

SCALE 1 : 200

NOTE: ALL EXISTING SITE INFORMATION AS PER TOPOGRAPHICAL SURVEY PLAN DATED MAY 15th, 2021 PREPARED BY FARLEY SMITH & DENIS SURVEYING LTD.

PART OF BLOCKS A AND I REGISTERED PLAN 465465 CITY OF OTTAWA FARLEY SMITH & DENIS SURVEYING LTD, 2021

**PROPOSED SITE PLAN**

**ZONING NOTES:**

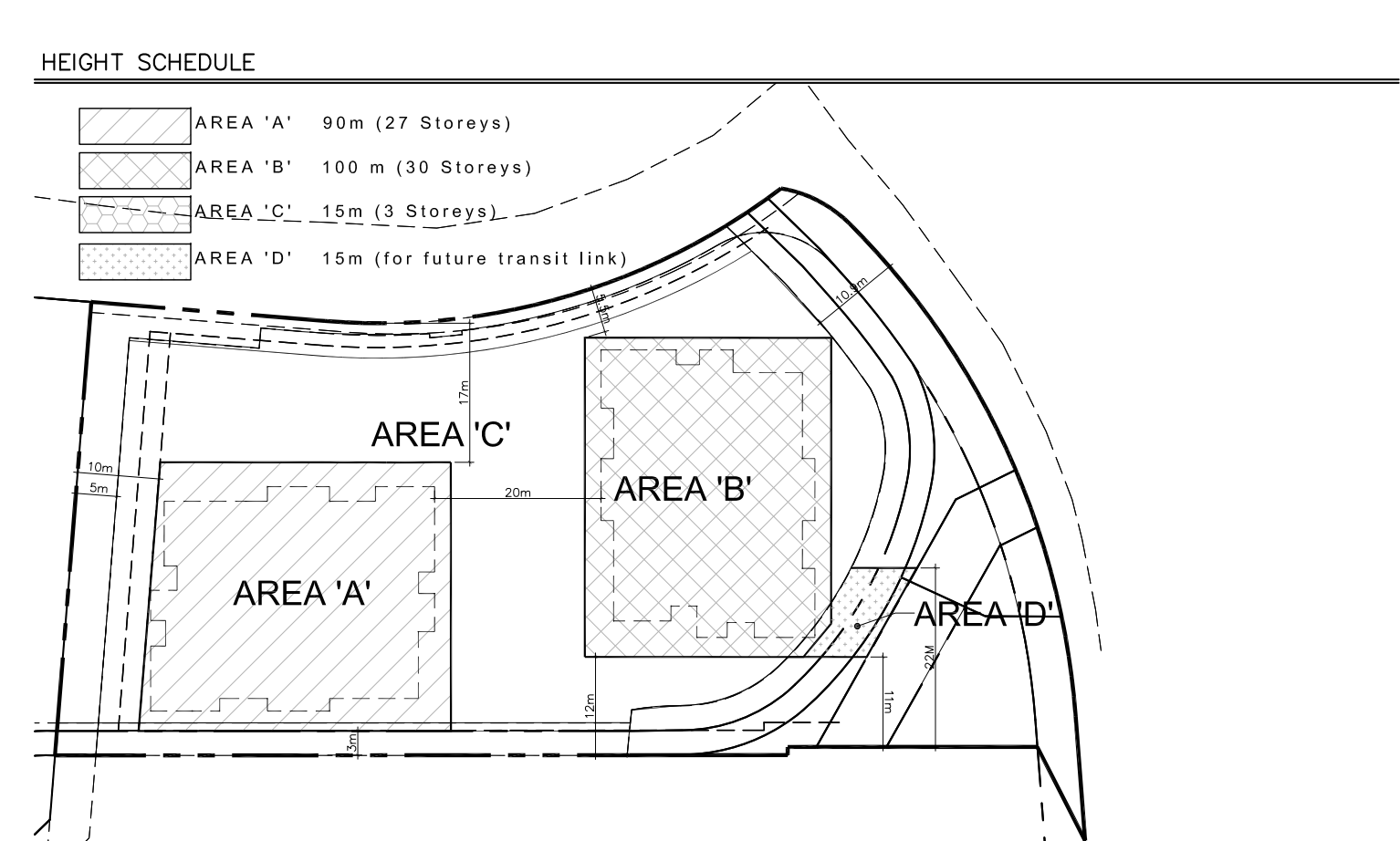
CURRENT ZONING: GMF (199) H(34)  
PROPOSED ZONING: TBD

TOTAL DEVELOPMENT STATS	PROPOSED
LOT OF AREA	6,743 m <sup>2</sup>
LOT WIDTH	127 m IRREGULAR
LOT DEPTH	56 m IRREGULAR
SETBACK ALONG WOODRIDGE	4.2 m
SETBACK ALONG SOUTH SIDE	3 m
SIDEYARD SETBACK - WEST SIDE	8 m
CORNER SIDEYARD SETBACK - EAST SIDE	11 m
MAXIMUM HEIGHT	100 m
MAX NUMBER OF STOREYS	30
TOTAL BUILDING AREA	2,938 m <sup>2</sup>
TOTAL UNITS	552 UNITS
TOTAL PARKING SPACES (INTERIOR + SURFACE PARKING)	270 SPACES
TOTAL TOTAL RES. PARKING SPACES (0.38/UNIT)	214 SPACES
TOTAL TOTAL VISITOR PARKING SPACES (0.17/UNIT)	56 SPACES
TOTAL BICYCLE PARKING SPACES (0.5/UNIT) (15 exterior + 267 interior)	282 SPACES

**ZONING NOTES:**

WEST PHASE - DEVELOPMENT STATS	PROPOSED
NUMBER OF STOREYS	27
TOTAL UNITS	259
SETBACK ALONG WOODRIDGE	16.9 m to nearest
SETBACK ALONG SOUTH SIDE	1.2 m
SIDEYARD SETBACK - WEST SIDE	8 m
SIDEYARD SETBACK ABOVE PODIUM - WEST SIDE	10 m
MAXIMUM HEIGHT	90 m
NUMBER OF STOREYS	27
TOTAL GROSS FLOOR AREA (city def.)	16,595 m <sup>2</sup>
TYP. FLOOR GROSS FLOOR AREA (city def.)	725 m <sup>2</sup>

EAST PHASE - DEVELOPMENT STATS	PROPOSED
NUMBER OF STOREYS	30
TOTAL UNITS	293
SETBACK ALONG WOODRIDGE	4.8 m to nearest
SETBACK ALONG SOUTH SIDE	VARIES m
SIDEYARD SETBACK	N/A m
CORNER SIDEYARD SETBACK - EAST SIDE	11 m
MAXIMUM HEIGHT	100 m
NUMBER OF STOREYS	30
TOTAL GROSS FLOOR AREA (city def.)	17,397 m <sup>2</sup>
TYP. FLOOR GROSS FLOOR AREA (city def.)	725 m <sup>2</sup>



**PARKING REQUIREMENTS**

1. PARKING REQUIREMENTS	PROVIDED VEHICLE PARKING
LAND USE	214 RESIDENTIAL PARKING SPACES PROVIDED FOR 552 UNITS (0.38/UNIT)
APARTMENT	* LOCATED IN UNDERGROUND PARKING GARAGE AND PARKING PODIUM
2. REQUIRED VISITOR PARKING	PROVIDED VISITOR PARKING
LAND USE	56 VISITOR PARKING SPACES PROVIDED FOR 552 UNITS
APARTMENT	* 6 LOCATED @ GRADE & 50 PROVIDED IN PARKING GARAGE
TOTAL PARKING PROVIDED FOR PHASE 1	270 TOTAL PARKING SPACES 264 INTERIOR
3. BICYCLE PARKING	
3.1 REQUIRED BICYCLE PARKING SPACES	RESIDENTIAL (0.5 SPACE/UNIT = 272 SPACES REQUIRED)
3.2 PROVIDED BICYCLE PARKING	136
	PI level 57 spaces
	Ground 116 interior spaces + 15 exterior spaces
	Level 2 92 spaces
TOTAL	282 spaces
4. AMENITY SPACE REQUIREMENTS	
REQUIRED AMENITY SPACE	6 m <sup>2</sup> REQUIRED PER UNIT
552 UNITS X 6 SQ.M. = 3,312 SQ.M. TOTAL AMENITY REQUIRED	
REQUIRED AMENITY SPACE TO BE COMMON	1656 SQ.M.
PROVIDED COMMON AMENITY SPACE	1656 SQ.M.



**PROJECT TEAM**

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no.	date	revision
8	21.12.17	ISSUED FOR S.P.A. RESUB #3
7	21.06.17	ISSUED FOR S.P.A. RESUB #2
6	21.07.23	ISSUED FOR S.P.A. RESUB #1
5	21.04.30	ISSUED FOR S.P.A.
4	20.07.24	RE-ISSUED FOR REZONING
3	20.06.04	RE-ISSUED FOR REZONING
2	20.03.30	RE-ISSUED FOR REZONING
1	19.02.20	ISSUED FOR REZONING

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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**HOBIN ARCHITECTURE**

**PROJECT LOCATION:**  
100 BAYSHORE LOT "B"

WOODRIDGE CRESCENT

**DRAWING TITLE:**  
SITE PLAN

**DRAWN BY:** DATE: SCALE:  
PB 18.12.20 1:200

**PROJECT:** 1837  
**DRAWING NO.:** A1.00  
**REVISION NO.:** 18477