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# Planned Unit Development 4800 Bank Street

## Planning Rationale and Design Brief

**PLANNED UNIT DEVELOPMENT  
4800 BANK STREET (GARTERSNAKE WAY)  
BLOCK 60 ON DRAFT 4M-XXXX**

PLANNING RATIONALE AND DESIGN BRIEF  
IN SUPPORT OF SITE PLAN CONTROL AND MINOR ZONING BY-LAW AMENDMENT APPLICATIONS

Prepared For:

**Leitrim South Holdings Inc.**

Prepared By:



Engineers, Planners & Landscape Architects

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May 13, 2021

Novatech File: 120015

Ref: R-2020-147

May 13, 2021

City of Ottawa  
Planning, Infrastructure and Economic Development Department  
110 Laurier Ave. West, 4<sup>th</sup> Floor  
Ottawa, Ontario K1P 1J1

**Attention: Mélanie Gervais, Planner II**

**Reference: Planned Unit Development – 4800 Bank Street (Gartersnake Way)  
Block 60 on Draft 4M-XXXX  
Planning Rationale and Design Brief**

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Novatech has prepared this Planning Rationale incorporating a scoped Design Brief on behalf of Leitrim South Holdings Inc. to support Site Plan Control and Minor Zoning By-law Amendment applications for a planned unit development at 4800 Bank Street.

Leitrim South Holdings Inc. intends to develop a planned unit development comprising 26 townhouse dwellings on a private street and this requires approval under the Site Plan Control By-law. A minor Zoning By-law Amendment is also required to permit the reduced lot width of the double flag lot and a reduced interior side yard setback for two of the proposed townhouses.

A pre-application consultation meeting was held with City Staff on August 11, 2020 to discuss the proposed development and application submission requirements.

Should you have any questions please do not hesitate to contact me.

Sincerely,

**NOVATECH**



James Ireland, MCIP, RPP  
Planner

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## 1.0 | INTRODUCTION

Novatech was retained by Leitrim South Holdings Inc. to prepare a Planning Rationale incorporating a Design Brief in support Site Plan Control and Minor Zoning By-law Amendment applications to allow for the development of a Planned Unit Development on lands municipally known as 4800 Bank Street. These lands were originally rectangular and had frontage to Bank Street. As the Pathways subdivision has been developed the area of these lands has gradually reduced – they are currently 58 ha in size. The subject site is a block (Block 60 on Draft 4M-XXXX) in an approved subdivision (City Ref: D07-16-17-0003) which covers Phase 3 of the Pathways development on this remaining portion of 4800 Bank Street.

4800 Bank Street is legally described as: PART LOTS 21 AND 22 CONCESSION 4, RIDEAU FRONT GLOUCESTER, PART 1 PLAN 4R29621, SAVE AND EXCEPT PLANS 4M1617 AND 4M1618 SUBJECT TO AN EASEMENT IN GROSS OVER PARTS 43 & 44 PLAN 4R32994 AS IN OC2251031 CITY OF OTTAWA

## 2.0 | CONTEXT ANALYSIS

### 2.1 SITE LOCATION AND LOCAL CONTEXT

The Site is a 0.95 ha internal lot in the south western part of the Pathways neighbourhood. It has two 10m frontages onto Gartersnake Way. The vacant Site slopes down slightly to the east and is cleared. It is situated within an emerging residential area with surrounding land uses as follows: to the north is the Leitrim wetland, zoned Environmental Protection (EP). To the east is a future park, zoned Open Space (OP). To the south between the site and Gartersnake Way are three residential blocks in the same subdivision, currently undeveloped, with additional residential further south. To the west is a linear park zoned Open Space which acts as a buffer to the Leitrim Wetland which is located further west.



Figure 1: Subject site and surrounding land uses

## 2.2 PLANNING CONTEXT

### 2.2.1 CITY OF OTTAWA OFFICIAL PLAN

The Subject Site is designated as General Urban Area on “Schedule B – Urban Policy Plan” in the Official Plan. Per Section 3.6.1 of the Official Plan, the General Urban Area permits the development of a full range and choice of housing types to meet the needs of all ages, incomes and life circumstances.

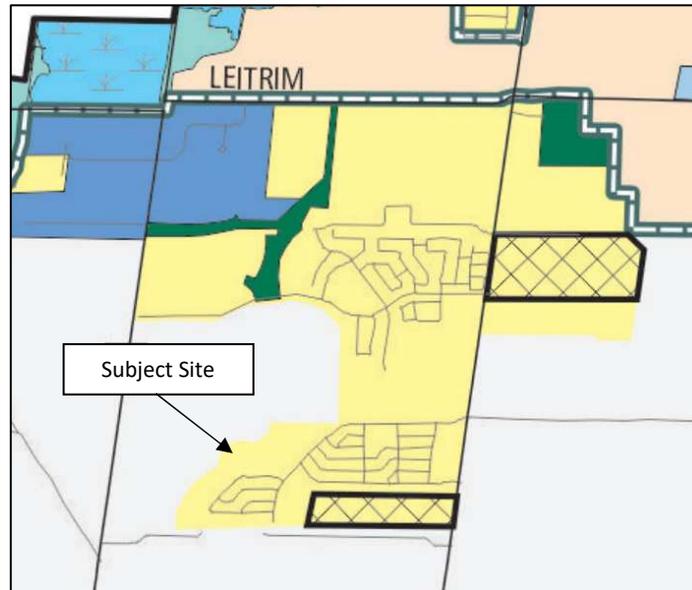


Figure 2: Excerpt of OP Schedule B indicating the subject site's General Urban Area (yellow) designation

Per “Schedule C – Primary Urban Cycling Network” in the Official Plan, a multi-use pathway (MUP, shown in green below) is planned to run east-west in an unused road allowance approximately 200m north of the subject site and a spine route (blue) runs along Bank Street 1.2km east of the subject site:



Figure 3: Excerpt of OP Schedule C indicating subject site relative to the MUP and spine route

Per “Schedule D – Rapid Transit and Transit Priority Network” in the Official Plan, the subject site is 2.3km and 2.6km respectively from the proposed Leitrim and Bowesville LRT Stage 3 stations:

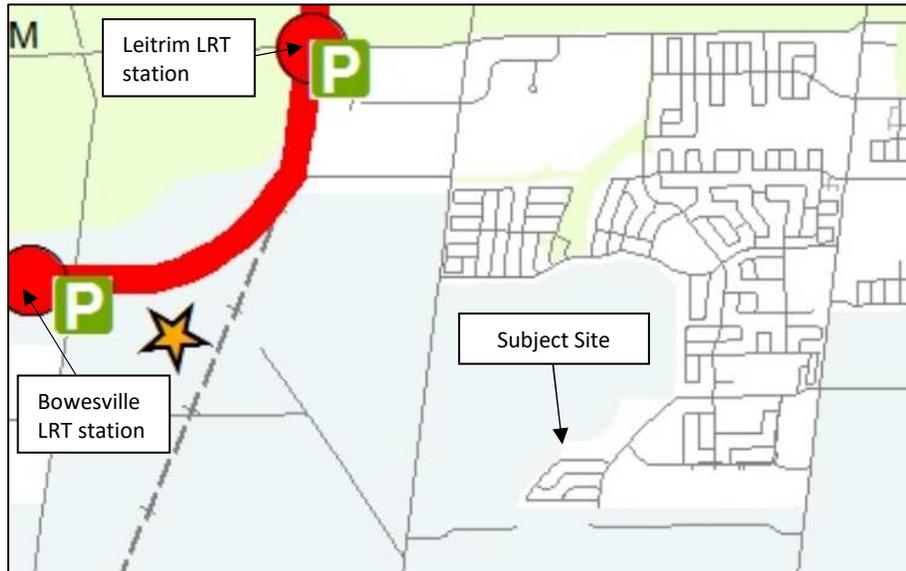


Figure 4: Excerpt of OP Schedule D indicating proximity of Subject Site to the proposed Leitrim and Bowesville LRT stations

“Schedule E – Urban Road Network” in the Official Plan designates Bank Street as an existing Arterial and Miikana Road and Kelly Farm Drive as proposed Collectors (green). There is a Conceptual Arterial to the south of the site (grey) which is the extension of Earl Armstrong Road. It is understood that an Environmental Assessment (EA) has been completed for this road, but the exact alignment remains undefined. Gartersnake Way is a local road with an 18-metre right-of-way and no sidewalks. It connects to Miikana Road.

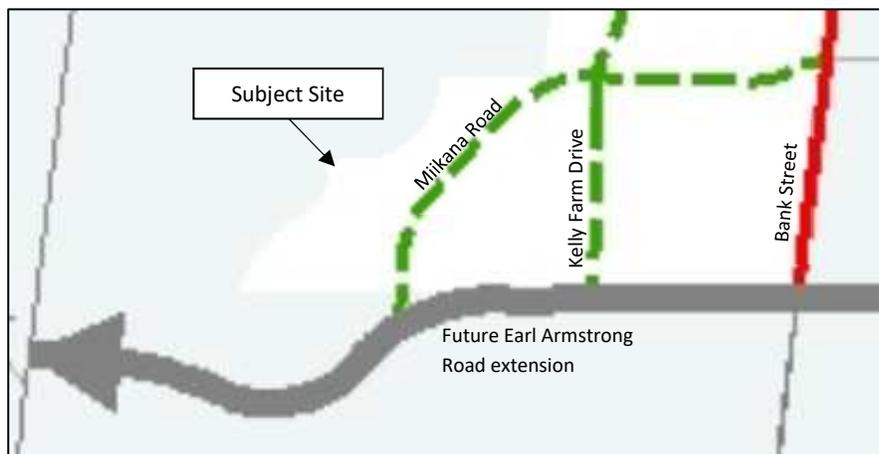


Figure 5: Excerpt of OP Schedule E indicating Subject Site in proximity to designated roads

Per *Official Plan* “Schedule K – Environmental Constraints”, the subject site is not affected by any environmental constraints. Per *Official Plan* “Schedule L1 – Natural Heritage System Overlay (East)” no identified Natural Heritage System features are located on the subject site.

### 2.2.3 LEITRIM COMMUNITY DESIGN PLAN

The Leirim Community Design Plan (CDP) was approved in July 2005 and covers 520 hectares of the Leirim community, taken as the area inside the urban area south of Leirim Road and between Albion Road to the west and Bank Street to the east. The subject site is in the southern part of the plan area. The plan is comprised of six main components: the Land Use Plan, the Community Design Guidelines, the Greenspace Plan, the Servicing Plan, the Transportation Plan, and the Implementation Plan.

The subject site is designated low density residential in the Land Use Plan. The proposal is assessed against the Community Design Guidelines at Section 4.3 of this rationale. The Greenspace Plan identifies land to the west of the site has 'Wetland Buffer'.

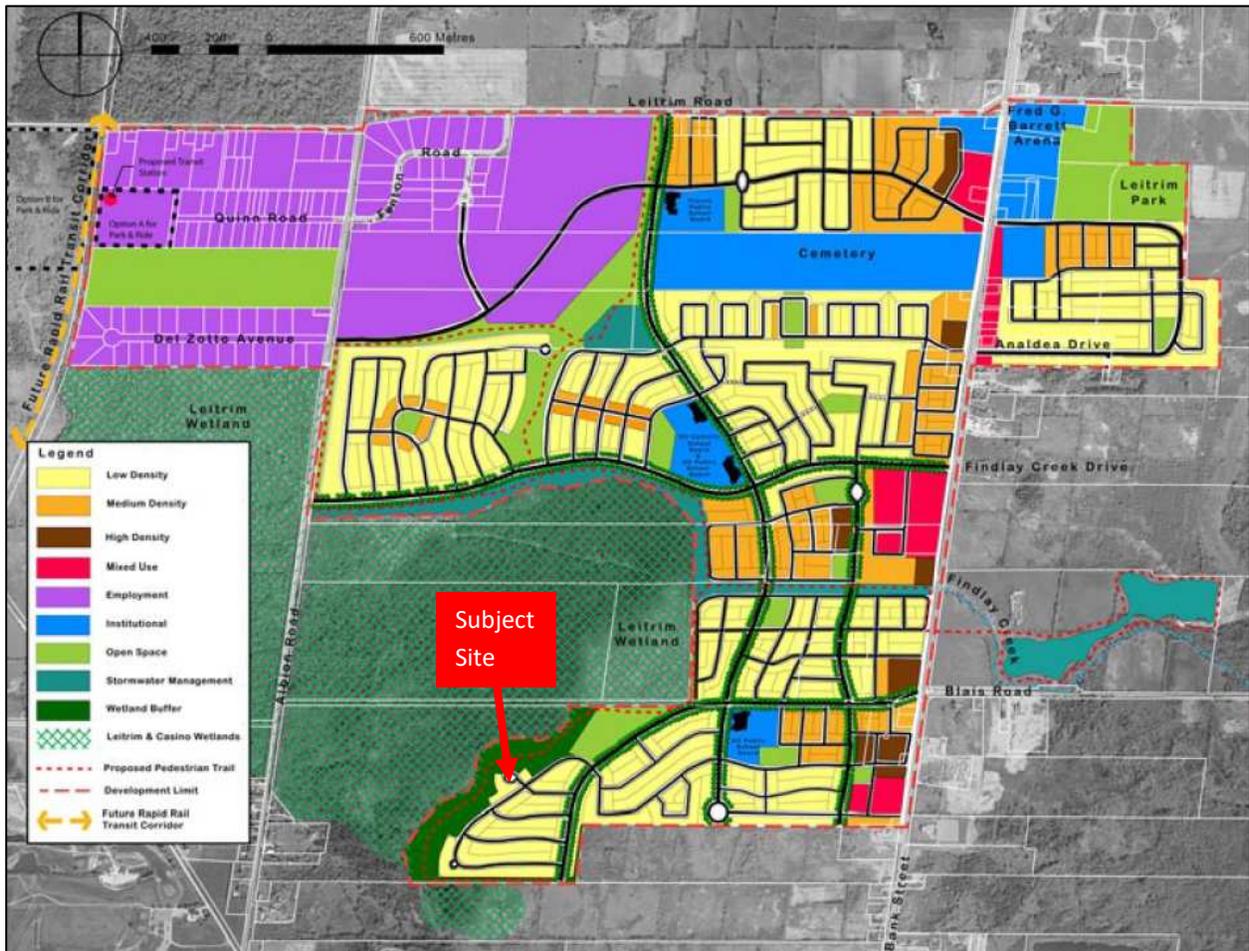


Figure 6: Excerpt of the CDP Land Use Plan indicating the Subject Site with low density designation

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## 2.2.4 ZONING BY-LAW

The subject site is zoned as Residential Fourth Density sub-zone Z with an exception (R4Z [2370]). The exception only states that there is no maximum cumulative floor area for accessory buildings. The objectives of the zone are to:

1. *allow a wide mix of residential building forms ranging from detached to low rise apartment dwellings, in some cases limited to four units, and in no case more than four storeys, in areas designated as General Urban Area in the Official Plan;*
2. *allow a number of other residential uses to provide additional housing choices within the fourth density residential areas;*
3. *permit ancillary uses to the principal residential use to allow residents to work at home;*
4. *regulate development in a manner that is compatible with existing land use patterns so that the mixed building form, residential character of a neighbourhood is maintained or enhanced: and*
5. *permit different development standards, identified in the Z subzone, primarily for areas designated as Developing Communities, which promote efficient land use and compact form while showcasing newer design approaches.*

Townhouse are a permitted use in the zone. The proposal meets all the zoning provisions, except for the lot width and the interior side yard (refer to Section 3.3 for further detail of the required Minor Zoning By-law Amendment).

## 3.0 | THE PROPOSAL

### 3.1 PRE-APPLICATION CONSULTATION

A pre-application consultation meeting was held with City Staff on August 11, 2020 to discuss the proposed development and application submission requirements. It was determined that an application for site plan control approval would be required. The non-compliance of the interior side yard setback was noted, but the lot width was not (it was later confirmed with City staff). Following the meeting, the City confirmed the list of required studies to support the application and provided comments. These have been considered and integrated into the proposed design, as described below.

### 3.2 SITE PLAN

The Site Plan shows 26 townhouse dwellings on a private street. Garbage collection will be via curbside City pickup. The townhouses are double storey with three bedrooms and a single or double garage. Access to the site from Gartersnake Way is via the 'U' shaped private street that utilises the two access-way frontages. The access is two way and sufficiently wide to be shared between motorists and pedestrians and cyclists. Parking is provided in accordance with the Zoning By-law which requires one space per dwelling for residents and 0.2 spaces for visitors. A high proportion of the site (approximately 50%) has permeable surfaces.



Figure 7: Conceptual rendering of some of the townhouse models

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## SITE ACCESS AND PARKING

Access to the site from Gartersnake Way is via the 'U' shaped private street that utilises the two access-way frontages. The access is two way and sufficiently wide to be shared between motorists and pedestrians and cyclists. Parking is provided in accordance with Section 101 of the Zoning By-law (Minimum Parking Space Rates) and Section 102 (Minimum Visitor Parking Space Rates) which require one space per dwelling for residents and 0.2 spaces for visitors. Each dwelling has a minimum of two garage car spaces in compliance with the Zoning By-law.

## 4.0 | POLICY JUSTIFICATION

### 4.1 PROVINCIAL POLICY STATEMENT 2020

The Provincial Policy Statement (PPS) was issued under Section 3 of the Planning Act and came into effect on May 1, 2020. Section 3 of the *Planning Act* requires that decisions affecting planning matters “shall be consistent with” the policies of the *Provincial Policy Statement* (PPS). The PPS is organized into three main policy sections: (1) Building Strong Healthy Communities, (2) Wise Use and Management of Resources, and (3) Protecting Public Health and Safety. The following sub-sections explain how the proposed development is consistent with the applicable PPS policies.

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#### 4.1.1 BUILDING STRONG HEALTHY COMMUNITIES

**Section 1.1 of the PPS** is focused on managing and directing land use to achieve efficient and resilient development and land use patterns. The relevant policies are addressed below:

**Policy 1.1.1** *Healthy, liveable and safe communities are sustained by:*

- (a) Promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long-term*
- (b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*
- (c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;*
- (d) avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;*
- (e) promoting the integration of land use planning, growth management, transit-supportive development, intensification and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;*
- (f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;*
- (g) ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs;*
- (h) promoting development and land use patterns that conserve biodiversity; and*
- (i) preparing for the regional and local impacts of a changing climate.*

**The proposed development contributes to a healthy, liveable and safe community because it:**

- **is a compact building form on a vacant lot within a developing area which minimizes land consumption and servicing costs;**
- **diversifies the housing choice in the area to cater to people of all ages and life stages; and**
- **does not create environmental or public health and safety concerns or prevent the efficient expansion of settlement areas.**

**Policy 1.1.3.1**      *Settlement areas shall be the focus of growth and development.*

**The subject site is in the Settlement Area.**

**Policy 1.1.3.2**      *Land use patterns within settlement areas shall be based on densities and a mix of land uses which:*

- a) efficiently use land and resources;*

- b) *are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
- c) *minimize negative impacts to air quality and climate change, and promote energy efficiency;*
- d) *prepare for the impacts of a changing climate;*
- e) *support active transportation;*
- f) *are transit-supportive, where transit is planned, exists or may be developed; and*
- g) *are freight-supportive; and*

**The proposed development efficiently uses land and existing infrastructure. The location close to a pathway network supports active transportation. The addition of 26 households to the area will support existing and future transit in this emerging residential area.**

***Policy 1.1.3.6** New development taking place in designated growth areas should occur adjacent to the existing built-up area and shall have a compact form, mix of uses and densities that allow for the efficient use of land, infrastructure and public service facilities.*

**The proposed development is adjacent to residential development under construction that is primarily detached dwellings. Introducing townhouse dwellings increases the mix of residential types and densities available in the area.**

**Section 1.4 of the PPS** provides policies on housing. The relevant policies are addressed below:

***Policy 1.4.3** Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected market-based and affordable housing needs of current and future residents of the regional market area by: permitting and facilitating:*

1. *all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including special needs requirements and needs arising from demographic changes and employment opportunities;*

**The proposed development offers dwelling types that increase the mix of residential types and densities available in the area. The townhouse dwellings offer a more affordable manageable option for people of all life stages.**

- (b) directing the development of new housing towards locations where appropriate levels of infrastructure and public service facilities are or will be available to support current and projected needs;*

**Appropriate levels of infrastructure and public service facilities exist to support the proposed residential development.**

- (b) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation and transit in areas where it exists or is to be developed*

The density of the proposed development represents an efficient use of land, resources, and infrastructure. It is not close enough to rapid transit (it is 2.3km to a future LRT station) to justify higher density development.

**Section 1.6 of the PPS** provides policies on infrastructure and public service facilities.

**Policy 1.6.3** *Before consideration is given to developing new infrastructure and public service facilities:*

*(a) the use of existing infrastructure and public service facilities should be optimized*

The subject site is located within an approved subdivision (City Ref: D07-16-17-0003). Infrastructure and public service facilities will have been addressed as part of the subdivision approval process. The proposed development will utilize municipal sewage, water and stormwater services.

**Section 1.8 of the PPS** provides policies on energy conservation, air quality and climate change.

**Policy 1.8.1** *Planning authorities shall support energy conservation and efficiency, improved air quality, reduced greenhouse gas emissions, and preparing for the impacts of a changing climate through land use and development patterns which:*

*a) promote compact form and a structure of nodes and corridors;*

The subject site is designated low density residential in the CDP. Notwithstanding this, a more compact form is introduced by the townhouse dwellings proposed.

*b) encourage transit-supportive development and intensification to improve the mix of employment and housing uses to shorten commute journeys and decrease transportation congestion;*

The subject site is designated low density residential in the CDP. Notwithstanding this, a more compact form is introduced by the townhouse dwellings proposed. Future transit (Leitrim Stage 3 LRT station) is 2.3km away.

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#### 4.1.2 WISE USE AND MANAGEMENT OF RESOURCES

**Section 2.1 of the PPS** provides policies on Natural Heritage.

**Policy 2.1.1** *Natural features and areas shall be protected for the long term.*

Per *Official Plan "Schedule K – Environmental Constraints"*, the subject site is not affected by any environmental constraints. Per *Official Plan "Schedule L1 – Natural Heritage System Overlay (East)"* no identified Natural Heritage System features are located on the subject site.

**Section 2.2 of the PPS** provides policies on Water.

**Policy 2.2.2** *Development and site alteration shall be restricted in or near sensitive surface water features and sensitive ground water features such that these features and their related hydrologic functions will be protected, improved or restored.*

**No sensitive surface or ground water features exist on or adjacent to the subject site.**

**Section 2.3 of the PPS** provides policies on Agriculture.

***Policy 2.3.1** Prime agricultural areas shall be protected for long-term use for agriculture.*

**The subject site is not located within or adjacent to prime agricultural land.**

**Section 2.4 of the PPS** provides policies on Minerals and Petroleum.

***Policy 2.4.1** Minerals and petroleum resources shall be protected for long-term use.*

**No mineral or petroleum resources exist on or adjacent to the subject site.**

**Section 2.5 of the PPS** provides policies on Mineral Aggregate Resources.

***Policy 2.5.1** Mineral aggregate resources shall be protected for long-term use and, where provincial information is available, deposits of mineral aggregate resources shall be identified.*

**No mineral aggregate resources exist on or adjacent to the subject site.**

**Section 2.6 of the PPS** provides policies on Cultural Heritage and Archaeology.

***Policy 2.6.1** Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

***Policy 2.6.2** Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.*

**Archaeological resources and potential were investigated and cleared as part of the registration of the subdivision. An Archaeological Resource Assessment was not required by City staff for this application.**

***Policy 2.6.3** Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

**The subject site is not adjacent to protected heritage property.**

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#### 4.1.3 PROTECTING PUBLIC HEALTH AND SAFETY

**Section 3.1 of the PPS** provides policies on Natural Hazards.

***Policy 3.1.1** Development shall generally be directed, in accordance with guidance developed by the Province (as amended from time to time), to areas outside of:*

- a) *hazardous lands adjacent to the shorelines of the Great Lakes - St. Lawrence River System and large inland lakes which are impacted by flooding hazards, erosion hazards and/or dynamic beach hazards;*
- b) *hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards; and*
- c) *hazardous sites.*

**The proposed development is not occurring within or adjacent to natural hazard lands or sites.**

**Section 3.2 of the PPS** provides policies on Human-Made Hazards.

**Policy 3.2.1** *Development on, abutting or adjacent to lands affected by mine hazards; oil, gas and salt hazards; or former mineral mining operations, mineral aggregate operations or petroleum resource operations may be permitted only if rehabilitation or other measures to address and mitigate known or suspected hazards are under way or have been completed.*

**Policy 3.2.2** *Sites with contaminants in land or water shall be assessed and remediated as necessary prior to any activity on the site associated with the proposed use such that there will be no adverse effects.*

**A Phase 1 Environmental Site Assessment (ESA) Update prepared by Golder Associates dated January 28, 2021 forms part of this application. It summarizes previous Phase 1 ESAs undertaken for the subdivision of the lands and provides a Phase 1 ESA update letter report which concludes that no Potential Contaminating Activities or Areas of Potential Environmental Concern associated with the site were identified. Accordingly, a Phase 2 Environmental Site Assessment is not warranted.**

## 4.2 OFFICIAL PLAN AND DESIGN BRIEF

### SECTION 4.2.1 – LAND USE DESIGNATION AND COMPATIBILITY

As stated in Section 2.2.1 of this rationale, the subject site is designated General Urban Area per Schedule B of the *Official Plan*. Section 3.6.1 of the *Official Plan* contains policies for this land use designation.

**Policy 1** states that the *General Urban Area designation permits all types and densities of housing, as well as employment, retail uses, service, industrial, cultural, leisure, greenspace, entertainment and institutional uses.*

**The proposed townhouse dwellings are permitted within the General Urban Area**

**Policy 2** states that the *evaluation of development applications, studies, other plans and public works undertaken by the City in the General Urban Area will be in accordance with Section 2.5.1 and Section 4.11.*

**The following demonstrates conformity with these policies of Sections 2.5.1 and 4.11.**

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#### SECTION 2.5.1 – DESIGNING OTTAWA

Section 2.5.1 of the *Official Plan* presents Design Objectives in the form of statements which express how the City wants to influence the built environment as the city evolves. The following is a list of the Design Objectives with a description below each regarding the proposed development:

*To enhance the sense of community by creating and maintaining places with their own distinct identity.*

**The proposed development maintains the residential nature of the surrounding developing community while offering increased housing choice with townhouse dwellings that offer a more affordable manageable option for people of all life stages.**

*To define quality public and private spaces through development.*

**The proposed development is clearly defined as a private space by being a planned unit development on an internal lot. The future public park to the east and the linear park and pathway to the west will be appropriately delineated by fencing.**

*To create places that are safe, accessible and are easy to get to, and move through.*

**The proposed development improves passive surveillance of the future park to the east and the linear park and pathway to the west. The site is permeable via the two street frontages to Gartersnake Way.**

*To ensure that new development respects the character of existing areas.*

**The proposed development maintains the residential nature of the surrounding developing community.**

*To consider adaptability and diversity by creating places that can adapt and evolve easily over time and that are characterized by variety and choice. [OMB decision #2649, September 21, 2006]*

**The proposed development introduces an additional housing option to the community to increase variety and choice and affordability for residents of all ages and life stages.**

*To understand and respect natural processes and features in development design.*

**No identified Natural Heritage System features are located on the Subject Site. The Leitrim Wetland abuts the site to the north and is separated from the site to the west by an Open Space block acting as a buffer. As part of the process to create this development block, the boundary between it and the wetland was defined. Details of how stormwater will be managed are in the Stormwater Management Report which forms part of this application.**

*To maximize energy-efficiency and promote sustainable design to reduce the resource consumption, energy use, and carbon footprint of the built environment.*

**The proposed buildings represent a compact form of residential development which reduces land consumption.**

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#### SECTION 4.11 - URBAN DESIGN AND COMPATIBILITY

In accordance with Section 4.11 of the *Official Plan*, development applications are evaluated against compatibility criteria to measure their appropriateness within the surrounding local context. The following is a compatibility analysis of the proposed development based on the relevant criteria:

##### Building Design

5. *Compatibility of new buildings with their surroundings will be achieved in part through the design of the portions of the structure adjacent to existing buildings and/or facing the public realm. Proponents of new development will demonstrate, at the time of application, how the design of their development fits with the existing desirable character and planned function of the surrounding area in the context of:*
  - a. *Setbacks, heights and transition;*
  - b. *Façade and roofline articulation;*
  - c. *Colours and materials;*
  - d. *Architectural elements, including windows, doors and projections;*
  - e. *Pre- and post-construction grades on site; and*
  - f. *Incorporating elements and details of common characteristics of the area.*

**The surrounding residential built form is primarily single and double storey detached, semi-detached and townhouse dwellings with pitched roofs and brick, stone or siding finishes. The finishes proposed for the buildings - stone and siding with timber porches – are designed to be compatible with this. The proposal meets all the applicable setback requirements in the Zoning By-law except for interior yard setback and a Minor Zoning By-law Amendment will address this. The double storey buildings are consistent with Policy 3 at 3.6.1 (General Urban Area) of the Official Plan which states that: “*Building height in the General Urban Area will continue to be predominantly Low-Rise*. The Grading Plan by IBI Group that forms part of this application shows the proposed post-construction grades.**

6. *The City will require that all applications for new development:*
  - a. *Orient the principal façade and entrance(s) of main building(s) to the street.*
  - b. *Include windows on the building elevations that are adjacent to public spaces;*
  - c. *Use architectural elements, massing, and landscaping to accentuate main building entrances.*

**In relation to a), the buildings have their principal facades and stone-accentuated entrances oriented to the private streets. In relation to b), the dwellings adjacent to the future public park to the east of the subject site have their most active, glazed areas (kitchen and living) facing the park. In relation to c), the building design uses stone cladding to accentuate the dwelling entries.**

8. *To maintain a high quality, obstacle free pedestrian environment, all servicing, loading areas, and other required mechanical equipment and utilities should be internalized and integrated into the design of the base of the building where possible. If they cannot be internalized these services are to be screened from public view (i.e. trees, landscaping, decorative walls and fences etc.) and are to be acoustically dampened where possible. The location and operation these areas and equipment should be designed to maintain a pedestrian friendly environment and not impede public use of the sidewalk.*

**Mechanical equipment and utilities are integrated into the design of the building – utilities will be on the sides of the blocks and other mechanical will be located in the units. Garbage collection will be curbside by the City.**

#### Outdoor Amenity Areas

19. *Applicants will demonstrate that the development minimizes undesirable impacts on the existing private amenity spaces of adjacent residential units through the siting and design of the new building(s). Design measures include the use of transitions or terracing and the use of screening, lighting, landscaping, or other design measures that achieve the same objective.*

**To the north, east and west of the subject site is or will be future parkland and open space.**

**To the south there are no existing adjacent residential units, but in the future, there will be townhouses. Eight of the proposed dwellings are adjacent to this southern lot line. Six have their rear yards abutting the lot line and are setback at least 6m in accordance with the Zoning By-law. The closest dwellings in Blocks 1 and 5 have their side yards abutting the lot line and are both are setback 1.8m. A side yard condition will exist here, with limited glazing on this façade. Inter-looking and overshadowing will be minimal as the adjacent townhouses will be to the south of the subject site. The side façade also presents a less bulky mass to the interface.**

**The Grading Plan submitted with the application shows that the grading between the side yards on the Subject Site adjacent to the southern boundary and the rear yards on the lands to the south will tie-in. The ground level changes between the yards are generally around 0.1m and no more than 0.5m. There is no major grade change between the Subject Site and the future neighbouring townhouses. In addition, suitable privacy fencing is proposed on this interface.**

#### 4.3 LEITRIM COMMUNITY DESIGN PLAN

The Land Use Plan (Section 4) designates the subject site as low density residential. It sets out that:

*Permitted residential uses include single detached, semi-detached and duplex dwellings. Street townhouses are permitted however, they should be located near focal points within the Community, such as adjacent to parks, surrounding commercial areas or along collector roads.*

**The proposed townhouses are not strictly ‘street townhouses’ as they are located on an internal block with a private street (although the term is not defined, it is taken as townhouses with public street frontage). They are located adjacent to a park, consistent with this policy.**

Section 4.3 breaks the plan area into five zones and assigns projected number of units and densities to each. The subject site is in Zone 5 which, on a basis of a low density of 20.9 units / ha, is projected to have 1012 units.

**The number of units and the density of the proposal are consistent with the projections for Zone 5.**

Section 5 of the CDP provides specific Design Guidelines for each component of the community. Neighbourhoods are addressed at Section 5.3, which suggests that the community be split into ten neighbourhoods, each each defined by open space, natural features or major roads.

**The subject site is in a neighbourhood defined by the park to its east and the wetland and trail corridor to the north and west.**

Guidelines for all housing types are provided, with additional guidelines for townhouses provided at Section 5.6. The relevant guidelines are addressed below:

*Guidelines for all housing types*

*N2 Buildings must have front façades parallel to the road with front doors, windows, and entry features facing the road to create a consistent street wall.*

**The front facades (with front doors and windows) of the proposed dwellings align with and address the private street.**

*N3 The garage door should not protrude beyond the main front wall of the building.*

**Depending on the model, garages are either flush with the porch or project past it. The garage doors for the double garages are broken into single doors and are partially glazed, to minimise the impact. The porches and entries are clearly indicated (see Figure 7).**

*N4 Entry features and other architectural elements should be incorporated into the front elevation of the house to reduce the visual dominance of the garage and the front drive.*

**The rooflines, glazing and use of stone all draw attention to the porches of the dwellings and away from the garages.**

*N6 Corner lots and homes facing or abutting parks are priority lots within the neighbourhood. The design of these homes shall include the following considerations:*

- *where sides or flankage of buildings are visible, they should have windows, materials, and other architectural treatments equal to the front elevation of the house;*

- *fencing around front and/or exterior side yards should not block the view of the sidewalk from the house; their height shall be limited to 1.2 m, and they should be primarily open structures, not solid walls.*

**The subject site abuts a park and four dwellings back onto it. No dwellings flank the park. Although fencing has not yet been confirmed, it is standard draft plan of subdivision condition that fencing on boundary with a park is open, black vinyl-coated chain link which complies with this guideline.**

*N7 Houses facing parks should be designed with a consistent setback and fencing to help define the park space.*

**The dwellings adjacent to the park have a consistent setback and fencing.**

*N8 The setback to the main front wall of the house should be in the range of 3 - 6.0 m from the front lot line.*

**The townhouse blocks meet this requirement, with the exception of Block 4 which is setback 6.14m, still generally consistent with the guideline.**

*Guidelines for Townhouses (from Section 5.6)*

*T1 Townhouses should be mixed with other house forms so that they do not dominate an entire neighbourhood.*

**Townhouses are mixed with single dwellings in the neighbourhood.**

*T2 Architectural style and detail of townhouse blocks should complement the design of single and semi-detached units.*

**The architectural style and detail of the townhouse blocks complements the design of single or semi-detached dwellings. The blocks are visually broken up into dwellings, rather than reading as a monolithic block.**

#### 4.4 MINOR ZONING BY-LAW AMENDMENT

It is proposed to add to the current site specific urban exception [2370] to permit the lot width for a Planned Unit Development (PUD) and the interior side yard setback. As the proposal is a PUD, the lot width requirement is 18m and the Subject Site is a 'double flag' lot with two accessways, each 10m wide. Relief from the lot width requirement would be required for any reasonable development of the site as the requirement applies to all Planned Unit Developments. The impact of this is minor.

In relation to the interior side yard, As the blocks to the south will likely be developed around the same time for townhouses (they are currently vacant), the applicable setback for the southern interior yard setback on the subject site is 6m. The proposed townhouse Blocks 1 and 5 are setback 1.8m the southern lot line. A side yard condition will exist here, with limited glazing on this façade. Inter-looking and

overshadowing will be minimal as the adjacent townhouses will be to the south of the subject site. The side façade also presents a less bulky mass to the interface.

It is anomalous for the current zoning provisions on the Site to require a rear yard to rear yard interface between townhouses simply because the proposed they are in a PUD. A similar rear yard to interior side yard interface (i.e. with a side yard setback considerably less than the rear yard setback requirement) exists in countless locations across the City where there are dwellings on a grid street pattern. Selected examples are provided below:



Figure 8: Three examples of townhouses with a rear yard to side yard interface shown in red (Alasken Drive, Findlay Creek)



Figure 9: Townhouses with the rear yard to side yard interface shown in red (Brigitta and Lokoya Streets, Kanata/Glen Cairn)



Figure 10: Three examples of townhouses with the rear yard to side yard interface shown in red (Tapadero Avenue, Stittsville)



Figure 11: Four examples of townhouses with the rear yard to side yard interface shown in red (Westphalian Avenue, Stittsville)



Figure 12: Six examples of townhouses with the rear yard to side yard interface shown in red (Silvermoon Cres., Portobello Sth.)

In relation to grading, the difference between the proposed finished floor levels on the Subject Site and on future townhouses to the south is available. There is no major grade change between the Subject Site and the future neighbouring townhouses. The townhouses in Block 1 are 0.25m lower than the future townhouses to the south. The townhouses in Block 5 are 0.11m lower than the future townhouses to the south. The effect of such minor grade changes is limited to none. In addition, suitable privacy fencing is proposed on this interface.

It is suggested that the addition to the existing site specific exception be drafted with City staff.

## 5.0 | PUBLIC CONSULTATION STRATEGY

It is proposed to consult with the public through the legislated public consultation requirements. This includes a sign on the site, the posting of the application on the City's 'DevApps' website and notification of and possible liaison with the local Councillor. Full details are available under 'Community and Neighbourhood Notification' on the City's website. This is considered sufficient on the basis that the subject site is located in an approved subdivision and the zoning is already in place. Neighbours will have the opportunity to comment on the proposal via the notification requirements.

## 6.0 | CONCLUSION

It is our assessment that the proposed development is consistent with the *Provincial Policy Statement*, conforms to the *City of Ottawa's Official Plan*, complies with the provisions of the *Zoning By-Law 2008-250* except for the lot width and interior side yard setback which are addressed through a Minor Zoning By-law Amendment. The proposal respects the applicable design guidelines found in the *Official Plan* and the *Leitrim CDP*.

This planning rationale, along with the associated technical studies, supports the proposed development. The proposed development is compatible in scale with the existing residential development and functions well within the surrounding context. The proposed development is an appropriate and desirable addition to the community and represents good planning.

Sincerely,

### NOVATECH

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