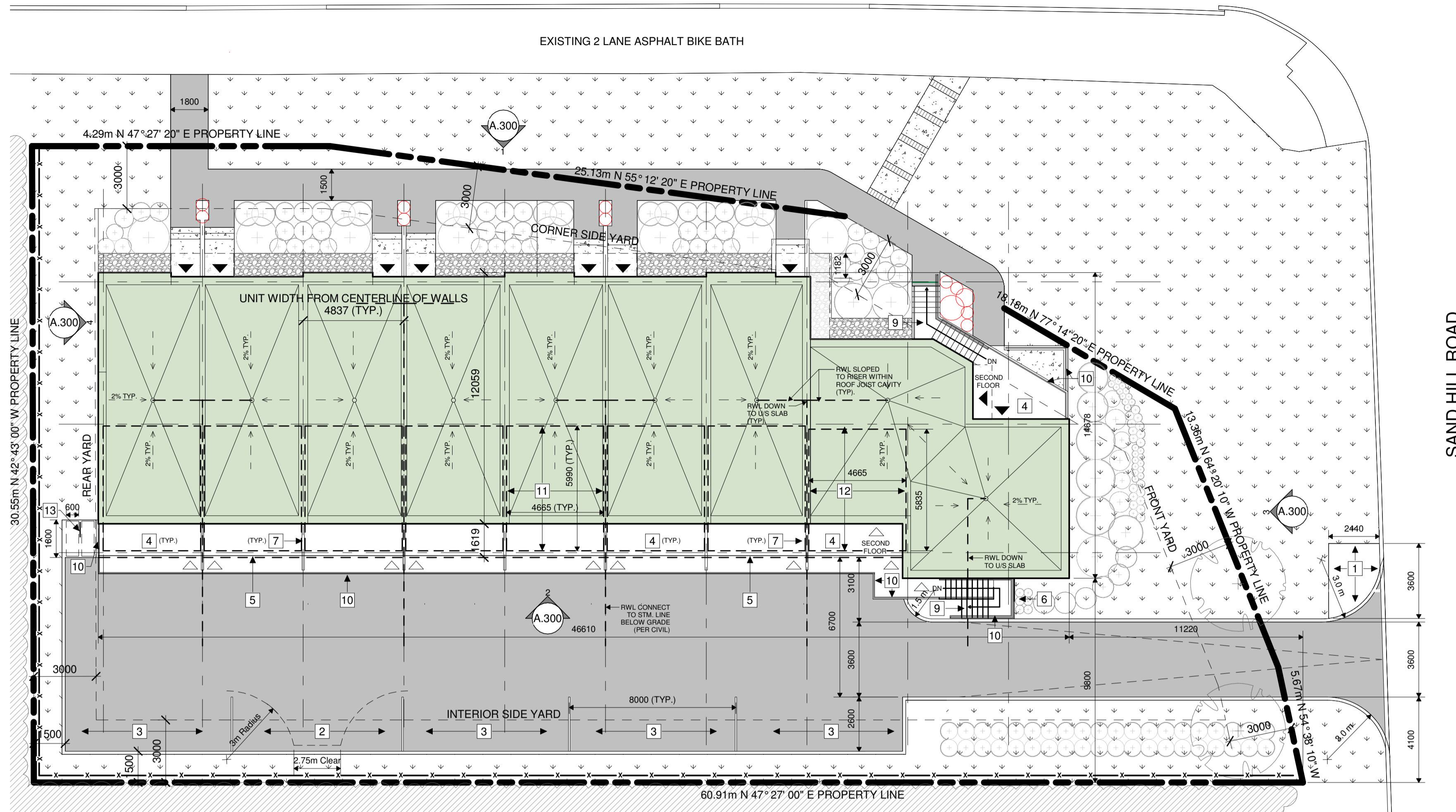


KLONDIKE ROAD

EXISTING 2 LANE ASPHALT BIKE BATH



SAND HILL ROAD

SITE PLAN KEYNOTES:

- 1 GARBAGE COLLECTION AREA
- 2 PARKING LOT TURN-AROUND ZONE
- 3 PARKING SPACE - 90° TO DRIVE AISLE
- 4 SECOND FLOOR BALCONY STRUCTURE
- 5 FACE OF BUILDING BELOW BALCONY / EDGE OF PARKING LOT
- 6 BUILDING SIGNAGE
- 7 PRIVACY SCREEN BETWEEN BALCONIES
- 8 ACCESSIBLE RAMP WITH 1:12 SLOPE c/w GUARDS AND HANDRAILS ON BOTH SIDES
- 9 EXTERIOR STAIR TO SINGLE DWELLING UNIT
- 10 EXTERIOR STAIR TO SINGLE DWELLING UNIT
- 11 INTERIOR EXTENT OF GARAGES SERVING INDIVIDUAL DWELLING UNITS, TYPICAL OF 7 UNITS
- 12 INTERIOR EXTENT OF GARAGE SERVING ACCESSIBLE UNIT.
- 13 BICYCLE PARKING RACK INSTALLED ON CONCRETE PAD (2x 600X1800mm SPACE FOR TWO BIKES)

SITE PLAN LEGEND:

- PROPOSED BUILDING
- NEW ASPHALT PAVING
- NEW GRASS
- CONCRETE SIDEWALK
- CONCRETE PAD
- MULCH/PLANTING
- GRAVEL/RIVERSTONE/MAINTENANCE STRIP
- STONE DUST/SAND
- PAVER TYPE 1
- PAVER TYPE 2
- PAVER TYPE 3
- MAIN ENTRANCE
- SECONDARY ENTRANCE

- PROPERTY LINE
- TREE PROTECTION FENCE PER LANDSCAPE
- NEW DOMESTIC WATER
- NEW SANITARY
- NEW STORM
- NEW ELECTRICAL SERVICE (BELOW GRADE)
- GAS
- CATCH BASIN
- CATCH BASIN
- LIGHT STANDARD
- LIGHT STANDARD EXISTING
- FIRE HYDRANT
- FIRE HYDRANT EXISTING
- MANHOLE
- MANHOLE EXISTING
- UTILITY POLE
- UTILITY POLE EXISTING
- DROPPED CURB

- NEW TREE PER LANDSCAPE
- NEW SHRUB PER LANDSCAPE
- EXISTING TREE / HEDGE



STAMP

1 SC-SP-OVERALL SITE
A.100 1:150

LEGAL DESCRIPTION

REFERENCE SURVEY

Part of Lot 10 Concession 4
Geographic township of March
City of Ottawa designated as PIN 04517-0005

Boundary information derived from Surveyors Real
Property Report prepared by Annis O'Sullivan Vollebakk Ltd.
dated September 21st 2020

MUNICIPAL ADDRESS

1050 Klondike Road, Ottawa, ON.

SITE AREA	1568.5m ²
BUILDING AREA (OBC)	583m ²
GROSS FLOOR AREA (OBC)	1511m ²
BUILDING HEIGHT	8.7m, 3 STOREYS (TOWNHOMES) 6.9m, 2 STOREYS (STACKED DWELLING)
ZONE	DR
SCHEDULE 1,1/A:	AREA C

ZONING PROVISION	REQUIRED	PROVIDED	PARKING QUEUING + LOADING	REQUIRED	PROVIDED
MIN. LOT WIDTH			RESIDENTIAL SPACES	11	10
MIN. LOT AREA		1568.5m ²	VISITOR SPACES	2	2
MIN. FRONT YARD SETBACK	3m	3m	ACCESSIBLE PARKING	1	1
MIN. CORNER YARD SETBACK	3m	3m	BICYCLE PARKING	0.5	2
MIN. REAR YARD SETBACK	3m	3m	FULL SIZE PARKING SPACES		12
MIN. INTERIOR YARD SETBACK	3m	3m	REDUCED SIZE PARKING		0
MAX. HEIGHT	14m	8.75m	RECYCLE COLLECTION	No	No*
AMENITY AREA	6m ² x9 + 50% (81m ²)	11m ² x9 + 50%	GARBAGE COLLECTION	No	No*
LANDSCAPED AREA	57m ²	478m ²			

SITE PLAN GENERAL NOTES:

1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
2. DO NOT SCALE THIS DRAWING
3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

* GARBAGE COLLECTION AREA SHOWN ALONG SANDHILL ROAD TO BE USED FOR GARBAGE PICKUP ONLY.

1 2021/05/20 Issued for SPCA

REV DATE ISSUE

NOTE

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
2. THE DRAWINGS, PRESENTATIONS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF CSV ARCHITECTS. THEY ARE NOT TO BE USED BY THE CLIENT ON OTHER PROJECTS OR ON EXTENSIONS TO THIS PROJECT WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

Israr Akhtar & Junaid Israr
111 Heron Road
Ottawa, ON, K1V 6B5

PROJECT

1050 KLONDIKE RD

Ottawa, ON, K2K 1X7

TITLE

SITE PLAN

PROJECT NO: 2020-0750
DRAWN: AS
APPROVED: JS
SCALE: As indicated
FIRST ISSUE: 12/07/16

REV DRAWING NO.

1 **A.100**
SPCA FILE #

ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

ELEVATION REFERENCES SHOWN ARE RELATIVE TO THE FLOOR LEVELS OF THE ACCESSIBLE UNIT

ELEVATION KEYNOTES:

- 1 GLASS GUARD
- 2 PRE-FINISHED METAL FLASHING
- 3 CEMENT PARING
- 4 METAL AWNING PROJECTING 915mm FROM FACE OF BUILDING
- 5 BUILDING SIGNAGE
- 6 PRIVACY SCREEN BETWEEN BALCONIES

- WD HORIZONTAL WOOD SIDING
- CM CORRUGATED METAL SIDING
- FS FIBER CEMENT PANEL
- MP PRE-FINISHED METAL PANEL

ELEVATION LEGEND:

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.



STAMP

1 2021/05/20 Issued for SPCA

REV DATE ISSUE

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CLIENT

PROJECT

1050 KLONDIKE RD

TITLE

ELEVATIONS

PROJECT NO: 2020-0750
 DRAWN: AS JGS
 APPROVED JS
 SCALE As Indicated
 FIRST ISSUE: 10/12/20

REV DRAWING NO.

1 **A.300**



1 NORTH ELEVATION

A.300 1:100



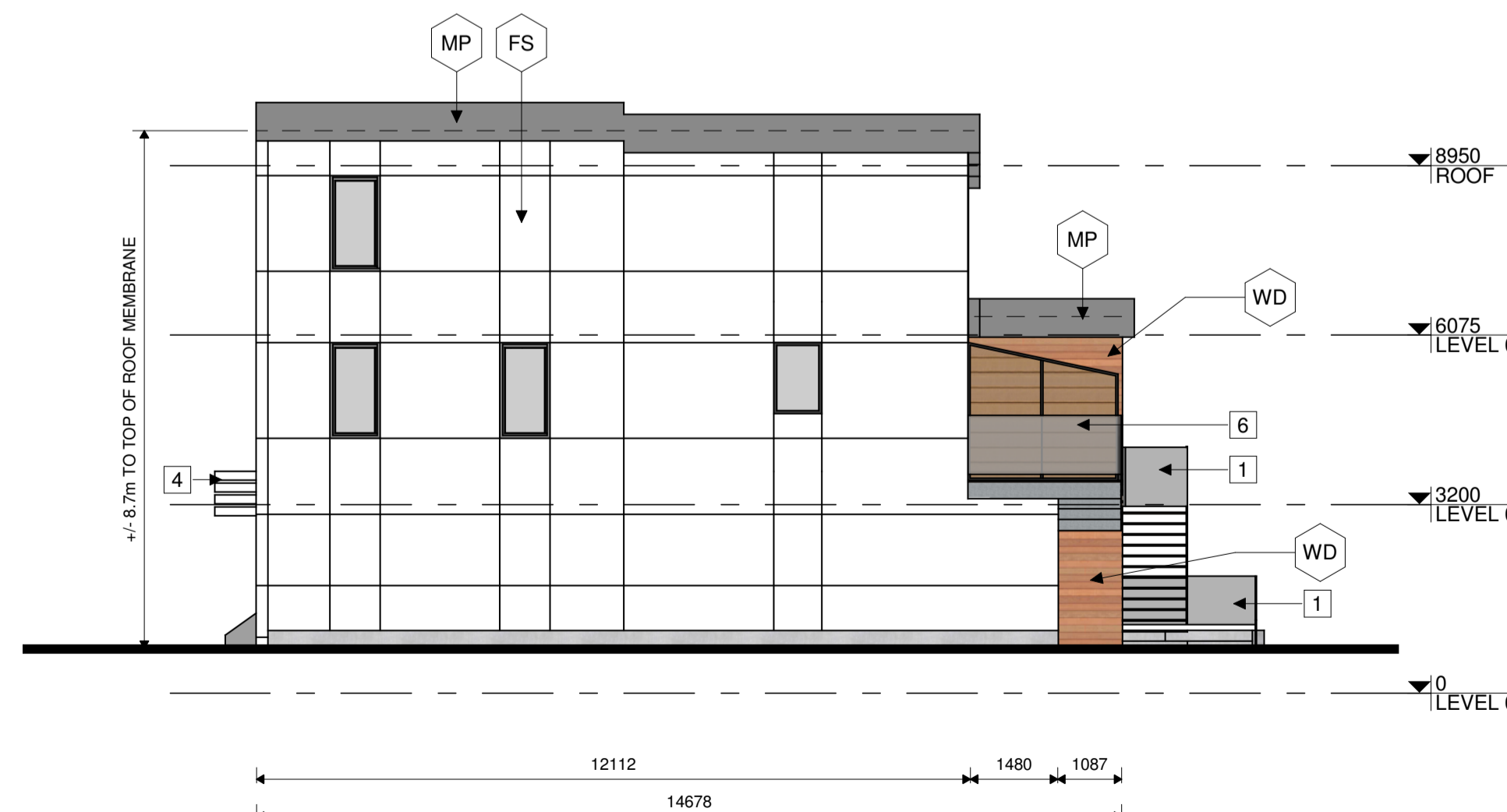
2 SOUTH ELEVATION

A.300 1:100



3 EAST ELEVATION

A.300 1:100



4 WEST ELEVATION

A.300 1:100