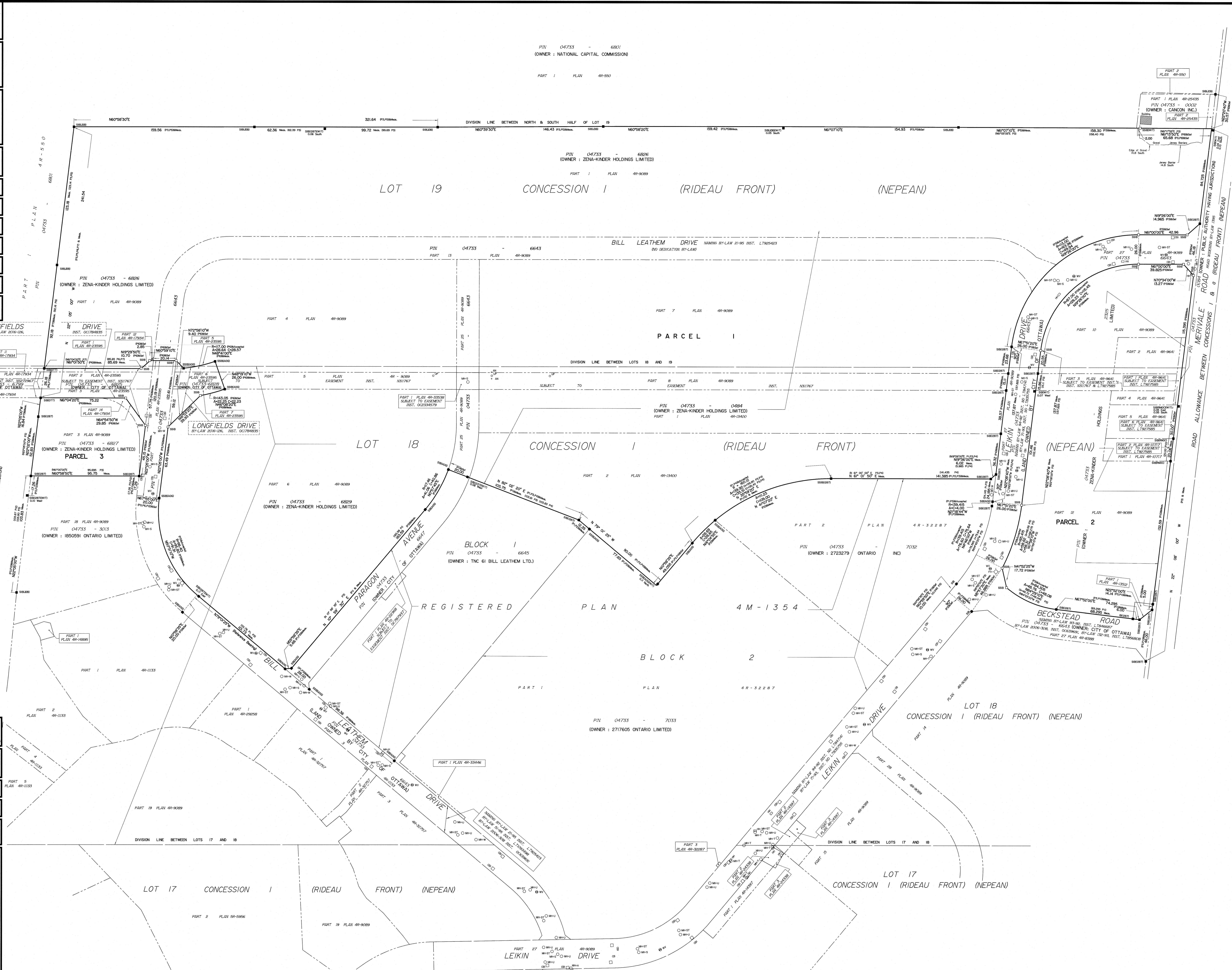


- 1 MONUMENTS HAVE BEEN PLACED AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SURVEYED PROPERTY UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES MONUMENTS IN CLOSE PROXIMITY OF THE CORNER.
- 2 ALTAACSM LAND TITLE SURVEY OF
South Nervale Business Park
OTTAWA, ONTARIO
- 3 FLOOD INFORMATION
THE PROPERTY IS NOT LOCATED IN A 100-YEAR FLOOD PLAIN OR IN AN AREA SUBJECT TO A REGULATION PURSUANT TO THE CONSERVATIONS AUTHORITIES ACT (ONTARIO) DESIGNATING IT AS AN AREA SUSCEPTIBLE TO FLOODING OR WHERE FILLING IN OF LAND IS PROHIBITED OR WHERE DIVERTING OR ALTERING A STREAM OR WATERCOURSE IS PROHIBITED.
- 4 LAND AREA
PARCEL 1 = 30.58248 HECTARES (75.57 ACRES)
PARCEL 2 = 3.79887 HECTARES (9.387 ACRES)
PARCEL 3 = 0.63822 HECTARES (1.572 ACRES)
- 6 ZONING INFORMATION
LIGHT INDUSTRIAL, SUBZONE 9-11.9
- 7 BUILDING INFORMATION
NO BUILDINGS.
- 8 SUBSTANTIAL FEATURES
NO SUBSTANTIAL FEATURES.
- 9 PARKING STRUCTURES
REGULAR = 0 HANDICAP = 0 TOTAL = 0
- 11 UNDERGROUND SERVICES
SEE PLAN FOR VISIBLE HARDWARE ONLY. NO UNDERGROUND LOCATES WERE PERFORMED.
- 13 ADJOINING OWNERS
SEE PLAN.
- 14 ACCESS TO THE NEAREST INTERSECTING STREET
THE PROPERTY FRONTS ONTO LEIKIN DRIVE, PARAGON AVENUE, BILL LEATHEM DRIVE AND LONGFIELDS DRIVE.



KEY PLAN Not to Scale

NORTH ARROW & SCALE

Scale 1 : 1000

Metric DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 3.048

SHEET 1 OF 1

PLAN OF SURVEY OF

PIN 04733-6826(LT),
PART OF PIN 04733-6643(LT),
PIN 04733-6829(LT),
PIN 04733-0484(LT),
PIN 04733-6827(LT) and
PIN 4733-2325(LT)
PART OF LOTS 18 and 19
CONCESSION 1 (RIDEAU FRONT)
Geographic Township of Nepean

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

THIS SURVEY DESCRIBES AND DELIMITS THE SAME LAND AS DESCRIBED IN THE TITLE COMMITMENT AS REFERENCED ABOVE.

- SURVEYOR'S NOTES**
- Note 1:** The subject property has access to public utilities from the public streets adjacent to the subject property.
- Note 2:** The subject property abuts, without gaps or strips, and has vehicular and pedestrian ingress to and egress from Leikin Drive, Paragon Avenue, Bill Leatham Drive and Longfields Drive, which are completed, dedicated and accepted public rights of way.
- Note 3:** Except as shown and noted on this Survey, based on a careful physical inspection of the subject property, a zoning report or letter provided by the client, and matters of record or provided by the title company or client, there are no visible:
(i) height or bulk restrictions, setback lines, parking requirements, party walls, encroachments or overhangs of any improvements upon any easement, right-of-way or adjacent land or encroachment of the improvements located on adjacent land onto the subject property other than as noted on the plan.
- Note 4:** The subject property does not appear to serve any adjoining property for utilities, drainage, structural support or ingress or egress.
- Note 5:** The legal description on and depiction of the subject property contained in the survey describe and depict the same property described in the legal description contained in that certain Title Commitment/Preliminary Report issued by _____ on _____ under Order No. _____ (No report provided).
- Note 6:** The record description of the subject property forms mathematically closed figures.
- Note 7:** There is no observed evidence of the site being used as a solid waste dump, sump or sanitary landfill.
- Note 8:** The survey reflects the location of wetlands on the subject property based on the wetland delineation provided by the client. (No report provided).

- 16 EARTH MOVING NOTE
THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- 17 PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES
THERE IS NO OBSERVABLE EVIDENCE OF CHANGES TO EXISTING RIGHTS-OF-WAY OF PUBLIC STREETS.
- 18 EASEMENTS
EASEMENT IN FAVOR OF THE CITY OF OTTAWA (AS IN INSTRUMENTS N311767 & N311767) AS ILLUSTRATED ON THE PLAN.
- 19 PROFESSIONAL LIABILITY INSURANCE POLICY
PROVIDED IN SEPARATE DOCUMENT.
- BEARING NOTE**
BEARINGS ARE GRID, DERIVED FROM THE WESTERLY LIMIT OF BILL LEATHEM DRIVE SHOWN TO BE N79°07'25"W ON PLAN 4R-32287 AND ARE REFERRED TO THE CENTRAL MERIDIAN OF MAP ZONE 18 UTM (NAD 83) (GRID).
- LEGEND AND ABBREVIATIONS**
- | | | | |
|---|-----------------------------------|---|---------------------------------|
| ○ | SURVEY MONUMENT PLANTED | ○ | FIRE HYDRANT |
| ■ | SURVEY MONUMENT FOUND | ○ | WATER VALVE |
| ▬ | STANDARD IRON BAR | ○ | MAINTENANCE HOLE (STORM SEWER) |
| ▬ | SHORT STANDARD IRON BAR | ○ | MAINTENANCE HOLE (SEWER) |
| ▬ | IRON BAR | ○ | MAINTENANCE HOLE (WATER) |
| ▬ | SURVEY MONUMENT 0.3 metres LONG | ○ | MAINTENANCE HOLE (UNIDENTIFIED) |
| ▬ | WITNESS | ○ | MAINTENANCE HOLE (TRAFFIC) |
| ▬ | MEASURED | ○ | MAINTENANCE HOLE (DRAIN) |
| ▬ | ANNIS, O'SULLIVAN, VOLLEBAKK LTD. | ○ | MAINTENANCE HOLE (UNIDENTIFIED) |
| ▬ | REGISTERED PLAN 4M-1354 | ○ | CATCH BASIN INLET |
| ▬ | PLAN 4R-2088 | ○ | CATCH BASIN |
| ▬ | PLAN 4R-2400 | ○ | HANDHOLE |
| ▬ | PLAN 4R-500 | ○ | HANDHOLE |
| ▬ | PLAN 4R-2304 | ○ | HANDHOLE |
| ▬ | PLAN 4R-17934 | ○ | HANDHOLE |
| ▬ | PLAN 4R-23435 | ○ | HANDHOLE |
| ▬ | PLAN 4R-8641 | ○ | HANDHOLE |
| ▬ | PLAN 4R-10717 | ○ | HANDHOLE |
| ▬ | PLAN 4R-13812 | ○ | HANDHOLE |
| ▬ | PLAN 4R-11153 | ○ | HANDHOLE |
| ▬ | UTILITY POLE | ○ | HANDHOLE |
| ▬ | ANCHOR | ○ | HANDHOLE |

SURVEYOR'S CERTIFICATE
ALTAACSM Land Title Survey
Surveyor's Certification

To: Medusa Limited Partnership & Medusa Coinvest Limited Partnership
16766 Rte Trans-Canada, Suite 500
Kirkland, Québec H9H 4M7

This is to certify that this map or plat and the survey on which it is based were made in accordance with the Minimum Standard Detail Requirements for ALTAACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 8, 9, 11, 13, 14, 16, 17 and 18 of Table A thereof. The work was completed on March 30th, 2021.

Registered Surveyor: V. Andrew Shelp
Ontario Land Surveyor No. 1718
In the Province of Ontario
Date of Survey: March 30th, 2021
AOV Reference: 21282-21

Surveyor's Certificate
I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Survey Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 30th day of March, 2021.

Annis, O'Sullivan, Vollebakk Ltd.
Date: _____
Annis, O'Sullivan, Vollebakk Ltd.
Ontario Land Surveyor

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
2165344

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