

**319 Huntmar Drive
Kanata, Ontario**

Urban Design Brief

Prepared by IBI Group and Kohn Partnership Architects Inc.
May 2021



Kohn



Urban Design Brief 2021 | 319 Huntmar Drive

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1 Application Submission

Introduction

This Design Brief has been prepared by IBI Group and Kohn Partnership Architects Inc. on behalf of The Burroughs Kanata LP, for the proposed development at 319 Huntmar Drive (formerly 8555 Campeau Drive). The subject property is legally described as Block 2, Registered Plan 4M-1554, Geographic Township of Huntley, now in the City of Ottawa.



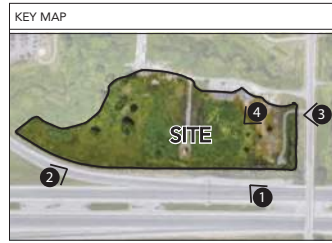
The purpose of this Design Brief is to provide a description of how the proposed development meets applicable urban design objectives in relation to a Site Plan Application. The Site Plan Application process will review the proposed residential development in the context of Kanata, applicable zoning provisions and ensure that a high level of urban design is achieved.

Location and Site Context

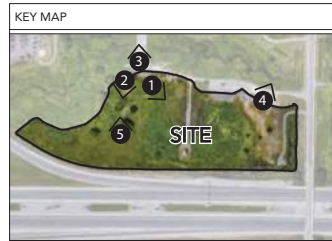
The subject property is located at the northwest corner of Highway 417 and Huntmar Drive in Kanata. Due to the property's prominent location beside Highway 417 and in close proximity to the Tanger Outlet Mall, the property is a gateway site in Kanata and Ottawa area. The overall vision and goal for this proposal is to create a vibrant and thriving community, offering elevated living opportunities at market rental prices and immediate access to on and off-site amenities and natural green spaces. Thoughtful expressions of architecture, community amenities and landscaping work together harmoniously to foster a strong sense of place and feelings of belonging for residents and visitors alike.



Site Street Views

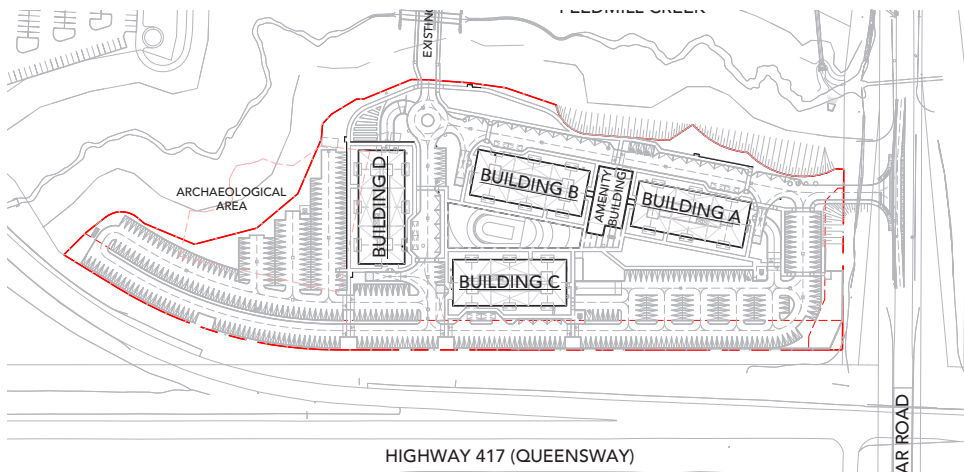


Site Internal Views



Development Proposal

The development proposal includes the construction of four, nine-storey mid-rise apartment buildings, each with 106 units, for a total of 424 units as well as an amenity building for the use of the residents. The remainder of the site is to be developed with a balance of both active and passive amenity areas, as well as surface parking and drive aisles. One level of underground parking is proposed under each of the apartment and amenity building. The primary access to the property is via Huntmar Drive. An internal private drive aisle network provides vehicular access throughout the site, to and from Huntmar Drive and Tanger Outlets Ottawa.



2 Response to City Documents

City of Ottawa Official Plan

The subject lands are designated “Mixed Use Centre” in the City of Ottawa Official Plan and the applicable policies are provided in Section 3.6.2 of the Plan. The Mixed Use designation applies to lands in strategic locations in proximity to the rapid-transit network and are central hubs of activity within the surrounding community and Ottawa overall. Mixed Use Centres have the potential to achieve higher densities of compact and mixed-use development which is oriented to transit. The development of vacant land provides an opportunity for the development of a transit oriented community. In addition to achieving higher densities and transit-oriented development, mixed use centres should encourage a design environment that fosters walking and cycling as attractive options, and where transit can be accessed easily. The community is designed with future transit nodes in mind, and opportunities to tie-in with additional expansions.



Within the Mixed Use Centre designation, a broad range of land uses at transit-supportive densities are permitted, such as: offices, schools, hotels, hospitals, large institutional buildings, community facilities, retail, entertainment uses, services, high and medium density residential use and mixed-use development containing a combination of uses.

The proposed development addresses the applicable policies in Section 3.6.2 Mixed Use Centres of the Official Plan, as it includes a medium density residential use in proximity to an existing retail shopping centre, with excellent pedestrian connections to the shopping centre and Huntmar Road, high standard of amenity areas, and respect for the natural environment of the Feedmill Creek corridor adjacent to the property. The four, nine-storey buildings being proposed, are appropriate given the subject property context abutting Highway 417 to the south and the Tanger Outlet Mall to the north. There are opportunities for connection to the area’s greenspace and natural environment network,

including the Carp River corridor which can be accessed via the extension of Campeau Drive (currently under construction). Despite the long-term plans for an LRT Station on Huntmar Drive, south of Highway 417 within the Transportation Master Plan and draft Official Plan, the reduced parking rates typically associated with development near transit are not applicable to this property, and the Area C – Suburban parking rates apply to the site, as per Schedule 1A.

As per Section 2.5.1 – Designing Ottawa, of the Official Plan, Mixed Use Centres are designated as Design Priority Areas. In Design Priority Areas, all private developments adjacent to the public realm are reviewed for their contribution to an enhanced pedestrian environment and their response to the community character and opportunities of the area. A pre-consultation meeting was held with the Urban Design Review Panel on February 5, 2021. Comments were received, and a number of revisions were made to the site plan in an effort to address the Panel’s fundamental observations and comments. Section 2.5.1 of the Official Plan also encourages good urban design and innovative architecture to stimulate the development of community places with unique character, that are attractive for people to live, work and socialize. Generally, design review will include built form, open spaces and infrastructure.

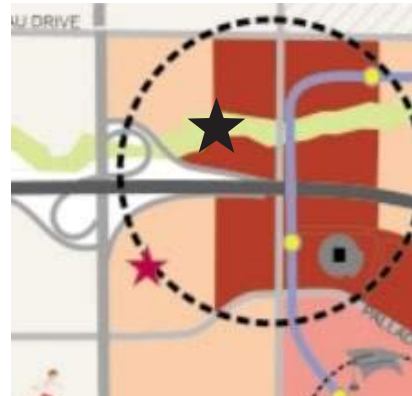
Official Plan Design Objectives

1. To enhance the sense of community by creating and maintaining places with their own distinct identity.
2. To define quality public and private spaces through development.
3. To create places that are safe, accessible and are easy to get to, and move through.
4. To ensure that new development respects the character of existing areas.
5. To consider adaptability and diversity by creating places that can adapt and evolve easily over time and that are characterized by variety and choice.
6. To understand and respect natural processes and features in development design.
7. To maximize energy-efficiency and promote sustainable design to reduce the resource consumption, energy use, and carbon footprint of the built environment.

Section 4.11 of the Official Plan contains policies on Urban Design and Compatibility. The purpose of the policies in the section is to lay the groundwork for requiring high quality urban design. The design and compatibility of a development application is evaluated at the time of application in the context of these policies, as well as the design objectives in Section 2.5.1.

Kanata West Concept Plan

The Kanata West Concept Plan (KWCP) was prepared in 2002 for lands that were brought into the Urban Boundary in 2000 and provides a framework to guide future development in Kanata West. The subject property is within the High Profile Employment, Entertainment & Leisure Hub land use district and is adjacent to the River/Creek Corridors district. As per Section 3.2.1 of the KWCP, the High Profile Employment, Entertainment & Leisure Hub district is in close proximity to the Core Centre (now known as the Canadian Tire Centre) at the intersection of Highway 417 and Huntmar Drive, which will be bisected by a future transitway corridor. A variety of uses are recommended within the district, including leisure and entertainment uses, retail and theme/specialty commercial and apartments. The KWCP intends that the highest intensity uses, such as office, hotels and apartments be located at Highway 417 and Huntmar Drive intersection in order to create a visual gateway to the area.



The Design Guidelines for the Employment, Entertainment and Leisure District recommends design elements including semi-public spaces such as: plazas and courts; the inclusion of paths along Feedmill Creek, connected by a pedestrian bridge crossing the ravine; pedestrian accommodation through the provision of continuous sidewalks, tree plantings, and appropriate lighting; defined street corners by bringing buildings up to the lot line and landscaping the area in between buildings.

The established street pattern provides access to Huntmar Drive and a connection to Tanger Outlets Ottawa. The internal site drive aisle pattern generally proposes a perimeter layout for easy wayfinding. An interior courtyard amenity area is proposed, in addition to pathways along Feedmill Creek. There are sidewalks proposed around all buildings, with clear connections to parking areas, landscaped areas, and Tanger Outlets Ottawa. The extensive tree planting

within parking lot medians, and within landscaped areas adjacent to the buildings, framing the internal road network and creating a green canopy while softening the site with a soft landscaped buffer.

The Kanata West Concept Plan is implemented by the Kanata West Secondary Plan, which provides direction on the Maximum Permitted Building Heights. The subject property has a maximum permitted building height of 15 storeys. The proposed buildings are 9 storeys each.

City of Ottawa Transit-Oriented Design Guidelines

The Transit-Oriented Design Guidelines were approved by Council in 2007 and apply to development in Mixed Use Centres to achieve well-designed, context-sensitive development applications. It is noted that there is presently no pedestrian connection available from the property to the Bus Rapid Transit Station at the Canadian Tire Centre, as the Huntmar Drive overpass only provides two lanes of vehicular travel at this time.

According to the draft 2020 Official Plan Schedules, a Future O-Train station is planned for Huntmar Drive, adjacent to the Canadian Tire Centre which is identified as a transforming neighbourhood and a Protected Major Transit Station Area. Although the location is on the south side of the 417, there are also plans to upgrade the Huntmar Drive overpass to provide a more functional access to the transit station.

Although the precise timelines for these public transit service improvements are undetermined, they speak to the vision for this area of Kanata which includes enhanced public transportation service and viable alternatives to dependency on personal vehicles. The proposed development at The Burroughs Kanata will be a thriving community of likely over 500 people, and the use of personal vehicles will reduce over time, as additional public transit options become available.

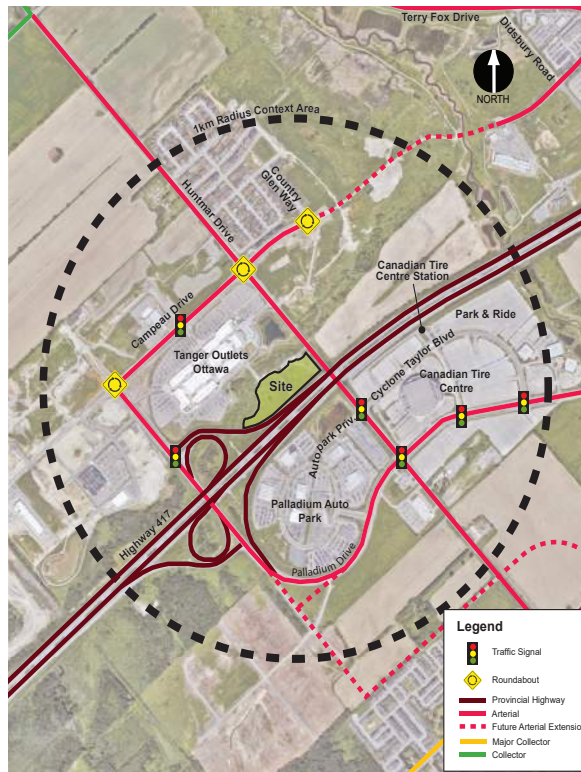
There are a number of proposed transportation demand management measures that will be included in The Burroughs Kanata development plans, to maximize support for users of active and public transportation while decreasing the dependency on personal vehicle usage and demand for parking. Proposed TDM measures include an on-site program coordinator, car-sharing spaces, potential car-sharing program, parking to be leased separate from residential units, and displays in common areas to provide information on transit schedules and route maps, local area maps with walking/cycling access routes and key destinations in the area.

3 Context Plan

The subject property is a vacant parcel of land, situated south of Tanger Outlets Ottawa. The site is bound by Feedmill Creek on the north and west sides and connected to the Tanger Outlets Ottawa property via a two-way vehicular and pedestrian overpass. Highway 417 abuts the property along the southern property limit. Due to its proximity to the Highway and the Tanger Outlet Mall, the property is prominent in the Kanata landscape and a well-known location in the community. In the past number of years, there has been significant commercial and residential development in the area.

The nearest OC Transpo bus stop is located on Campeau Drive at Journeyman Street, on both westbound and eastbound lanes. The bus stops on Campeau Drive at Journeyman Street are approximately 500 m distance away, which is an approximately 7 min walk, across the bridge to Tanger Outlets Ottawa through the pedestrian mall to the north side of the mall, and along sidewalks to the bus stop.

The extension of Campeau Drive is intended to be completed later this year, which will provide direct access between the Tanger Outlet Mall and Kanata Centrum Shopping Centre. Although not confirmed, it is possible that OC Transpo may adjust their bus routes to make the connection between Tanger and Centrum. The Campeau Drive roadway cross-section includes pedestrian sidewalks and bicycle lanes on both sides of the road. In addition to providing access to amenities located within Kanata Centrum, Campeau Drive also connects to the pathway network adjacent to the Carp River from Richardson Side Road, along Terry Fox Drive and back to Campeau Drive.



4 Design Proposal

Massing and Scale

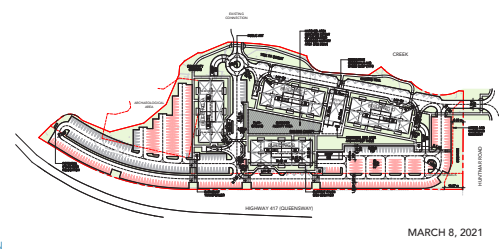
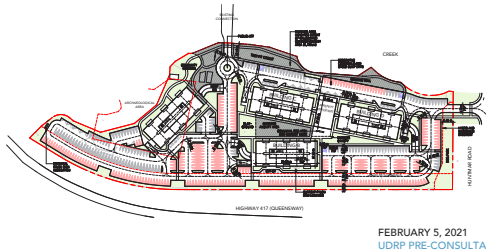
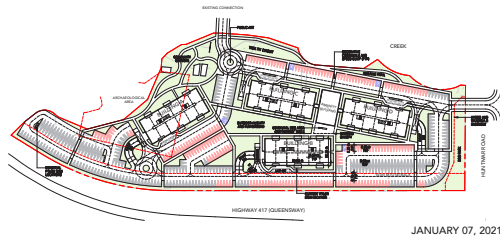
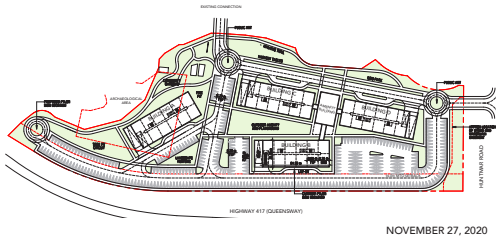
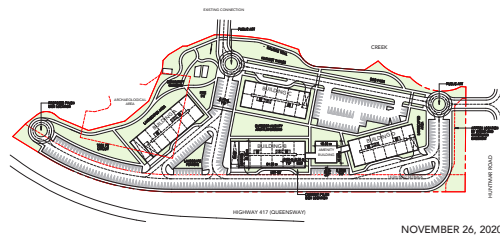
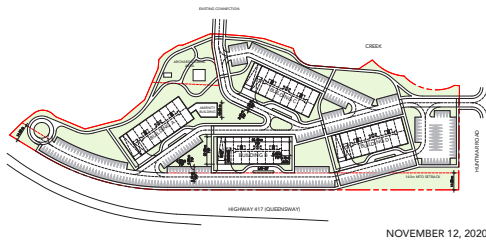
The project presents four, nine-storey, mid-rise residential apartment buildings and a 1-storey amenity building framing a courtyard amenity area, with additional perimeter landscaped areas. The scale of the proposed development is proportionate to the size of the property. Given that there are no abutting residential properties, the massing and scale of the proposed development is appropriate for its location.



Multiple site plan and massing options were explored as part of the preliminary design process and in response to comments received from City Staff and the Urban Design Review Panel. Through the iterative process, a more coherent order of buildings and site elements began to manifest itself. Massing that previously appeared scattered was reorganized to help better define the street edge and enhance the public realm, while also establishing a centralized, communal heart to the site. Surface parking was relocated to the periphery, where possible, in order to increase and improve pedestrian connections and safety. Green space was maximized in areas where residents and visitors will benefit from it most, including the central courtyard space, community gardens, walking trails adjacent to the creek, and dog park to the east. Through careful massing redistribution and building citing, the current site plan creates opportunities for gathering and shared experiences, helping to foster a sense of community and place.



Alternate Site Plans



Public Realm

The project aims to create, complete, and enhance pedestrian connections throughout and adjacent to the site. A hierarchy of pedestrian walkways and paths have been proposed, linking various buildings and outdoor spaces together, while providing opportunities for activity and gathering. The buildings have been sited to frame a central amenity area that acts as the heart of the development and provides access to both passive and active-use spaces. The exterior is distinguished through changes of materiality, colour, and texture, responding directly and sensitively to the pedestrian scale.



Landscaped buffers containing diverse species of trees and low planting, along with pedestrian scale lighting, line the boulevards and pathways, providing safe and attractive walking options for residents and visitors. The site provides for the integration of public art in multiple locations, including at the roundabout which connects vehicular and pedestrian traffic to the Tanger Outlets Ottawa property and potentially into the acoustic barriers and berms that flank the central courtyard space. The proposed development also includes multi-use green space, community gardens, a play area, outdoor exercise area, a barbeque area and a dog park.

Building Design

Together and singularly, these buildings establish a strong presence on site and in full view of Highway 417. The total precast structural and cladding systems being proposed present unique design opportunities that require careful consideration of the articulation of each building façade. Building A, B, and the Amenity Building, front the main internal roadway and act as anchor buildings to the broader development. These buildings present a public face towards the main street through multiple undulations of colour and pattern, and a more private face towards the internal outdoor amenity area through a lowered base and quieter expressions of materiality and tone. The aesthetic variety is created in elevation through nuanced articulation of each structural bay and precast panel. The inclusion of a detailed order of reveals, along with window wall systems at the shoulders of each building, create depth and shadow lines along the façade, adding visual interest and variety to the building massing at appropriate scales regardless of vantage point. The Amenity Building acts as a central destination point for the site, and is distinguished via the double-height entrance vestibule fronting the street and an open-air structural canopy at the rear - which frames a communal barbeque area below. The canopy structure contains exposed steel beams infilled with composite wood purlins, resulting in playful shadow patterns during the day and presenting unique lighting opportunities at night.



Sustainability

The site and buildings have been designed with environmental sustainability in mind, and with the aim of creating a highly walkable, transit-supportive community that encourages pedestrian movement throughout. An oversupply of short-term bicycle parking has been provided at grade, along with electric vehicle charging to reduce fuel consumption and promote the use of renewable energies. The site also offers a community garden area to facilitate local food growth, and create a vibrant space for resident interaction. Buildings will be constructed to be energy efficient, and have been designed with low-e glazing to minimize heating and cooling loads. Lower reflectance glazing will also be provided as a bird-friendly measure to avoid attracting birds and reduce the potential for collisions along the building perimeter. The development includes a higher ratio of trees compared to typical development and utilizes a type of exterior light fixtures to light public spaces which will reduce light pollution. As leaders in high-performance housing in residential construction, innovation and sustainability are at the forefront of our developments.



5 Appendices

Site Plan
Underground Parking Plans
Floor Plans
Elevations
Overall Building Sections
Perspective Views
Landscape Plan
Landscape Concept Plan
Servicing Plan

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THE BURROUGHS KANATA
(ISSUED FOR SPA)

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|--|--|---|--|---|
| DEVELOPER / OWNER: BLEVINS DEVELOPMENT LTD. 485 PINEBUSH ROAD, SUITE 204 CAMBRIDGE, ONTARIO N1T 0A6 T: 519-658-6656 | ARCHITECTURAL CONSULTANT: KOHIN PARTNERSHIP ARCHITECTS INC. 116 SPADINA AVENUE, SUITE 501 TORONTO, ONTARIO M5V 2K6 T: 416-703-6700 | PLANNING / LANDSCAPE CONSULTANT: IBI GROUP 410 ALBERT STREET, SUITE 101 WATERLOO, ONTARIO N2L 3Y3 T: 519-585-2255 | CIVIL / TRAFFIC CONSULTANT: IBI GROUP 400-333 PRESTON STREET OTTAWA, ONTARIO K1S 5N4 T: 613-225-1311 | GEO / HYDROG / ENVIRO CONSULTANT: PATERSON GROUP 154 COLONNADE ROAD SOUTH OTTAWA, ONTARIO K2E 7J5 T: 613-226-7381 |
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| A0 00 | COVER SHEET | | | | | |
| A1 00 | SITE PLAN AND SITE STATISTICS | | | | | |
| A2 00 | LEVEL 1/F FLOOR PLAN | | | | | |
| A2 01 | LEVEL OVERALL PLAN | | | | | |
| A2 02 | BUILDING A/B LEVEL 1/F FLOOR PLAN | | | | | |
| A2 03 | BUILDING C/D LEVEL 1/F FLOOR PLAN | | | | | |
| A2 04 | BUILDING A/B LEVEL 2/F FLOOR PLAN | | | | | |
| A2 05 | BUILDING A/D MECH PENTHOUSE FLOOR PLAN | | | | | |
| A2 06 | AMENITY BUILDING FLOOR PLANS | | | | | |
| A4 00 | OVERALL ELEVATIONS - BUILDINGS A & B AMENITY | | | | | |
| A4 01 | ELEVATIONS - BUILDINGS A AND B | | | | | |
| A4 02 | ELEVATIONS - BUILDINGS C AND D | | | | | |
| A4 03 | ELEVATIONS - AMENITY BUILDING | | | | | |
| A4 04 | OVERALL BUILDING SECTIONS | | | | | |
| A5 00 | AXONOMETRIC VIEWS | | | | | |
| A5 01 | PERSPECTIVE VIEWS | | | | | |



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OTTAWA ONTARIO
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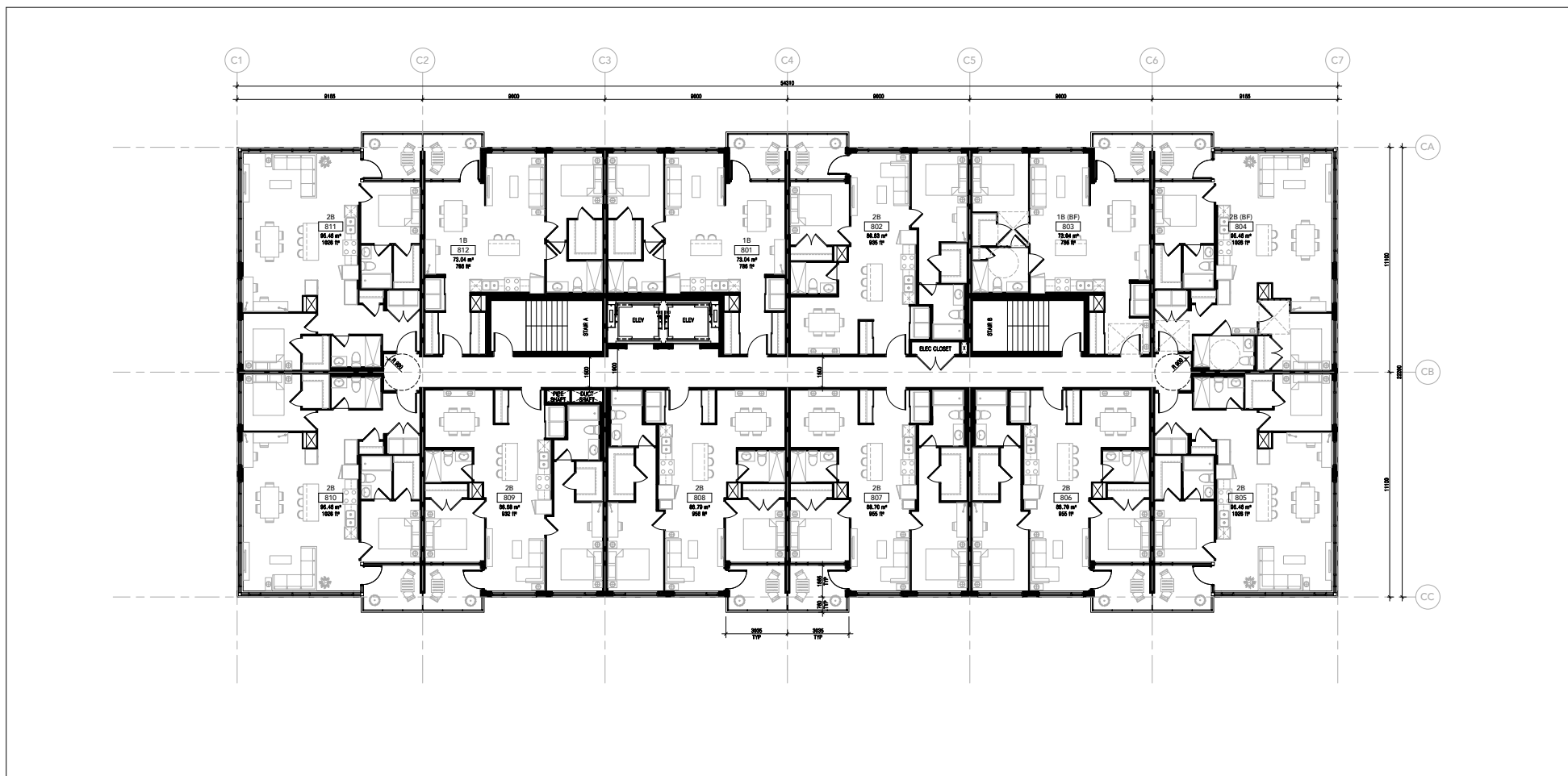
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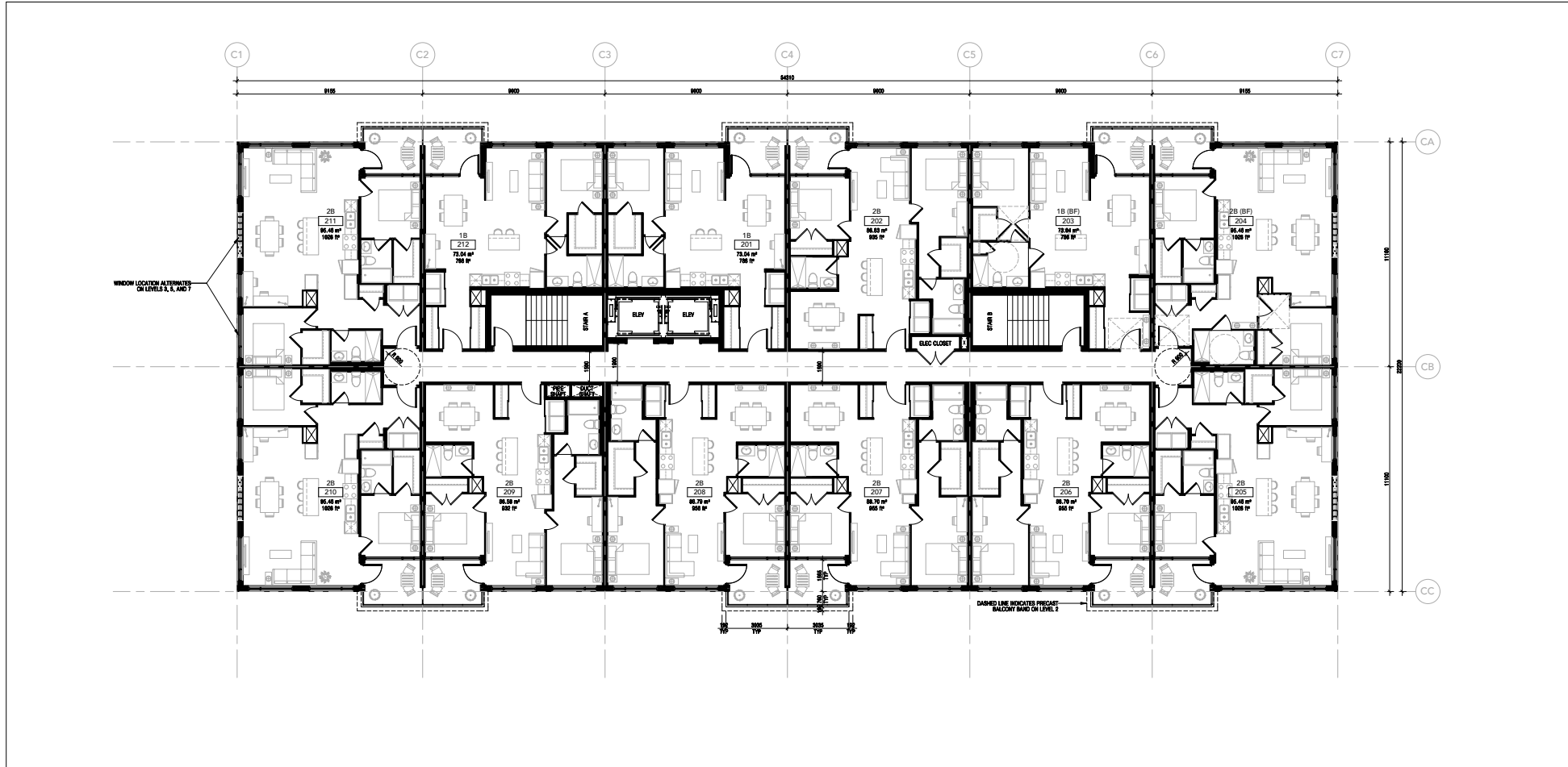
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FLOOR PLAN - LEVEL 8-9
SCALE: 1:100
2 A2.04



FLOOR PLAN - LEVEL 2-7
SCALE: 1:100
1 A2.04

FLOOR PLAN (ABOVE GRADE) LEGEND:

| | |
|--|--|
| | AREA DRAIN (REFER TO MECH. DWGS.) |
| | FLOOR DRAIN (REFER TO MECH. DWGS.) |
| | ROOF DRAIN (REFER TO MECH. DWGS.) |
| | TRENCH DRAIN (REFER TO CIVIL DWGS.) |
| | WALL MOUNTED EXTERIOR LIGHT FIXTURE |
| | WARNING SYSTEM FOR MOTORISTS |
| | AUTO OPERATORS |
| | ELECTRICAL PANEL |
| | CONVEX MIRROR |
| | PAINTED YELLOW LINES (PEDESTRIAN PATHWAYS) |
| | SIAMESE (STANDPIPE) CONNECTION |
| | FIRE HOSE CABINET |
| | STANDPIPE HOSE VALVE CABINET |
| | FIRE EXTINGUISHER CABINET |
| | EXTENTS OF BUILDING ABOVE |
| | BARRIER FREE TURNING RADIUS |

CONSULTANT TEAM

| | |
|---|---------------------------------------|
| ARCHITECTURAL: | Kohn PARTNERSHIP ARCHITECTS INC. |
| PLANNING / LANDSCAPE / CIVIL / TRANSPORTATION: | IBI GROUP |
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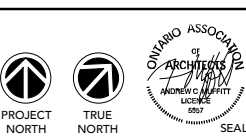
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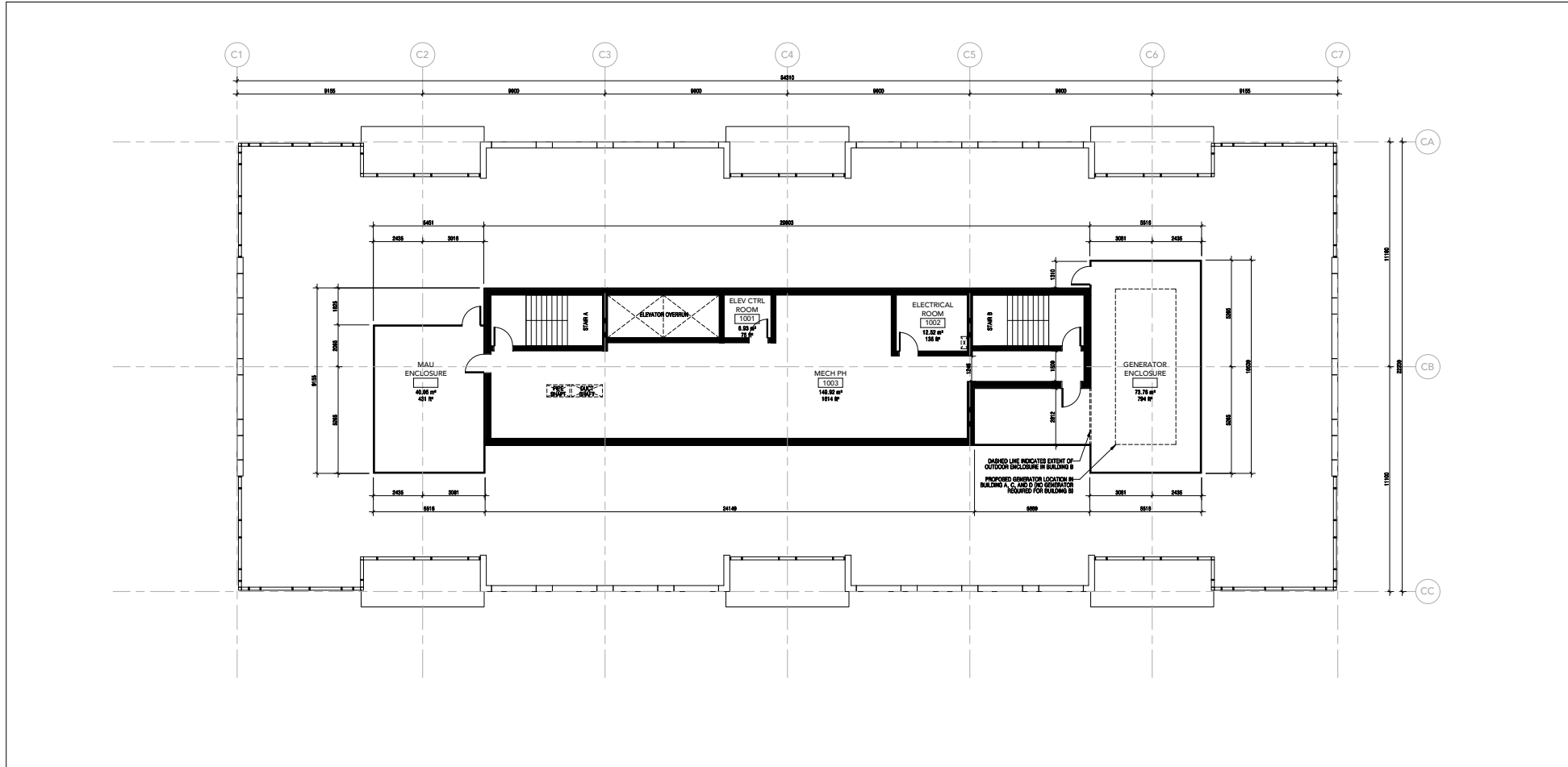
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| FLOOR PLAN (ABOVE GRADE) LEGEND: | |
|----------------------------------|--|
| | AREA DRAIN (REFER TO MECH. DWGS.) |
| | FLOOR DRAIN (REFER TO MECH. DWGS.) |
| | ROOF DRAIN (REFER TO MECH. DWGS.) |
| | TRENCH DRAIN (REFER TO CIVIL DWGS.) |
| | WALL MOUNTED EXTERIOR LIGHT FIXTURE |
| | WARNING SYSTEM FOR MOTORISTS |
| | AUTO OPERATORS |
| | ELECTRICAL PANEL |
| | CONVEX MIRROR |
| | PAINTED YELLOW LINES (PEDESTRIAN PATHWAYS) |
| | SIAMESE (STANDPIPE) CONNECTION |
| | FIRE HOSE CABINET |
| | STANDPIPE HOSE VALVE CABINET |
| | FIRE EXTINGUISHER CABINET |
| | EXTENTS OF BUILDING ABOVE |
| | BARRIER FREE TURNING RADIUS |

| CONSULTANT TEAM | |
|---|---------------------------------------|
| ARCHITECTURAL: | KOHN PARTNERSHIP ARCHITECTS INC. |
| PLANNING / LANDSCAPE / CIVIL / TRANSPORTATION: | BE GROUP |
| GEOTECHNICAL / HYDROGEOLOGICAL / ENVIRONMENTAL: | PATERSON GROUP |
| ENVIRONMENTAL EIS: | MCKINSTER ENVIRONMENTAL PLANNING INC. |
| ARCHAEOLOGICAL: | PAST RECOVERY |
| ACOUSTICAL: | BWDI |
| STRUCTURAL: | WSP |
| MECHANICAL / ELECTRICAL: | GOODKEY, WEEDMARK & ASSOCIATES LTD. |



Project: **THE BURROUGHS KANATA**
319 HUNTMAR DRIVE
OTTAWA ONTARIO
Drawing Title: **BUILDING A-D MECH PENTHOUSE FLOOR PLAN**
Project Manager Team: AN 20-148
Date Plotted: 5/14/2021 1:29:04 PM As indicated
Drawing No.: 1 A2.05



FLOOR PLAN - MECHANICAL PENTHOUSE 1 SCALE: 1:100 A2.05

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SOUTH ELEVATION 2
SCALE: 1:150 A4.00



NORTH ELEVATION 1
SCALE: 1:150 A4.00

CONSULTANT TEAM

| | |
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| ARCHITECTURAL: | KOHN PARTNERSHIP ARCHITECTS INC. |
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| GEOTECHNICAL / HYDROGEOLOGICAL / ENVIRONMENTAL: | PATERSON GROUP |
| ENVIRONMENTAL EIS: | MUNICASTER ENVIRONMENTAL PLANNING INC. |
| ARCHAEOLOGICAL: | PAST RECOVERY |
| ACOUSTICAL: | BWDI |
| STRUCTURAL: | WSP |
| MECHANICAL / ELECTRICAL: | GOODKEY, WEEDMARK & ASSOCIATES LTD. |



Project: **THE BURROUGHS KANATA**
THE BURROUGHS KANATA LP.
319 HUNTMAR DRIVE
OTTAWA ONTARIO
Drawing Title: **OVERALL ELEVATIONS - BUILDINGS A, B, AMENITY**
Project Manager: Team Project No: 20-148
AN Scale: 1:150
Date Plotted: 5/14/2021 12:32:51 PM Drawing No.: 1

A4 00

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WEST ELEVATION 4
 SCALE: 1:100 A4 01



SOUTH ELEVATION 2
 SCALE: 1:100 A4 01



EAST ELEVATION 3
 SCALE: 1:100 A4 01



NORTH ELEVATION 1
 SCALE: 1:100 A4 01

MATERIAL LEGEND

| | |
|----------|--|
| [Symbol] | PRECAST CONCRETE (2134-30 IRON MOUNTAIN, TEXTURED) |
| [Symbol] | PRECAST CONCRETE (HC-105 ROCKPORT GRAY, TEXTURED) |
| [Symbol] | PRECAST CONCRETE (HC-105 ROCKPORT GRAY, SMOOTH) |
| [Symbol] | PRECAST CONCRETE (DC-28 COLLINGWOOD, SMOOTH) |
| [Symbol] | ACM CANOPY W/ WOOD GRAIN SOFFIT |
| [Symbol] | ALUMINUM WINDOW WALL W/ CHARCOAL MULLIONS |
| [Symbol] | ALUMINUM WINDOW WALL W/ GRAY MULLIONS |
| [Symbol] | LOW-E VISION GLASS IN WINDOW WALL (SOLARBAN 72) |
| [Symbol] | SPANDREL GLASS IN WINDOW WALL (COLOUR: GRAY) |
| [Symbol] | METAL LOUVERS IN WINDOW WALL (COLOUR: GRAY) |
| [Symbol] | GLASS BALCONY/PATIO GUARD |
| [Symbol] | PAINTED SLAB EDGE (COLOUR: OFF-WHITE) |
| [Symbol] | WOOD GRAIN PRIVACY SCREEN |
| [Symbol] | ACM PANEL/SCREEN W/ VERTICAL JOINTS |
| [Symbol] | HSS OPEN ROOF STRUCTURE W/ WOOD PURLINS |

CONSULTANT TEAM

| | |
|---|---------------------------------------|
| ARCHITECTURAL: | KOHN PARTNERSHIP ARCHITECTS INC. |
| PLANNING / LANDSCAPE / CIVIL / TRANSPORTATION: | BE GROUP |
| GEOTECHNICAL / HYDROGEOLOGICAL / ENVIRONMENTAL: | PATERSON GROUP |
| ENVIRONMENTAL EIS: | MUNCASTER ENVIRONMENTAL PLANNING INC. |
| ARCHAEOLOGICAL: | PAST RECOVERY |
| ACOUSTICAL: | BWDI |
| STRUCTURAL: | WSP |
| MECHANICAL / ELECTRICAL: | GOODKEY, WEEDMARK & ASSOCIATES LTD. |



Project: **THE BURROUGHS KANATA**
 THE BURROUGHS KANATA LP.
 319 HUNTMAR DRIVE
 OTTAWA ONTARIO
 Drawing Title: **ELEVATIONS - BUILDINGS A AND B**
 Project Manager Team: AN
 Date Plotted: 5/14/2021 12:33:49 PM
 Project No: 20-148
 Scale: As indicated
 Drawing No: A4 01

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EAST ELEVATION 4
SCALE: 1:100 A4 02



NORTH ELEVATION 2
SCALE: 1:100 A4 02



WEST ELEVATION 3
SCALE: 1:100 A4 02



SOUTH ELEVATION 1
SCALE: 1:100 A4 02

MATERIAL LEGEND

- [Symbol] PRECAST CONCRETE (2134-30 IRON MOUNTAIN, TEXTURED)
- [Symbol] PRECAST CONCRETE (HC-105 ROCKPORT GRAY, TEXTURED)
- [Symbol] PRECAST CONCRETE (HC-105 ROCKPORT GRAY, SMOOTH)
- [Symbol] PRECAST CONCRETE (DC-28 COLLINGWOOD, SMOOTH)
- [Symbol] ACM CANOPY W/ WOOD GRAIN SOFFIT
- [Symbol] ALUMINUM WINDOW WALL W/ CHARCOAL MULLIONS
- [Symbol] ALUMINUM WINDOW WALL W/ GRAY MULLIONS
- [Symbol] LOW-E VISION GLASS IN WINDOW WALL (SOLARBAN 72)
- [Symbol] SPANDREL GLASS IN WINDOW WALL (COLOUR: GRAY)
- [Symbol] METAL LOUVERS IN WINDOW WALL (COLOUR: GRAY)
- [Symbol] GLASS BALCONY/PATIO GUARD
- [Symbol] PAINTED SLAB EDGE (COLOUR: OFF-WHITE)
- [Symbol] WOOD GRAIN PRIVACY SCREEN
- [Symbol] ACM PANEL/SCREEN W/ VERTICAL JOINTS
- [Symbol] HSS OPEN ROOF STRUCTURE W/ WOOD PURLINS

CONSULTANT TEAM

ARCHITECTURAL:
KOHNS PARTNERSHIP ARCHITECTS INC.

PLANNING / LANDSCAPE / CIVIL / TRANSPORTATION:
BB GROUP

GEOTECHNICAL / HYDROGEOLOGICAL / ENVIRONMENTAL:
PATERSON GROUP

ENVIRONMENTAL EIS:
MUNCASTER ENVIRONMENTAL PLANNING INC.

ARCHAEOLOGICAL:
PAST RECOVERY

ACOUSTICAL:
BWDI

STRUCTURAL:
WSP

MECHANICAL / ELECTRICAL:
GOODKEY, WEEDMARK & ASSOCIATES LTD.



Project:
THE BURROUGHS KANATA

THE BURROUGHS KANATA LP.
319 HUNTMAR DRIVE
OTTAWA ONTARIO

Drawing Title:
ELEVATIONS - BUILDINGS C AND D

Project Manager Team: AN
Date Plotted: 5/14/2021 12:34:30 PM
Project No: 20-148
Scale: As indicated
Drawing No.: 1

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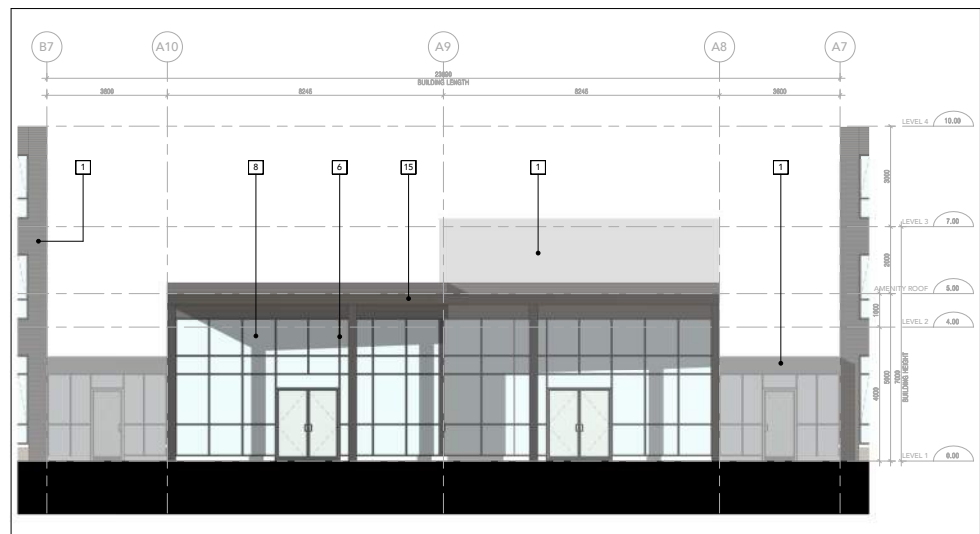
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| MATERIAL LEGEND | |
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| [Symbol] | PRECAST CONCRETE (2134-30 IRON MOUNTAIN, TEXTURED) |
| [Symbol] | PRECAST CONCRETE (HC 105 ROCKPORT GRAY, TEXTURED) |
| [Symbol] | PRECAST CONCRETE (HC 105 ROCKPORT GRAY, SMOOTH) |
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| [Symbol] | ACM CANOPY W/ WOOD GRAIN SOFFIT |
| [Symbol] | ALUMINUM WINDOW WALL W/ CHARCOAL MULLIONS |
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| [Symbol] | LOW-E VISION GLASS IN WINDOW WALL (SOLARBAN 72) |
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| [Symbol] | ACM PANEL/SCREEN W/ VERTICAL JOINTS |
| [Symbol] | HSS OPEN ROOF STRUCTURE W/ WOOD PURLINS |

| CONSULTANT TEAM | |
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| ACOUSTICAL: | BWDI |
| STRUCTURAL: | WSP |
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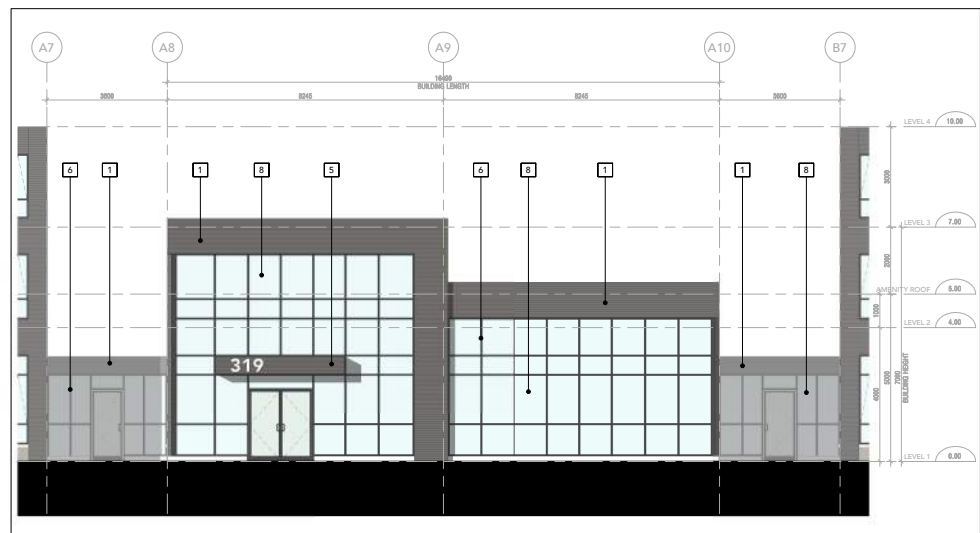
WEST ELEVATION 4
SCALE: 1:75 A4 03



SOUTH ELEVATION 2
SCALE: 1:75 A4 03



EAST ELEVATION 3
SCALE: 1:75 A4 03



NORTH ELEVATION 1
SCALE: 1:75 A4 03



Project: **THE BURROUGHS KANATA**
THE BURROUGHS KANATA LP.
319 HUNTMAR DRIVE
OTTAWA ONTARIO
Drawing Title: **ELEVATIONS - AMENITY BUILDING**
Project Manager: Team
AN 20-148
Date Plotted: 5/14/2021 12:34:48 PM
Scale: As indicated
Drawing No.: **A4 03**



VIEW FROM FEEDMILL CREEK 9
SCALE: AS 01



VIEW OF TYPICAL MIDRISE BUILDING 6
SCALE: AS 01



VIEW FROM OUTDOOR AMENITY AREA 3
SCALE: AS 01



VIEW FROM TANGER OUTLET MALL 8
SCALE: AS 01



FRONT VIEW OF AMENITY BUILDING 5
SCALE: AS 01



VIEW TOWARDS OUTDOOR AMENITY AREA 2
SCALE: AS 01



SOUTHWEST CORNER VIEW 7
SCALE: AS 01



VIEW TOWARDS COMMUNAL BBQ AREA 4
SCALE: AS 01



AERIAL VIEW OF AMENITY BUILDING 1
SCALE: AS 01

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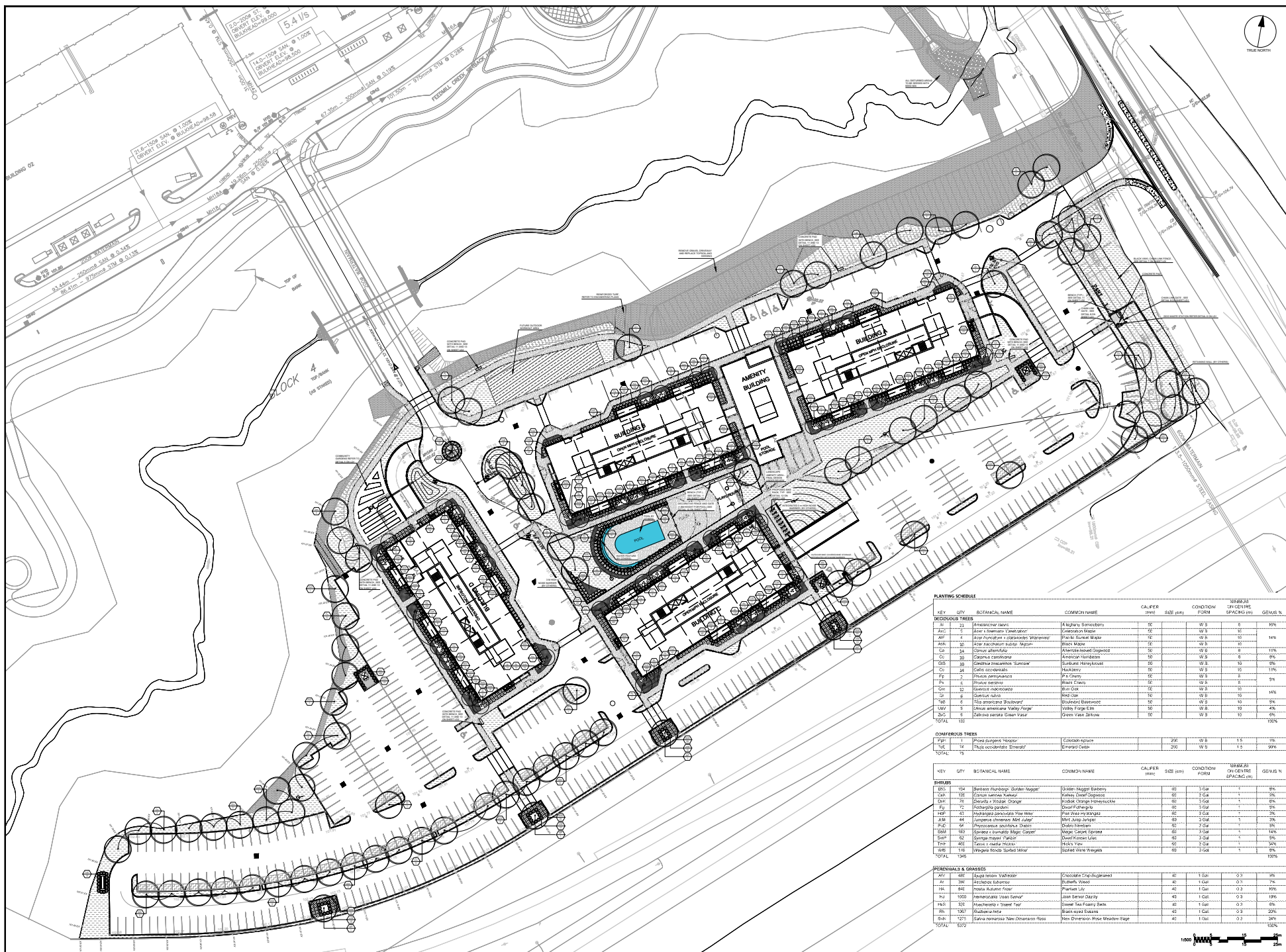
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| PLANNING / LANDSCAPE / CIVIL / TRANSPORTATION: IBI GROUP |
| GEOTECHNICAL / HYDROGEOLOGICAL / ENVIRONMENTAL: PATERSON GROUP |
| ENVIRONMENTAL EIS: MANCHESTER ENVIRONMENTAL PLANNING INC. |
| ARCHAEOLOGICAL: PAST RECOVERY |
| ACOUSTICAL: BWDI |
| STRUCTURAL: WSP |
| MECHANICAL / ELECTRICAL: GOODKEY, WEEDMARK & ASSOCIATES LTD. |



Project:
THE BURROUGHS KANATA
THE BURROUGHS KANATA LP.
319 HUNTMAR DRIVE
OTTAWA ONTARIO
Drawing Title:
PERSPECTIVE VIEWS

Project Manager Team: AN
Date Plotted: 5/14/2021 12:39:49 PM
Project No: 20-148
Scale: 1/4" = 1'-0"

Drawing No.: **A5 01**



CLIENT

REID'S HERITAGE HOMES

6783 WELLINGTON ROAD
R#2 CAMBRIDGE
ON, N3C 2V4

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| 1 | ISSUED FOR SPA | 2021-05-14 |

KEY PLAN

LEGEND

- PROPOSED DECIDUOUS TREES
- PROPOSED CONIFEROUS TREES
- PROPOSED DECIDUOUS SHRUBS
- PROPOSED CONIFEROUS SHRUBS
- PROPOSED PERENNIALS
- PROPOSED ORNAMENTAL GRASSES
- PROPOSED CONTOUR LINES
- PROPOSED CHAIN LINK FENCE
- PROPOSED DECORATIVE FENCE
- PLANT SPECIES
- QUANTITY
- PROPOSED 3:1 SLOPE (UNLESS NOTED)
- 500mm AS SPECIFIED MINIMUM TOPSOIL DEPTH
- MEADOW SEED MIX
- GROUND COVER
- SOIL CELL PLANTING AREA
- CONCRETE SIDEWALK

SEAL

Approved: _____
Date: _____

IBI GROUP
402 - 204 Preston Street
Ottawa, ON K1S 0N4 Canada
tel 613 225 1911 fax 613 225 9888
ibi@ibi.com

PROJECT

THE BURROUGHS KANATA

8555 CAMPEAU DRIVE

PROJECT NO.
127255

| | |
|-----------------------------|-----------------------------|
| DRAWN BY: R.S. | CHECKED BY: D.G. |
| PROJECT MGR: T.M. | APPROVED BY: T.M. |

SHEET TITLE

LANDSCAPE PLAN

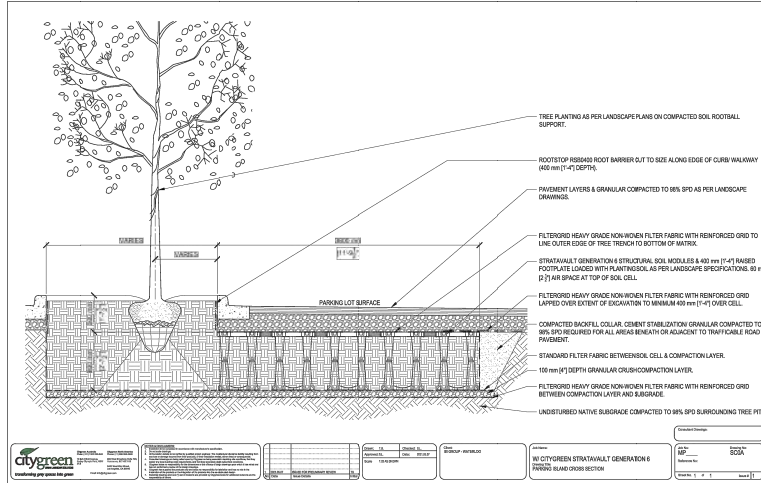
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ISSUE
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PLANTING SCHEDULE

| KEY | QTY | BOTANICAL NAME | COMMON NAME | CALIPER (mm) | 900 (mm) | CONDITION | SPACING (m) | GRATES (%) |
|------------------------|-----|-------------------|-------------------|--------------|----------|-----------|-------------|------------|
| DECIDUOUS TREES | | | | | | | | |
| AP-1 | 21 | American Sycamore | American Sycamore | 50 | 900 | W 3 | 6 | 90% |
| AP-2 | 1 | Box Elder | American Elm | 50 | 900 | W 3 | 10 | 90% |
| AP-3 | 1 | Box Elder | American Elm | 50 | 900 | W 3 | 10 | 90% |
| AP-4 | 30 | Star Magnolia | Star Magnolia | 50 | 900 | W 3 | 10 | 90% |
| AP-5 | 30 | Star Magnolia | Star Magnolia | 50 | 900 | W 3 | 10 | 90% |
| AP-6 | 30 | Star Magnolia | Star Magnolia | 50 | 900 | W 3 | 10 | 90% |
| AP-7 | 30 | Star Magnolia | Star Magnolia | 50 | 900 | W 3 | 10 | 90% |
| AP-8 | 30 | Star Magnolia | Star Magnolia | 50 | 900 | W 3 | 10 | 90% |
| AP-9 | 30 | Star Magnolia | Star Magnolia | 50 | 900 | W 3 | 10 | 90% |
| AP-10 | 30 | Star Magnolia | Star Magnolia | 50 | 900 | W 3 | 10 | 90% |
| AP-11 | 30 | Star Magnolia | Star Magnolia | 50 | 900 | W 3 | 10 | 90% |
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| AP-30 | 30 | Star Magnolia | Star Magnolia | 50 | 900 | W 3 | 10 | 90% |
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| AP-126 | 30 | Star Magnolia | Star Magnolia | 50 | 900 | W 3 | 10 | 90% |
| AP-127 | 30 | Star Magnolia | Star Magnolia | 50 | | | | |

- NOTES:**
- CONTRACTOR TO PROVIDE DETAILED SHOP DRAWINGS FOR ALL SOIL CELL PLANTING AREAS. THESE PLANS MUST INCLUDE DETAILS FOR PLACEMENT OF THE SOIL CELL, REVISIONS OF THE FINISH MATERIALS WITH THE SOIL CELLS, ALL WEED WATERING FORTS, GEOTEXTILES, STRUCTURAL SUPPORT AND PLANTING INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



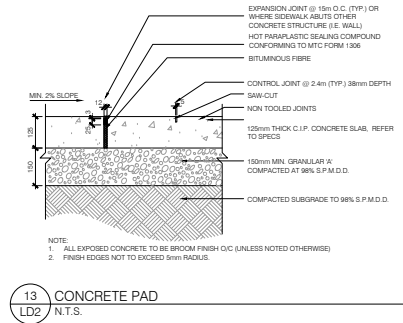
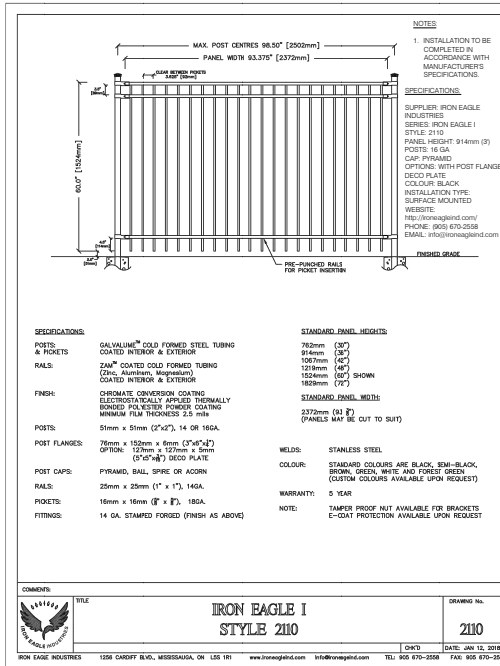
citygreen LANDSCAPE ARCHITECTURE & CONSTRUCTION

IRON EAGLE I STYLE 2110

1000 GERRARD STREET EAST, SUITE 100, SCARBOROUGH, ONTARIO M1S 1B7

PHONE: (416) 291-2558 FAX: (416) 291-2559

WWW.CITYGREEN.COM



CLIENT

REID'S HERITAGE HOMES

6783 WELLINGTON ROAD
R#222 CAMBRIDGE
ON, N3C 2V4

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ISSUES

| No. | DESCRIPTION | DATE |
|-----|----------------|------------|
| 1 | ISSUED FOR SPA | 2021-05-14 |

KEY PLAN

LEGEND

SEAL

IBI GROUP
442 - 333 Preston Street
Ottawa ON K1S 0N4 Canada
tel 613 225 1911 fax 613 225 9888
ibi.com

PROJECT

THE BURROUGHS KANATA

8555 CAMPEAU DRIVE

PROJECT NO: 127255

DRAWN BY: R.S. **CHECKED BY:** D.G.

PROJECT MGR: T.M. **APPROVED BY:** T.M.

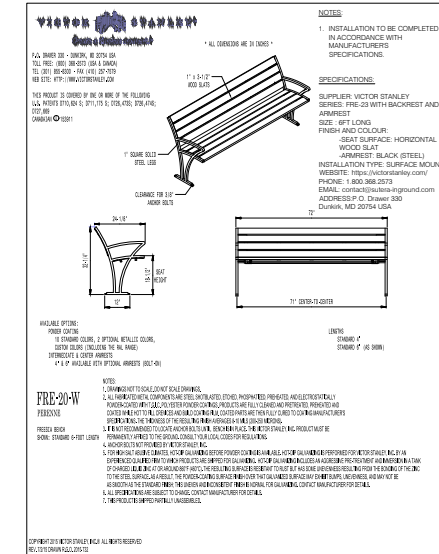
SHEET TITLE

LANDSCAPE DETAILS

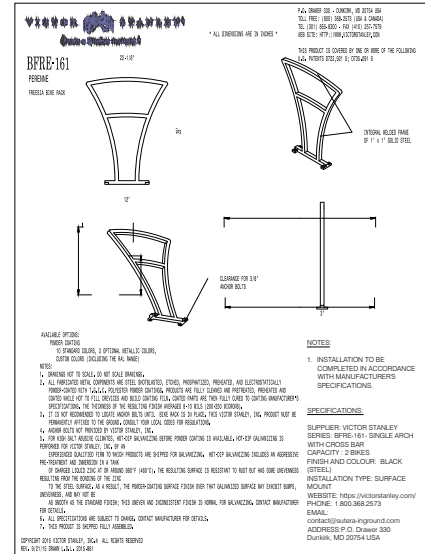
SHEET NUMBER LD2 **ISSUE** 1

9 DECIDUOUS STREET TREE PLANTING WITH GREENTECH STRATACELL 30 SERIES
LD2 N.T.S.

10 DECORATIVE FENCE
LD2 N.T.S.



11 FREESIA BENCH
LD2 N.T.S.

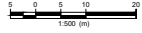


12 FREESIA BIKE RACK
LD2 N.T.S.

File Location: \\117255_8555\campeau\73255_LDW - Last Saved: May 13, 2021 10:28:34 AM by: Stephanie Bercy



LANDSCAPE CONCEPT PLAN





CLIENT
THE BURROUGHS KANATA LP
 6783 WELLINGTON ROAD
 9th FLOOR
 CANADA

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ISSUES

| No. | DESCRIPTION | DATE |
|-----|--------------------------|------------|
| 1 | ISSUED FOR CLIENT REVIEW | 2014-05-01 |
| 2 | ISSUED FOR BPA | 2014-05-01 |

NOT FOR CONSTRUCTION

SEE FOR NOTES, LEGEND, CB TABLE, AND DETAILS

CONSULTANTS

SCALE
 1:500

IBI GROUP
 402 - 204 Preston Street
 Ottawa, ON K1S 9N4, Canada
 tel 613 225 1311 fax 613 225 9888
 ibigroup.com

PROJECT
THE BURROUGHS KANATA
 319 HUNTMAR DRIVE

PROJECT NO.
 127255

DRAWN BY: D.P.S. **CHECKED BY:** J.B.S.

PROJECT MGR: D.G.Y. **APPROVED BY:** D.G.Y.

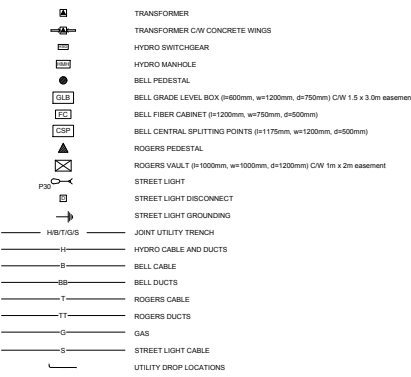
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GENERAL PLAN OF SERVICES

SHEET NUMBER **C-001** **ISSUE** **2**

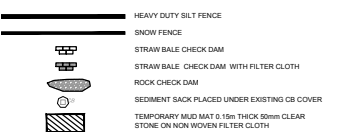
CITY PLAN No. xxxxx

CITY FILE No. D07-XX-XX-XXXX

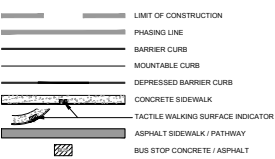
UTILITY LEGEND



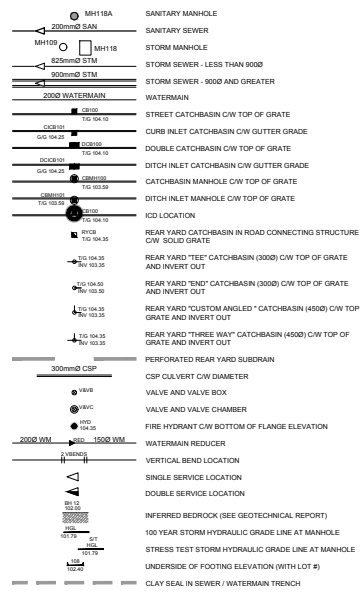
SEDIMENT EROSION LEGEND



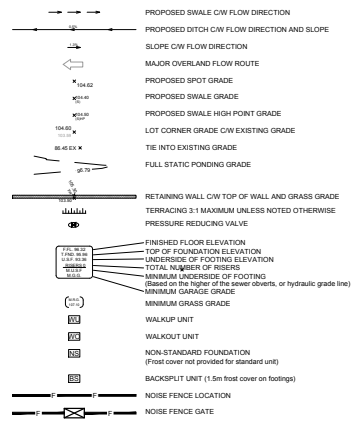
GENERAL LEGEND



SERVICING LEGEND



GRADING LEGEND



CATCH BASIN DATA TABLE with columns for structure ID, area ID, structure, cover, elevation, inlet/outlet, and type.

Notes for catch basin data table including 'Add 400 mm (16 inches) CIP with 42°' and 'Revision: 2021-05-14'.

SAN STRUCTURE TABLE with columns for name, rim elev., invert in, invert out, and description.

Pipe Interference Table with columns for crossing No., pipe 1, pipe 2, and clearance.

STM STRUCTURE TABLE with columns for name, rim elev., invert in, invert out, and description.

WATERMAIN SCHEDULE table with columns for station, description, finished grade, top of watermain, and as built materials.

NOTES

- 1. ALL MATERIALS AND CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE CURRENT CITY OF OTTAWA STANDARD DRAWINGS... 2. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, SIZE, MATERIAL AND ELEVATION OF ALL EXISTING SERVICES... 3. FOR GEOTECHNICAL INFORMATION REFER TO GEOTECHNICAL REPORT PG2021-1 PREPARED BY INTERSON GROUP... 4. FOR GEOTECHNICAL BENCHMARK AND GEOMETRIC LAYOUT OF STREET AND LOTS, REFER TO TOPOGRAPHICAL SURVEY AND PLAN OF SUBDIVISION PREPARED BY STANTEC GEOMATICS... 5. ROADWAY SECTIONS REQUIRING GRADE RAISE TO PROPOSED SUB GRADE LEVEL TO BE FILLED WITH ACCEPTABLE NATIVE EARTH BORROW OR IMPORTED OPSS SELECTED SUBGRADE MATERIAL... 6. IN AREAS WHERE EXISTING GROUND IS BELOW THE PROPOSED ELEVATION OF SEWER AND WATERMANS, GRADE RAISING AND FILLING IS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT... 7. SILT FENCE TO BE ERRECTED PRIOR TO EARTH WORKS BEING COMMENCED... 8. STRAW BALE SEDIMENT TRAPS TO BE PLACED AND MAINTAINED IN EXISTING AND CONTRACTED ROAD SIDE DITCHES... 9. SILT SACK TO BE PLACED AND MAINTAINED UNDER COVER OF ALL CATCH BASINS... 10. ALL CONNECTIONS TO EXISTING WATERMANS ARE TO BE COMPLETED BY CITY FORCES... 11. ALL LEADS FOR STREET C&T AND C&C&C CONNECTED TO MAIN SHALL BE 200mm CIP CURB @ MIN 2% SLOPE UNLESS NOTED OTHERWISE... 12. THESE DRAWINGS ARE NOT TO BE SCALED OR USED FOR LAYOUT PURPOSES.

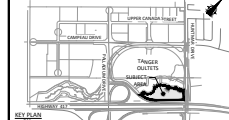
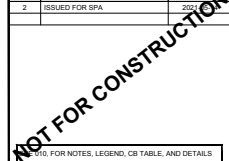
ROADWAY STRUCTURE

- ALL LANE AND PARKING AREAS (400mm) 40mm WEAR COURSE - SUPERPAVE 12.5 ASPHALTIC CONCRETE 50mm BINDER COURSE - SUPERPAVE 19.5 ASPHALTIC CONCRETE 150mm BASE - OPSS GRANULAR "A" OR "B" OR "C" OR "D" OR "E" 400mm SUBBASE - OPSS GRANULAR "B" TYPE II

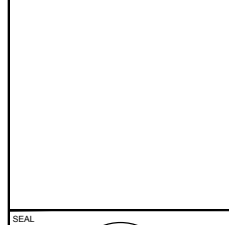
CLIENT THE BURROUGHS KANATA LP 6783 WELLINGTON ROAD RR #2 CAMBRISE ON, N2C 2V4

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ISSUES No. DESCRIPTION DATE 1 ISSUED FOR CLIENT REVIEW 2021-05-14 2 ISSUED FOR BPA 2021-05-14



SEAL



PROJECT THE BURROUGHS KANATA 319 HUNTMAR DRIVE PROJECT NO. 127255 DRAWN BY: D.P.S. CHECKED BY: J.B. PROJECT MGR: D.G.Y. APPROVED BY: D.G.Y. SHEET TITLE GENERAL NOTES, LEGEND AND CB DATA TABLE SHEET NUMBER C-010 ISSUE 2 CITY PLAN No. xxxxx

City File No. D07-xx-xxxxxx