOSHUA FOSTER
T 416.936.0634

LEGEND

- AF ALUMINUM FLASHING
- AP-1 ALUMINUM PANEL 1
- MV-1 MASONRY VENEER 1
- MV-2 MASONRY VENEER 2
- GR GLASS RAILING
- HMP HORIZONTAL MASONRY PANEL
- MS-1 METAL SIDING-1
- MS-2 METAL SIDING-2
- MS-3 METAL SIDING-3
- PMP PRE-ASSEMBLED METAL PANEL
- PFYS-1 PRE-FINISHED METAL SIDING -1
- PFWS PRE-FINISHED WOOD SIDING
- SP SPANDREL PANEL
- SHMP STEEL COLUMN
- VG VISION GLASS

BIRD FRIENDLY GLASS - AS PER CITY BIRD SAFE GUIDELINES
GUIDELINE 2 - Treatments to be applied to a minimum of 90% of the glass within the first 15 metres of height
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no.	date	revision
4	21.07.23	ISSUED FOR S.P.A. RESUB. NO.1
3	21.04.30	ISSUED FOR S.P.A.
2	20.07.24	ISSUED FOR REZONING - REV.3
1	19.02.20	ISSUED FOR REZONING

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Hobin Architecture
Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 228 7200
F: 613 235 2005
E: info@hobin.com
hobin.com



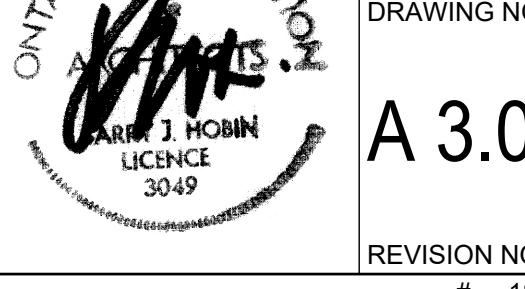
HOBIN
ARCHITECTURE

PROJECT LOCATION:
100 BAYSHORE LOT "B"
WOODRIDGE CRESCENT

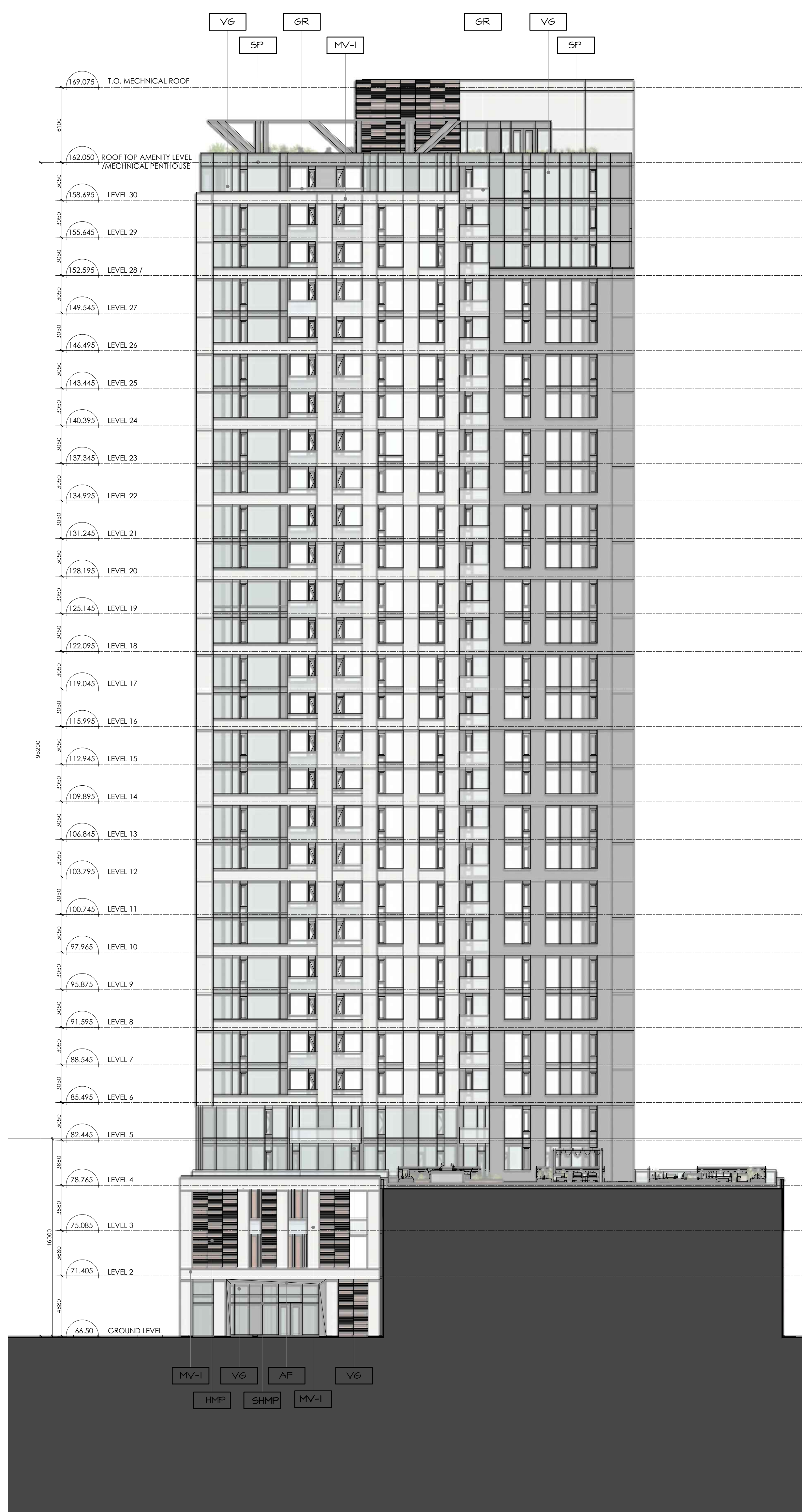
DRAWING TITLE:
ELEVATIONS

DRAWN BY: PB **DATE:** 18.12.20 **SCALE:** 1:200

PROJECT: 1837 **DRAWING NO.:** A 3.02



REVISION NO.: # 18477



1 WEST ELEVATION - WEST TOWER
1:200



2 SOUTH ELEVATION
1:200

PROJECT TEAM

ARCHITECT
HOBIN ARCHITECTURE
PATRICK BISSON
T 416.238.7200

PLANNING
GYP PLANNING & DESIGN
CHRISTINE MCCUAIG
T 416.850.8345

CIVIL
NSP
STEPHEN MCCAUGHEY
T 416.690.3955

LANDSCAPE ARCHITECT
LASHLEY & ASSOCIATES CORPORATION
RIC CARREON
T 416.233.8579 X102

TRANSPORTATION
BI GROUP
DAVID HOOK
T 416.225.1311 ext:44029

ENVIRONMENTAL
GRADIENT WIND ENGINEERING
JOSHUA FOSTER
T 416.936.0634

LEGEND:

- AF ALUMINUM FLASHING
- AP -1 ALUMINUM PANEL 1
- MV-1 MASONRY VENEER 1
- MV-2 MASONRY VENEER 2
- GR GLASS RAILING
- HMP HORIZONTAL MASONRY PANEL
- MS-1 METAL SIDING-1
- MS-2 METAL SIDING-2
- MS-3 METAL SIDING-3
- PMP PRE-ASSEMBLED METAL PANEL
- PFMS-1 PRE-FINISHED METAL SIDING -1
- PFWS PRE-FINISHED WOOD SIDING
- SP SPANDREL PANEL
- SHMP STEEL COLUMN
- VG VISION GLASS

BIRD FRIENDLY GLASS - AS PER CITY BIRD SAFE GUIDELINES
GUIDELINE 2 - Treatments to be applied to a minimum of 90% of the glass within the first 15 metres of height
1. GLASS SPECIFIED TO BE LOW REFLECTIVITY ON LEV. 1-4
2. GLASS FRIT FOR ALL BALCONY RAILINGS ON LEV. 4
3. GLASS FRIT FOR ALL BALCONY RAILINGS ON ROOF TERRACE LEVELS

4	21.07.23	ISSUED FOR S.P.A RESUB. NO.1
3	21.04.30	ISSUED FOR S.P.A
2	20.07.24	ISSUED FOR REZONING - REV 3
1	19.02.20	ISSUED FOR REZONING

no. date revision
It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.
Do not scale drawings.
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Hobin Architecture
Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 238 7200
F: 613 235 2005
E: mail@hobin.com
hobin.com

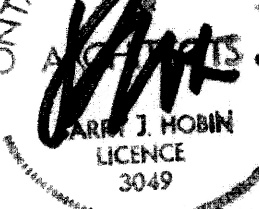


HOBIN
ARCHITECTURE

PROJECT LOCATION:
100 BAYSHORE LOT "B"
WOODRIDGE CRESCENT
DRAWING TITLE:
ELEVATIONS

DRAWN BY: DATE: SCALE:
PB 18.12.20 1:200

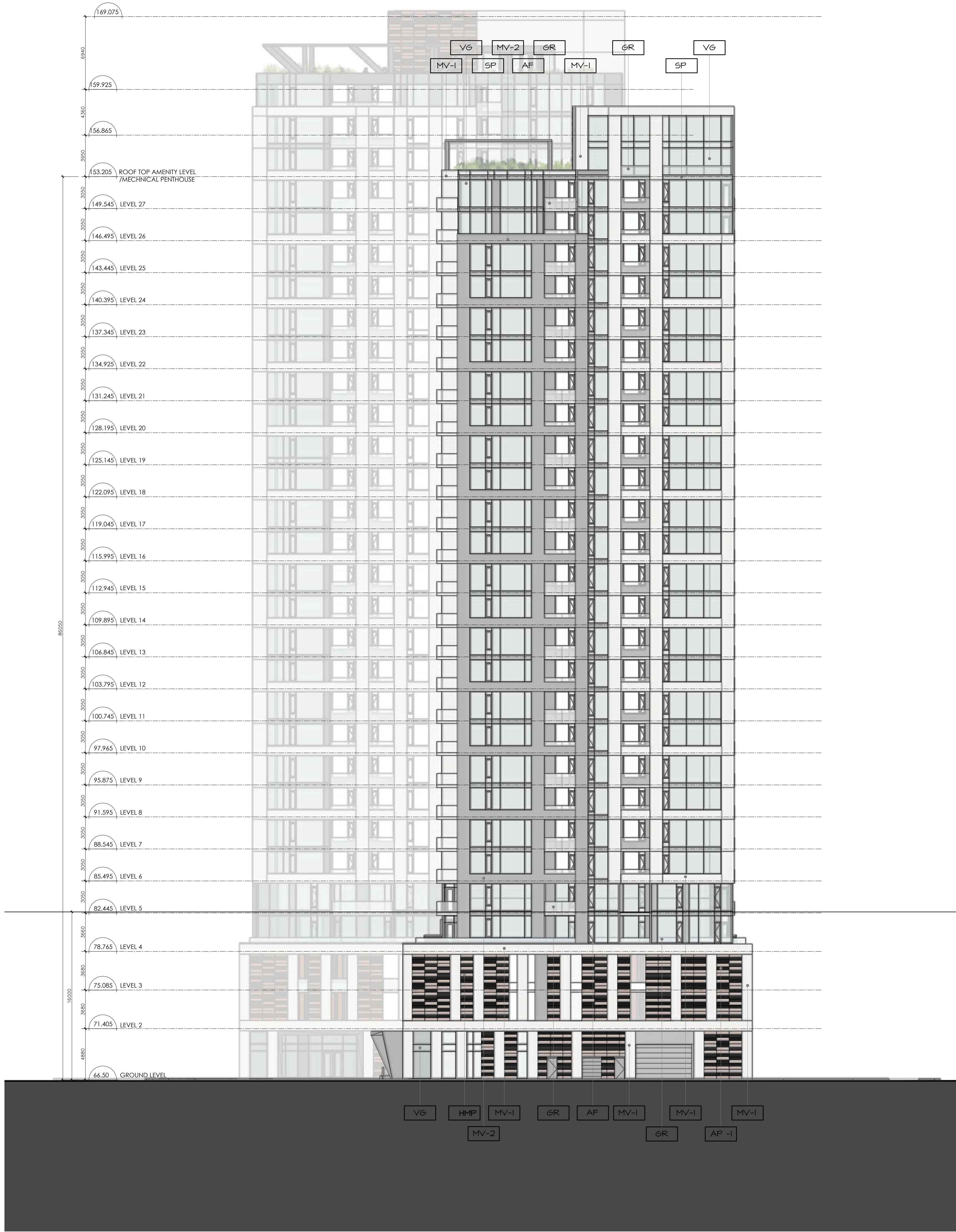
PROJECT: DRAWING NO.:
1837



ONTARIO ASSOCIATION OF ARCHITECTS
JAN 1 HOAN
LICENCE
3049

A 3.03

REVISION NO.:
18477



1 WEST ELEVATION - WEST TOWER
A3.03 1:200



2 EAST ELEVATION - WEST TOWER
A3.03 1:200

PROJECT TEAM

ARCHITECT
 HOBIN ARCHITECTURE
 PATRICK BESON
 613.238.7200

PLANNING
 QP PLANNING & DESIGN
 CHRISTINE MACLEAG
 T 613.850.8345

CIVIL
 WSP
 STEPHEN MACCAUGHY
 613.690.3955

LANDSCAPE ARCHITECT
 LASHLEY & ASSOCIATES CORPORATION
 RIC CARREON
 T 613.235.8579 X102

TRANSPORTATION
 BI GROUP
 DAVID HOOK
 613.225.1311 ext: 64029

ENVIRONMENTAL
 GRADIENT WIND ENGINEERING
 JOSUA FOSTER
 613.836.0634

no.	date	revision
1	21.07.23	S.P.A. RESUBMISSION #1

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Hobin Architecture Incorporated
 63 Pamela Street
 Ottawa, Ontario
 Canada K1S 9K7
 T: 613-238-7200
 F: 613-235-2005
 E: mail@hobinarc.com
 hobinarc.com



PROJECT LOCATION:
 100 BAYSHORE LOT "B"

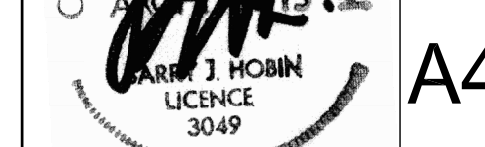
WOODRIDGE CRESENT

DRAWING TITLE:
 PRELIMINARY
 BUILDING SECTIONS

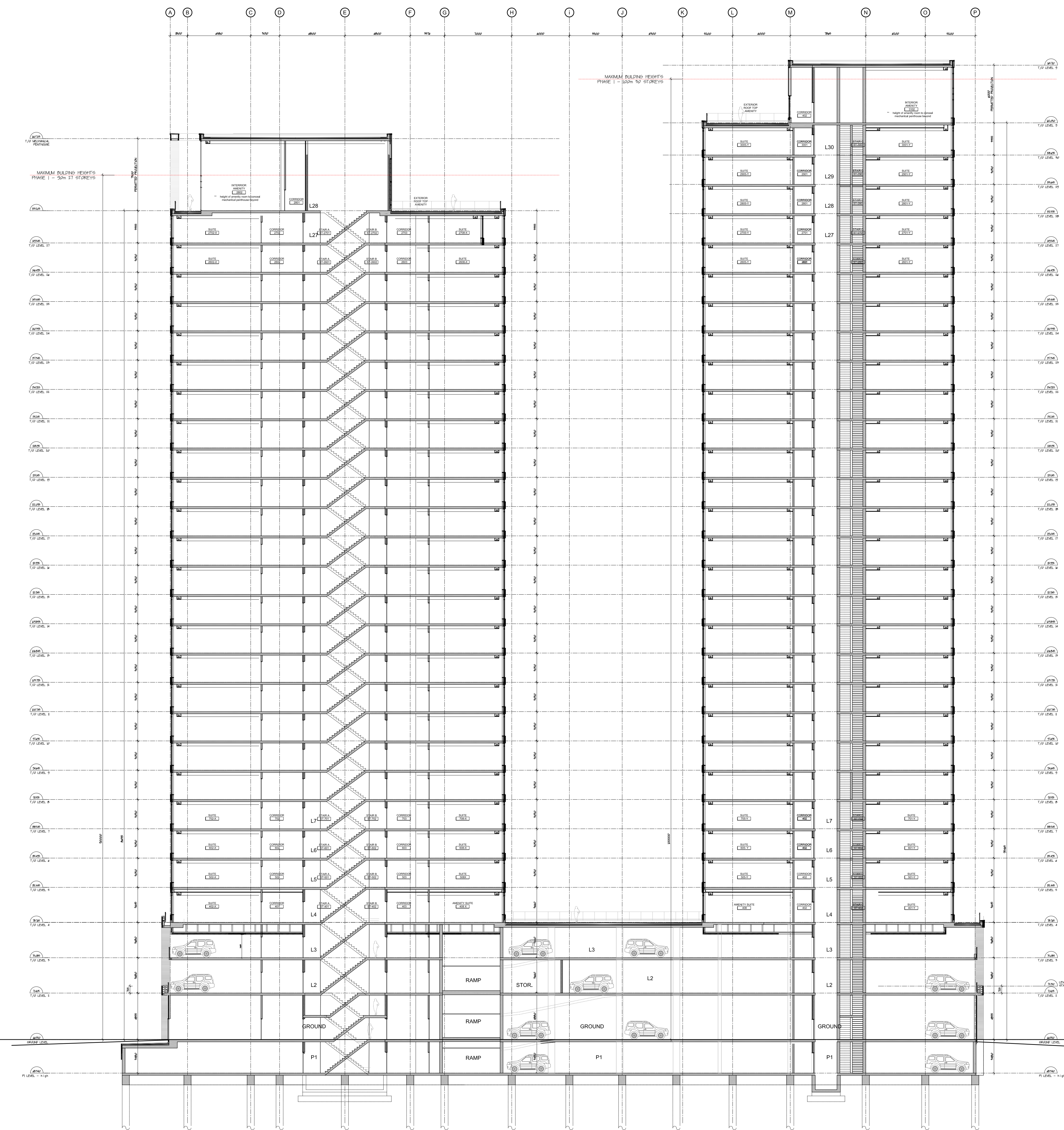
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PROJECT:
 1837

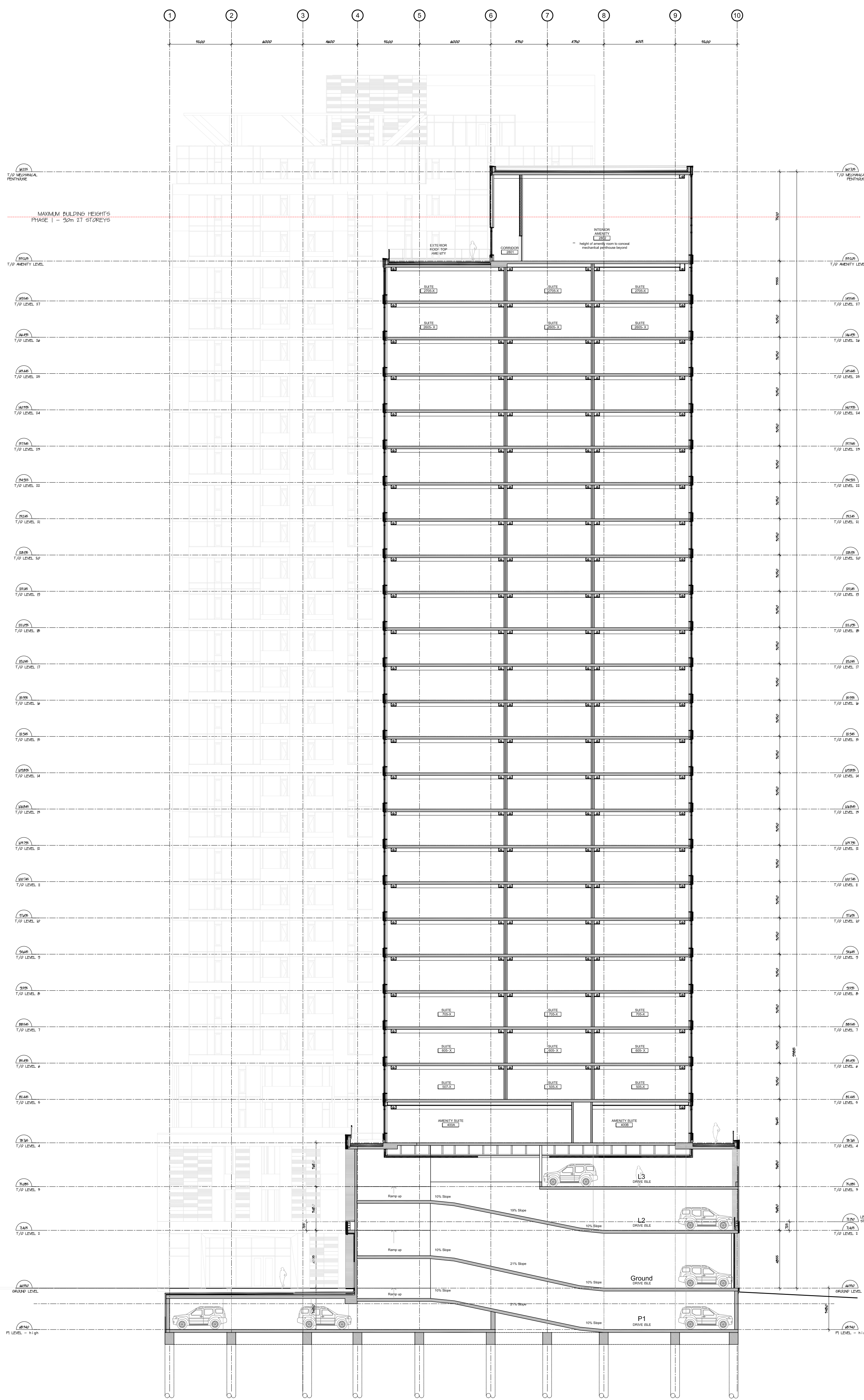
DRAWING NO.:
 A4.00



REVISION NO.:
 # 18477



BUILDING SECTION AA
 1/200



BUILDING SECTION BB
 1/200