

ABBREVIATIONS

Table of abbreviations with columns for symbol, description, and unit. Includes terms like FUTURE, QUANTITY, QUARRY TILE, etc.

Table of symbols with columns for symbol, description, and unit. Includes symbols for ALIGN, ROOM NAME, ROOM NUMBER, etc.

SORTATION FACILITY

99 BILL LEATHEM DRIVE, 2 LEIKIN DRIVE AND 20 LEIKIN DRIVE OTTAWA, ONTARIO

PROJECT TEAM

OWNER / DEVELOPER

Medusa LP. 16766 rte Trans-Canada, Suite 500 Kirkland, Quebec, H9H 4M7

ARCHITECT

WARE MALCOMB

180 BASS PRO MILLS DR #103 VAUGHAN, ONTARIO, CANADA L4K 5W4

A. SANABRIA P. 905.780.1221 F. 905.248.3344

GENERAL CONTRACTOR

BROCCOLINI CONSTRUCTION INC.

BROCCOLINI CONSTRUCTION INC. 130 SLATER STREET, SUITE 300 OTTAWA, ONTARIO K1P 6E2

DEVELOPER CONSULTANTS

ELECTRICAL ENGINEER

HAMMERSCHLAG & JOFFE INC. 43 LESMILL ROAD, TORONTO, ONTARIO, CANADA M3B 2T8

ALBERT VALKENBURG, P. ENG PH: (416) 444-9283 EXT. 251 M: (416) 459-5030 E-MAIL: albert.valkenburg@hamjof.com

MECHANICAL ENGINEER

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STRUCTURAL ENGINEER

SENSE ENGINEERING 60 RYEBURN DRIVE OTTAWA, ON K1V 1H5

ALBERT CELLI PH: (613) 714-3981 C: (613) 884-4785 E-MAIL: albert@senseengineering.com

FIRE PROTECTION ENGINEER/CODE CONSULTANT

CIVELEC CONSULTANTS, INC. 3900, COTE-VERTEL, SUITE 200 MONTREAL QUEBEC, H3R 1V4

PAUL LHOTSKY, PH.D., P. ENG. PH: (514) 337-2600 FAX: (514) 337-2610 CEL: (514) 592-8316 E-MAIL: paul@civelec.com

CIVIL ENGINEER

NOVATECH 240 Michael Cowpland Drive, Suite 200, Ottawa, ON, K2M 1P6

J. LEE SHEETS PH: (613) 254-9643 FAX: (613) 254-5867

GEOTECHNICAL ENGINEER

GHD

ALEXANDER FIORILLI PH: 514.339.0100 ALEXANDER.FIORILLI@GHD.COM

LANDSCAPE ARCHITECT

NOVATECH 240 Michael Cowpland Drive, Suite 200, Ottawa, ON, K2M 1P6

RYAN JAMES PH: (905) 751-5588 FAX: (905) 751-5589

OWNER'S CONSULTANTS

INCORP. DESIGN BULLETIN LOG:

Table with columns: Applicability, DB #, Version, Date. Lists design bulletins like Touchless Faucet Fixtures, HVAC Filter MERV Change, etc.

DESIGN CHANGE INSTRUCTIONS (DCIs)

Table with columns: Applicability, DCI #, Version, Date. Lists design change instructions like Geotechnical Design Criteria Update, IT Infrastructure, etc.

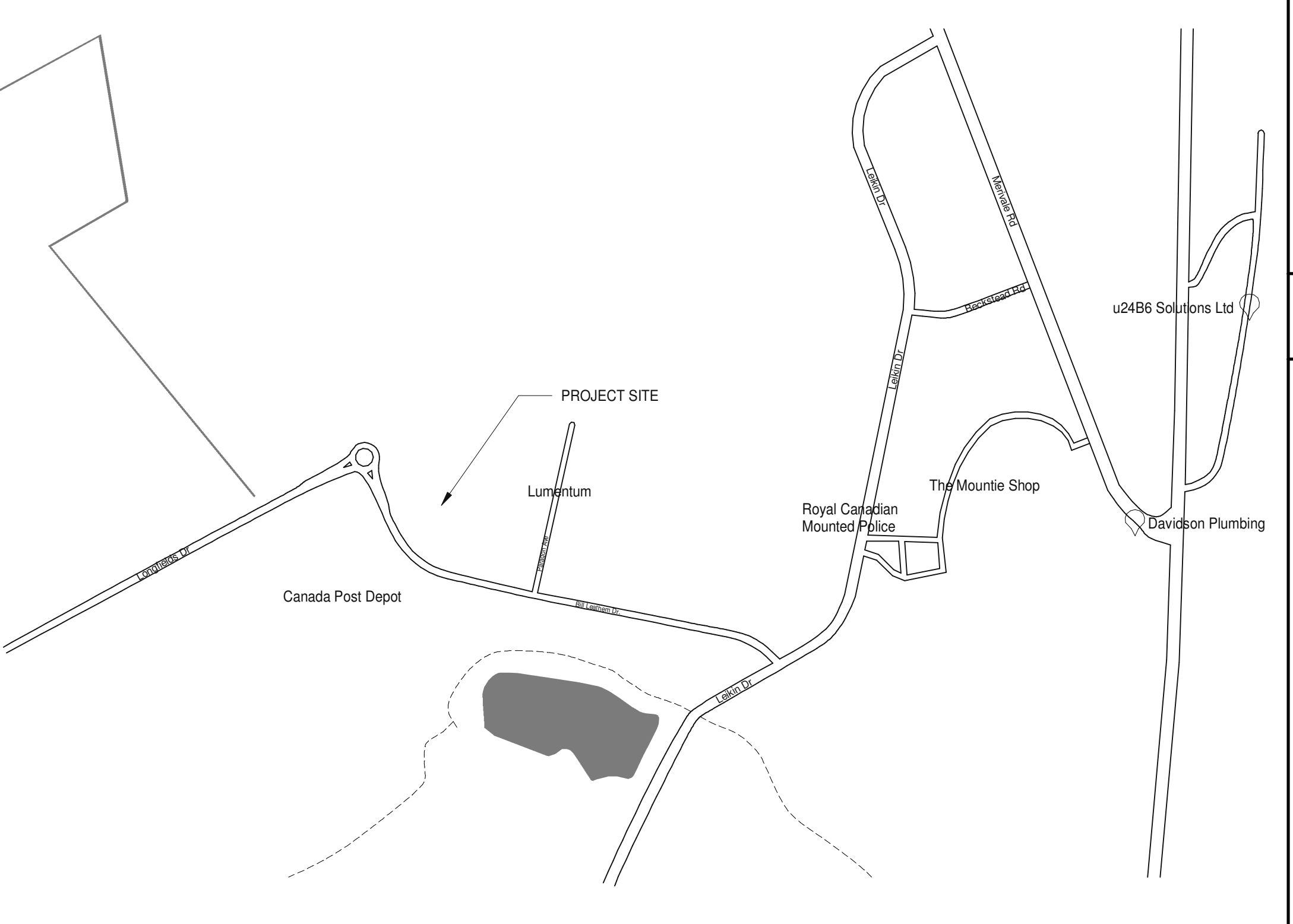
DESIGN STANDARDS:

Table with columns: NAME, VERSION, DATE. Lists standards like BUILDING: DESIGN CRITERIA, IT: IT INFRASTRUCTURE DESIGN A.M.E. GLOBAL - NORTH AMERICAN FULFILLMENT CENTERS STANDARDS, SECURITY: B.O.D. : FC GLOBAL DESIGN STANDARDS LIGHTING STANDARD, etc.

REVISION LOG:

Table with columns: DATE, REMARKS. Shows revision history for SPA COMMENTS #1.

VICINITY MAP



WARE MALCOMB Leading Design for Commercial Real Estate. Includes contact info for architecture, planning, graphics, and civil engineering.

ONTARIO ASSOCIATION OF ARCHITECTS. Includes contact info for AMANDA K. ARONSON, LICENCE #712.

SORTATION FACILITY 99 BILL LEATHEM DRIVE, 2 LEIKIN DRIVE AND 20 LEIKIN DRIVE OTTAWA, ONTARIO

TITLE SHEET. Includes fields for DATE, ISSUE FOR SITE PLAN APPROVAL, SPA COMMENTS #1, and a table for tracking.

FILE NUMBER: D07-12-21-0079 PLAN NUMBER: 18474. SHEET A0.0. Includes fields for P.A.P.M., DRAWN BY, JOB NO., and SHEET number.

"OUTBOUND" GUARDHOUSE OBC MATRIX

NAME OF PRACTICE: 250 University Ave, Suite #235 Toronto, Ontario, Canada M5H 3E5
NAME OF PROJECT: GUARDHOUSE SORTATION FACILITY
LOCATION: 99 BILL LEATHEM DRIVE, 2 LEIKIN DRIVE AND 20 LEIKIN DRIVE OTTAWA, ONTARIO



"INBOUND" GUARDHOUSE OBC MATRIX

NAME OF PRACTICE: 250 University Ave, Suite #235 Toronto, Ontario, Canada M5H 3E5
NAME OF PROJECT: GUARDHOUSE SORTATION FACILITY
LOCATION: 99 BILL LEATHEM DRIVE, 2 LEIKIN DRIVE AND 20 LEIKIN DRIVE OTTAWA, ONTARIO



"SORTATION FACILITY" OBC MATRIX

NAME OF PRACTICE: 250 University Ave, Suite #235 Toronto, Ontario, Canada M5H 3E5
NAME OF PROJECT: SORTATION FACILITY
LOCATION: 99 BILL LEATHEM DRIVE, 2 LEIKIN DRIVE AND 20 LEIKIN DRIVE OTTAWA, ONTARIO



Table with 20 rows and 4 columns for 'OUTBOUND' matrix. Includes project description, area calculations, storey counts, and fire safety requirements.

Table with 20 rows and 4 columns for 'INBOUND' matrix. Includes project description, area calculations, storey counts, and fire safety requirements.

Table with 20 rows and 4 columns for 'SORTATION FACILITY' matrix. Includes project description, area calculations, storey counts, and fire safety requirements.

WARE MALCOLM Leading Design for Commercial Real Estate

Ontario Association of Architects logo and contact information

Ontario Association of Architects logo and contact information

SORTATION FACILITY 99 BILL LEATHEM DRIVE, 2 LEIKIN DRIVE AND 20 LEIKIN DRIVE OTTAWA, ONTARIO

Table with 2 columns: DATE (2021-05-31, 2021-07-23) and REMARKS (ISSUE FOR SITE PLAN APPROVAL, SPA COMMENTS #1)

Table with 2 columns: P.A.P.M. (J OVIEDO), DRAWN BY (S.Z), JOB NO. (TOR21-5008-00)

SHEET A0.1a

FILE NUMBER: D07-12-21-0079 PLAN NUMBER: 18474

NOTE:  
LEGAL SURVEY AND BASIS OF PROPERTY  
BOUNDARIES WAS DERIVED FROM SURVEY BY  
ANNIS, O'SULLIVAN, VOLLEBEKK LTD  
FOR THE PIN NUMBERS DATED ON 4/21/21

PIN 0473-6826 (LT),  
PART OF PIN 04733-6643 (LT),  
PIN 0473-6829 (LT),  
PIN 0473-5454 (LT),  
PIN 0473-6827 (LT), AND  
PIN 4733-2325 (LT)  
PART OF LOTS 18 & 19  
CONCESSION 1 (RIDEAU FRONT)  
GEOGRAPHIC TOWNSHIP OF NEPEAN

PROJECT DATA  
ZONING DESIGNATION: "L-9"  
PROPOSED USE: Light Industrial Sortation Centre and Office  
SITE AREA:  
TOTAL SITE AREA: 305,807.6m<sup>2</sup> (75.56 ACRES)  
AREA "A": DEVELOPABLE  
AREA OF DEVELOPMENT: 140,088.93 m<sup>2</sup> (34.61 ACRES)  
AREA "B": FUTURE DEVELOPMENT  
AREA OF DEVELOPMENT: 27,974.08m<sup>2</sup> (6.91 ACRES)  
AREA "C": FUTURE DEVELOPMENT  
AREA OF DEVELOPMENT: 115,263.30m<sup>2</sup> (28.48 ACRES)  
AREA "D": PRIVATE ROAD / SWM POND  
AREA OF DEVELOPMENT: 22,481.29m<sup>2</sup> (5.55 ACRES)

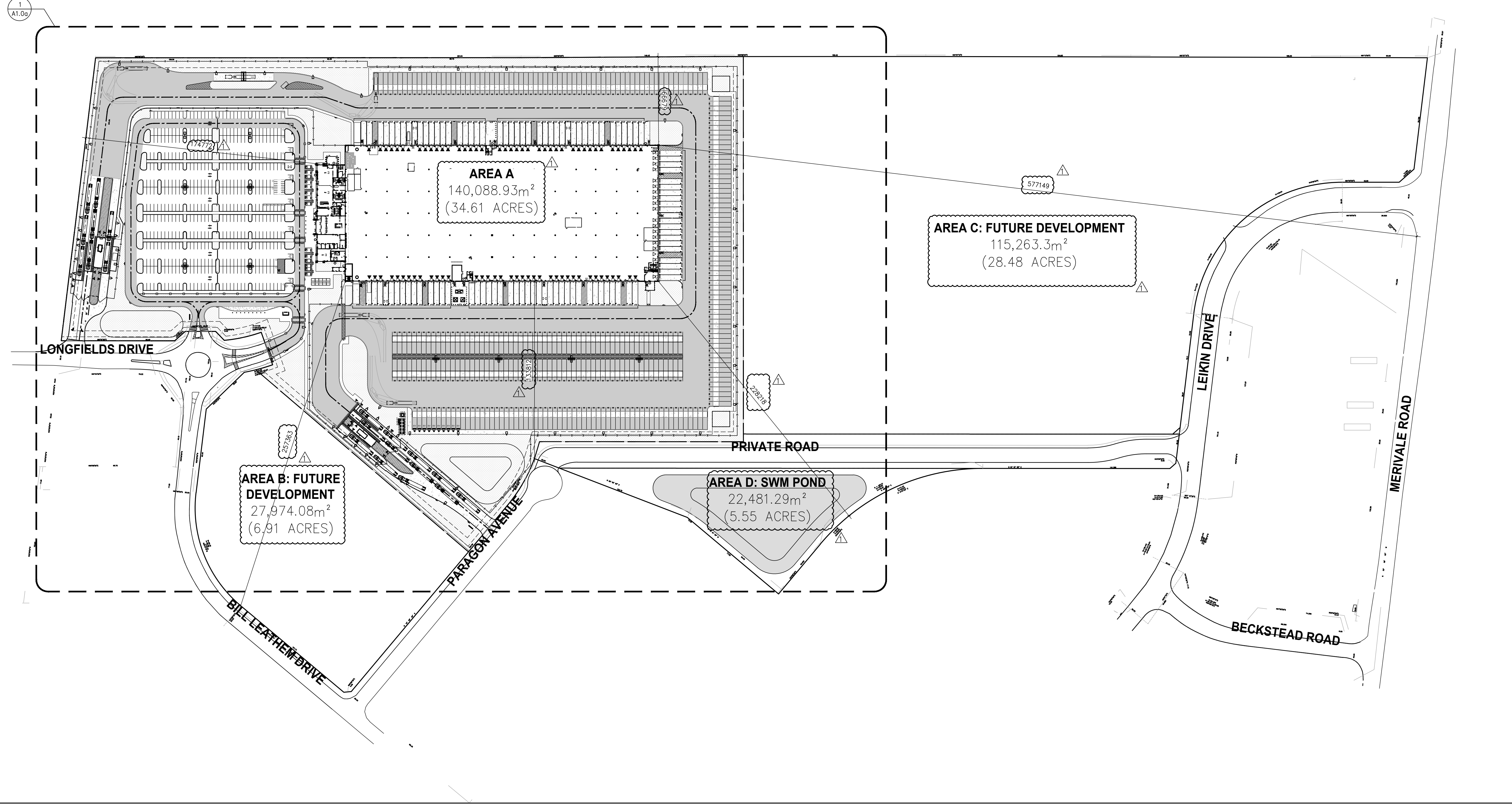
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ONTARIO ASSOCIATION  
OF ARCHITECTS  
*allan*  
AMANDA PAROSANABRIA  
LICENCE #712

**SORTATION FACILITY**  
99 BILL LEATHER DRIVE, 2 LEIKIN DRIVE  
AND 20 LEIKIN DRIVE  
OTTAWA, ONTARIO



OVERALL SITE PLAN  
SCALE: 1:1400

**PROJECT TEAM**

**OWNER/DEVELOPER**

**MEDUSA LP.**

16766 TRANS-CANADA HWY #500  
SUITE 500  
KIRKLAND, QUEBEC, CANADA H9H 4M7

**ARCHITECT**

**WARE MALCOMB**

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FAX: (905) 751-5588

**SURVEYOR**

ANNIS, O'SULLIVAN, VOLLEBEKK LTD  
14 CONCORSE GATE, SUITE 15  
NEPEAN ON K2E 7S6

PH: (613) 727-0850  
FAX: (613) 727-1079

**SITE LEGEND**

- HEAVY DUTY PAVEMENT (HATCHED)  
REFER TO CIVIL DWG'S
- LANDSCAPED AREA (HATCHED)  
REFER TO LANDSCAPE DWG'S
- CONCRETE (HATCHED)  
REFER TO CIVIL DWG'S
- NOTE: NON-HATCHED PAVING IN DRIVE AISLES IS  
NON-HEAVY DUTY ASPHALT
- FIRE ACCESS ROUTE WITH 12.0M TURNING RADIUS
- TRUCK LOADING DOCK DOOR
- SERVICE DOOR
- KNOCKOUT PANEL
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIV (VERIFY LOCATION WITH CIVIL DRAWINGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED WALL MOUNTED LIGHTING  
(VERIFY WITH ELECTRICAL DRAWINGS)
- PROPOSED STOP SIGN
- PROPOSED LIGHTING POLE (VERIFY WITH  
ELECTRICAL DRAWINGS)
- FIRE ACCESS ROUTE SIGN
- CAR COUNT

**OVERALL SITE PLAN**

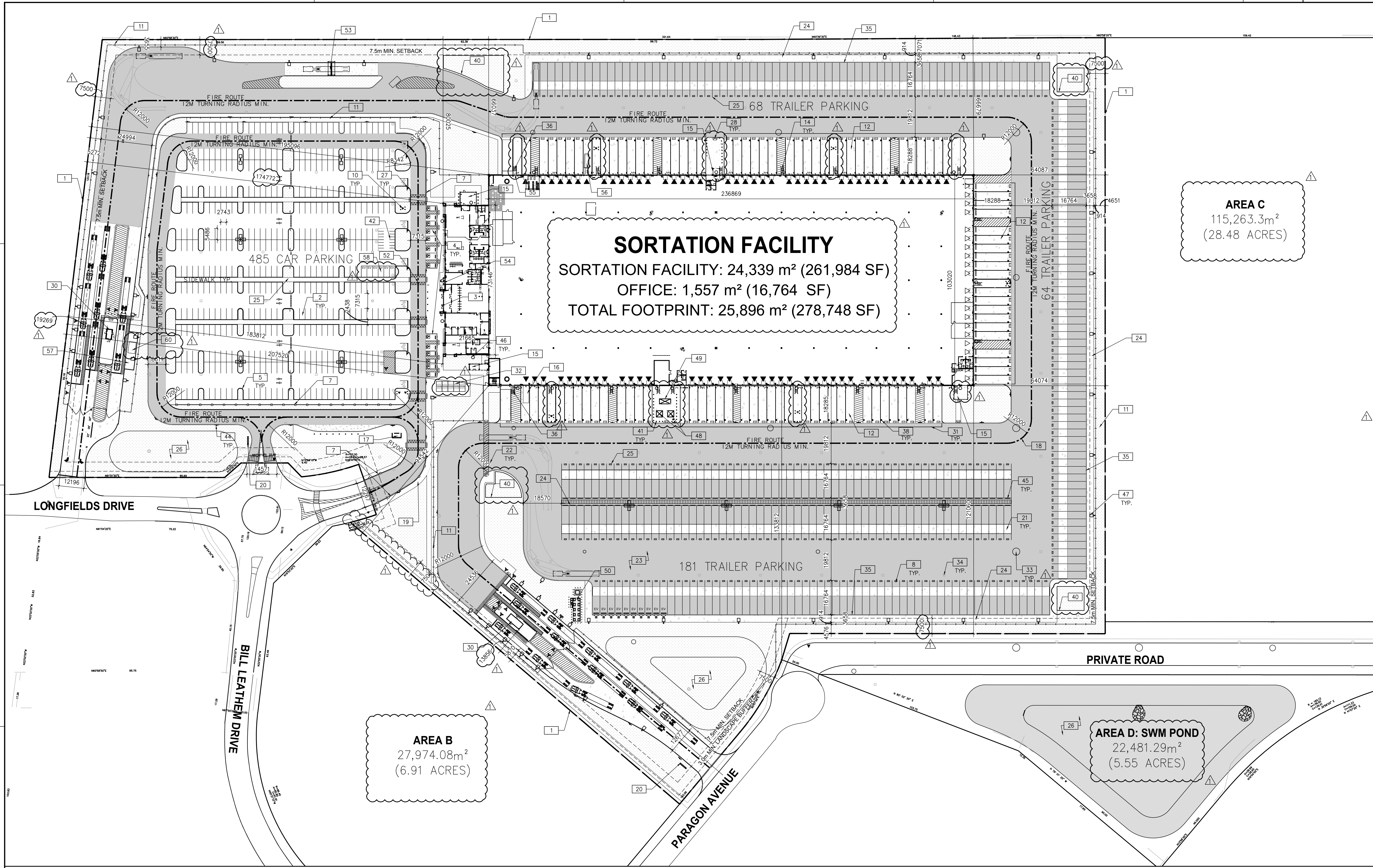
DATE	REMARKS
2021-05-31	ISSUED FOR SITE PLAN APPROVAL
2021-07-23	SPA COMMENTS #1
2022-07-23	SPA COMMENTS #1

PA/PM:	A. SANABRIA
DRAWN BY:	D.V.
JOB NO.:	TOR21-5008

SHEET

**A1.0**

FILE NUMBER: D07-12-21-0079  
PLAN NUMBER: 18474



**PROJECT DATA**  
 ZONING DESIGNATION: "IL-9"  
 PROPOSED USE: Light Industrial Sortation Centre and Office  
 SITE AREA:  
 TOTAL SITE AREA: 305,807.6m<sup>2</sup> (75.56 ACRES)  
 AREA "A"  
 AREA OF DEVELOPMENT: 140,088.93m<sup>2</sup> (34.61 ACRES)  
 AREA "A" STATISTICS  
 PAVED AREA 80,058.82 SM (861,728 SF)  
 LANDSCAPED AREA 34,135.39 SM (367,430 SF)  
 BUILDING AREA:  
 OFFICE 1,557 SM 16,764 SF  
 SORTATION FACILITY 24,339 SM 261,984 SF  
 TOTAL 25,896 SM 278,748 SF  
 GUARDHOUSE (PRIMARY GUARDHOUSE) 39.52 SM 425.3 SF  
 (SECONDARY GUARDHOUSE) 25.77 SM 277.3 SF  
 (SECONDARY GUARDHOUSE) 13.75 SM 148 SF  
 GROSS LOT COVERAGE (INCL. AREA A,B,C,D) 8.49%

**AREA C**  
 115,263.3m<sup>2</sup>  
 (28.48 ACRES)

**SORTATION FACILITY**  
 SORTATION FACILITY: 24,339 m<sup>2</sup> (261,984 SF)  
 OFFICE: 1,557 m<sup>2</sup> (16,764 SF)  
 TOTAL FOOTPRINT: 25,896 m<sup>2</sup> (278,748 SF)

**AREA B**  
 27,974.08m<sup>2</sup>  
 (6.91 ACRES)

**AREA D: SWM POND**  
 22,481.29m<sup>2</sup>  
 (5.55 ACRES)

**ZONING BY-LAW MATRIX**

ZONING STANDARD	REQUIREMENTS	PROPOSED
MIN. LOT AREA	3,000m <sup>2</sup>	305,807.65m <sup>2</sup>
MIN. LOT WIDTH	50m	85.06m
MAX. FLOOR SPACE INDEX	2.0	0.08 SM
MAX. BUILDING COVERAGE (AREA A,B,C,D)	60%	8.64%
MIN. FRONT YARD	6m	577.14m
MIN. CORNER SIDE YARD (EAST)	6m	228.21m
MIN. CORNER SIDE YARD (SOUTH)	6m	257.36m
MIN. REAR YARD	6m	174.77m
MIN. INTERIOR SIDE YARD (NORTH)	7.5m	66.67m
MIN. INTERIOR SIDE YARD (SOUTH)	7.5m	133.81m
MAX. BUILDING HT.	22m	12.67m

**PARKING REQUIREMENTS**

APPLICABLE PARKING STALL REQUIREMENTS:  
 MINIMUM EXTERIOR PARKING SPACE DIMENSION: 2.6M X 5.2M  
 INDUSTRIAL: 0.8 SPACES PER 100M<sup>2</sup> FOR FIRST 5000M<sup>2</sup> G.F.A  
 0.4 SPACES PER 100M<sup>2</sup> ABOVE 5000M<sup>2</sup> G.F.A.  
 OFFICE: 2.4 SPACES PER 100M<sup>2</sup> OF G.F.A.

MIN. RATE	REQUIREMENTS	PROPOSED
-	-	16
-	31	40
INDUSTRIAL	5,000 sm 0.8/100m <sup>2</sup>	40
OFFICE	19,339 sm 0.4/100m <sup>2</sup>	77
OFFICE	1,557 sm 2.4/100m <sup>2</sup>	38
TOTAL	155	485

**ACCESSIBLE PARKING TOTAL**

REQUIREMENTS	PROPOSED
TYPE A PARKING SPACES	6
TYPE B PARKING SPACES	6
LOADING SPACES	5
DOCK DOORS	-
KNOCKOUT PANELS	-

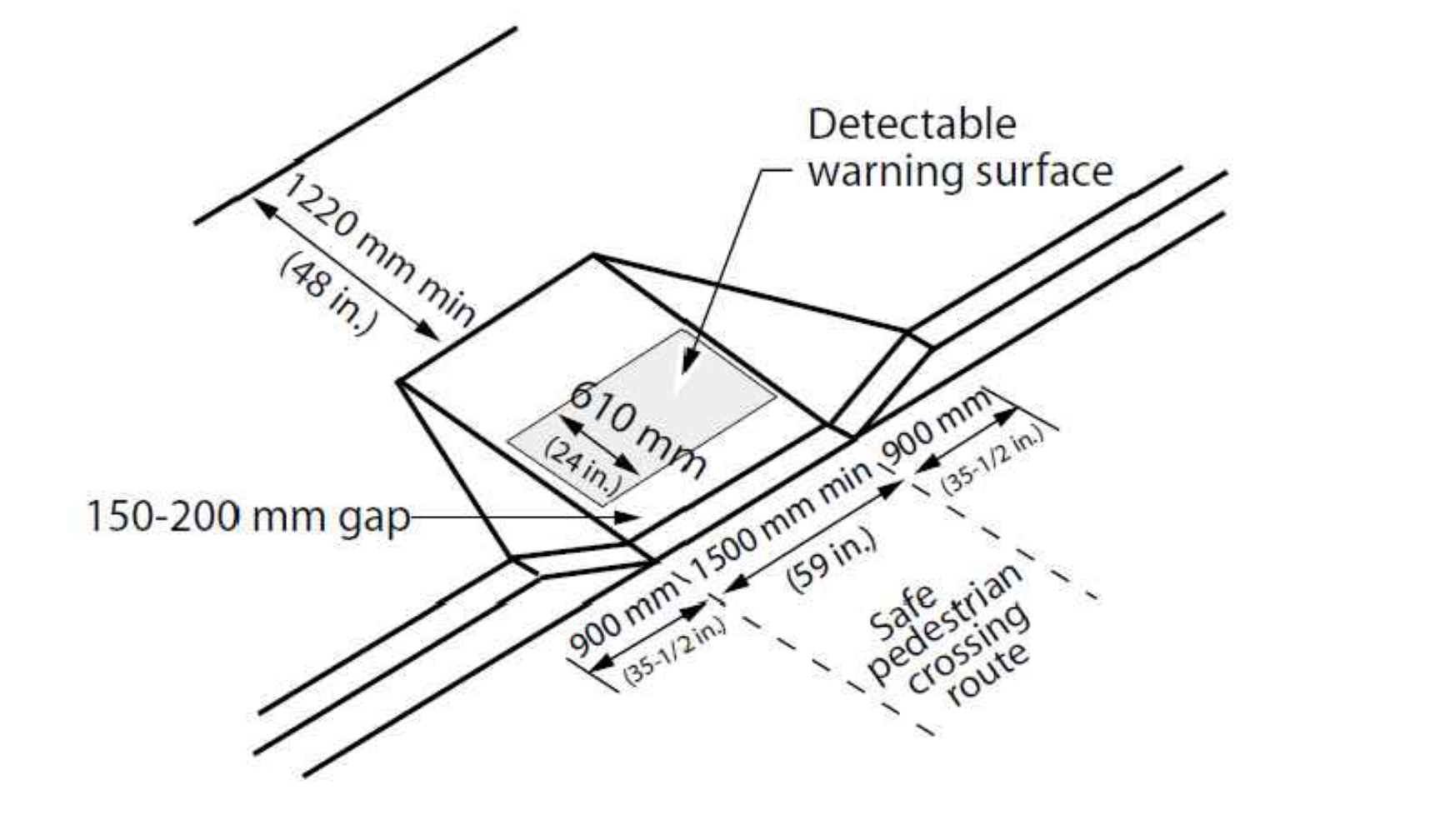
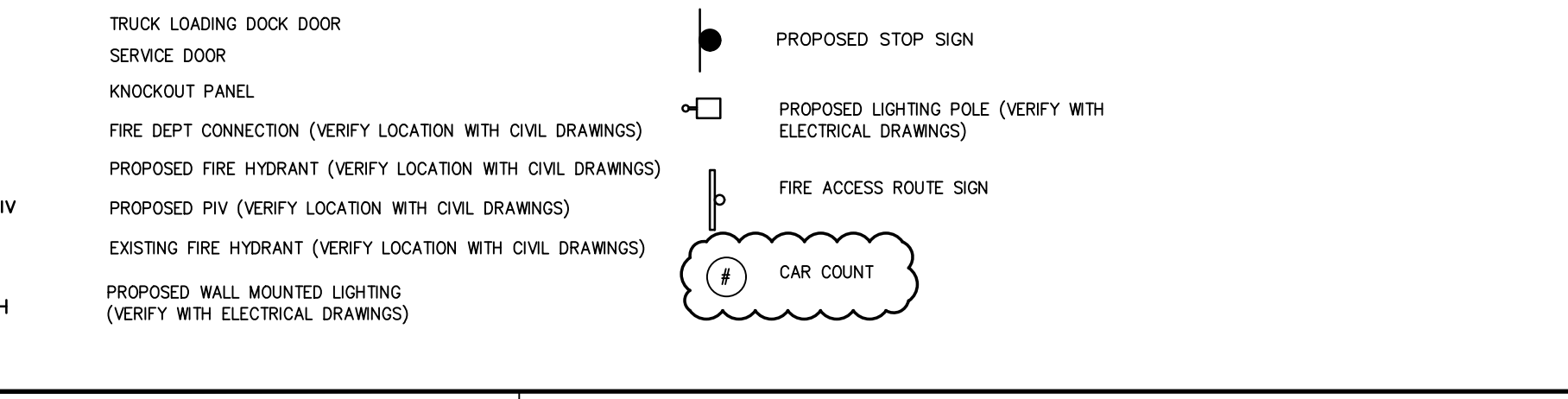
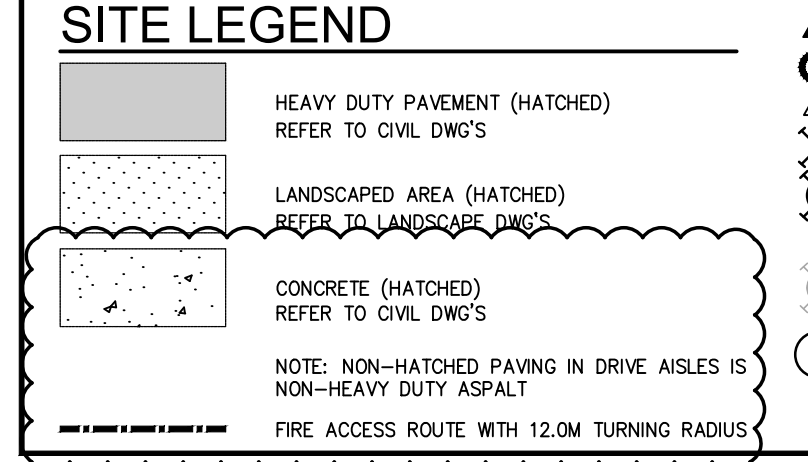
**OVERALL SITE PLAN - SITE A**

SCALE: 1:800

- GENERAL NOTES**
- PROPERTY LINE
  - 2743mmx5486mm PARKING STALL
  - PRINCIPLE ENTRY
  - BARRIER FREE ACCESSIBLE PARKING STALLS WITH PAINTED PARKING STRIPING WITH MINIMUM DIMENSIONS OF 3.4m BY 5.2m (TYPE A) AND 2.4m BY 5.2m (TYPE B) WITH 1.5m ACCESSIBLE AISLES ADJACENT.
  - 150mm WIDE CONCRETE CURB - REFER TO CIVIL DWG'S
  - POST INDICATOR VALVE. PROVIDE 4 BOLLARDS - REFER TO SPRINKLER DWG'S
  - DECORATIVE HALF-HEIGHT PEDESTRIAN GUARDRAIL - REFER TO LANDSCAPE
  - TRAILER PARKING
  - FIRE DEPARTMENT CONNECTION / SIAMISE
  - FIRE HYDRANT. PROVIDE 4 BOLLARDS - REFER TO SPRINKLER DWG'S
  - CHAIN LINK FENCE
  - CONCRETE APRON
  - LANDSCAPE AREA - SEE LANDSCAPE DWGS.
  - EXTERIOR GALVANIZED STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
  - SMOKER'S SHELTER
  - RECYCLING BIN

- PREFABRICATED SHELTER & DROP-OFF AREA. PROVIDE CONCRETE PAD BASE.
- FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS
- 3m WIDE ASPHALT MULTI-USE PATH
- MONUMENT SIGNAGE
- CONCRETE DOLLY PAD
- PEDESTRIAN PATHWAY YELLOW PAINTED LINES
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS - REFER TO CIVIL DWG'S
- INSPECTION SIDEWALK
- MUSTER POINT
- STORMWATER MANAGEMENT POND - REFER TO CIVIL DWG'S
- PROPOSED STOP SIGN LOCATION
- TYPICAL CURB RAMP - REFER TO DETAIL 2/A1.0
- SIGHT TRIANGLE - REFER TO TRAFFIC
- PRECAST GUARDHOUSE WITH TRUCK QUEUING
- WARNING LINE
- BIKE STORAGE
- MANHOLE - REFER TO CIVIL DWGS.
- CATCH BASIN - REFER TO CIVIL DWGS.
- 305mm HIGH REQUIRED CONCRETE CURB
- CONCRETE STAIR
- RESERVED
- LOADING DOCK LINEWORK AS PER CLIENT STANDARDS
- RESERVED
- RESERVED
- SNOW STORAGE
- CONCRETE SAFETY BOLLARD
- 1420MM x 2840MM MOTORCYCLE PARKING SPACE
- RESERVED
- FIRE ROUTE ACCESS SIGNAGE
- WHEELSTOPS
- WALL PACK LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS
- POLE LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS
- PROPOSED TRANSFORMER - REFER TO ELECTRICAL DWGS
- PROPOSED GENERATOR - REFER TO ELECTRICAL DWGS
- ELECTRICAL VEHICLE CHARGING STATION - REFER TO ELECTRICAL DWGS.
- RESERVED

- SPEED HUMP - LEVEL WITH SIDEWALK WITH NO CURB DEPRESSION
- YETI SNOW REMOVAL
- FLAG POLE
- TOM DOOR
- COMPACTOR
- HOLSTER PARKING
- EV PARKING WITH CHARGING STALLS
- SEWER EASEMENT AS PER CITY OF OTTAWA STANDARDS
- PROPOSED BLOCK HEATER (2) LOCATION FOR HOSTLERS. REFER TO ELECTRICAL DWGS



**FILE NUMBER: D07-12-21-0079**  
**PLAN NUMBER: 18474**

**WARE MALCOLM**  
 Leading Design for Commercial Real Estate

Ontario Association of Architects  
 License 7712

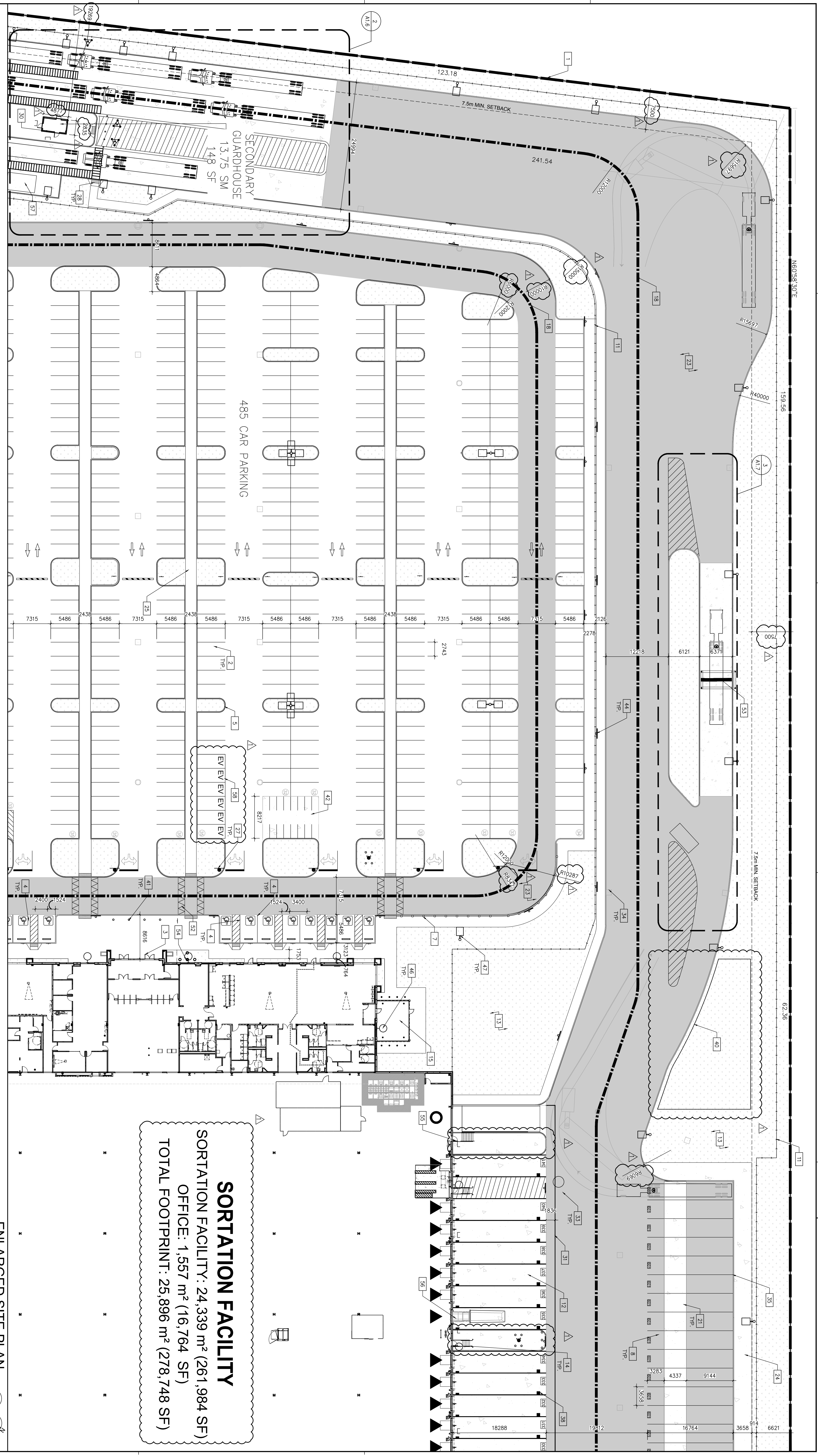
**SORTATION FACILITY**  
 99 BILL LEATHAM DRIVE, 2 LEIKIN DRIVE  
 AND 20 LEIKIN DRIVE  
 OTTAWA, ONTARIO

**OVERALL SITE PLAN - SITE A**

ISSUED FOR SITE PLAN APPROVAL  
 DATE: 2022-05-31  
 DRAWN BY: D.V.  
 JOB NO.: TOR21-5008

**A1.0a**

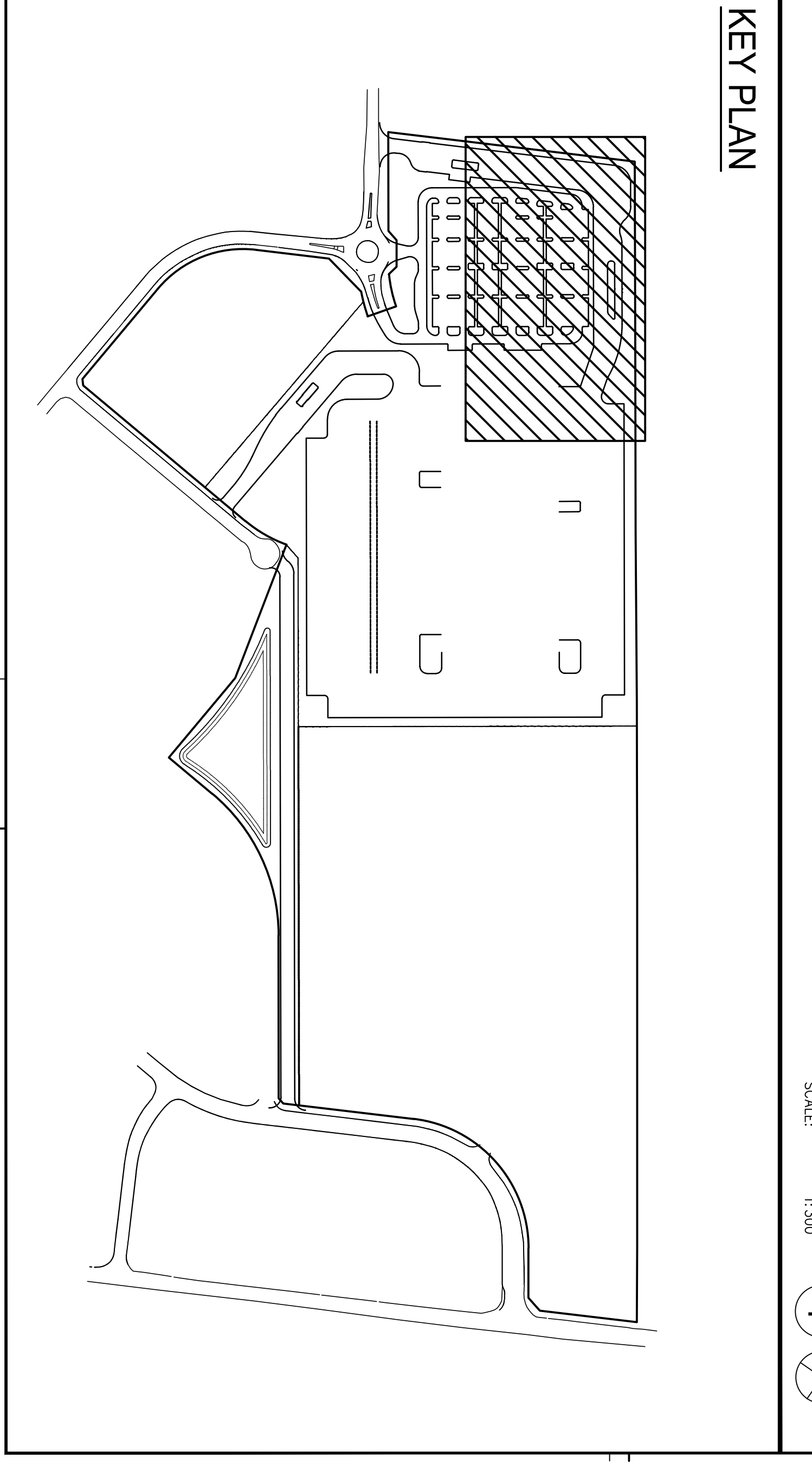
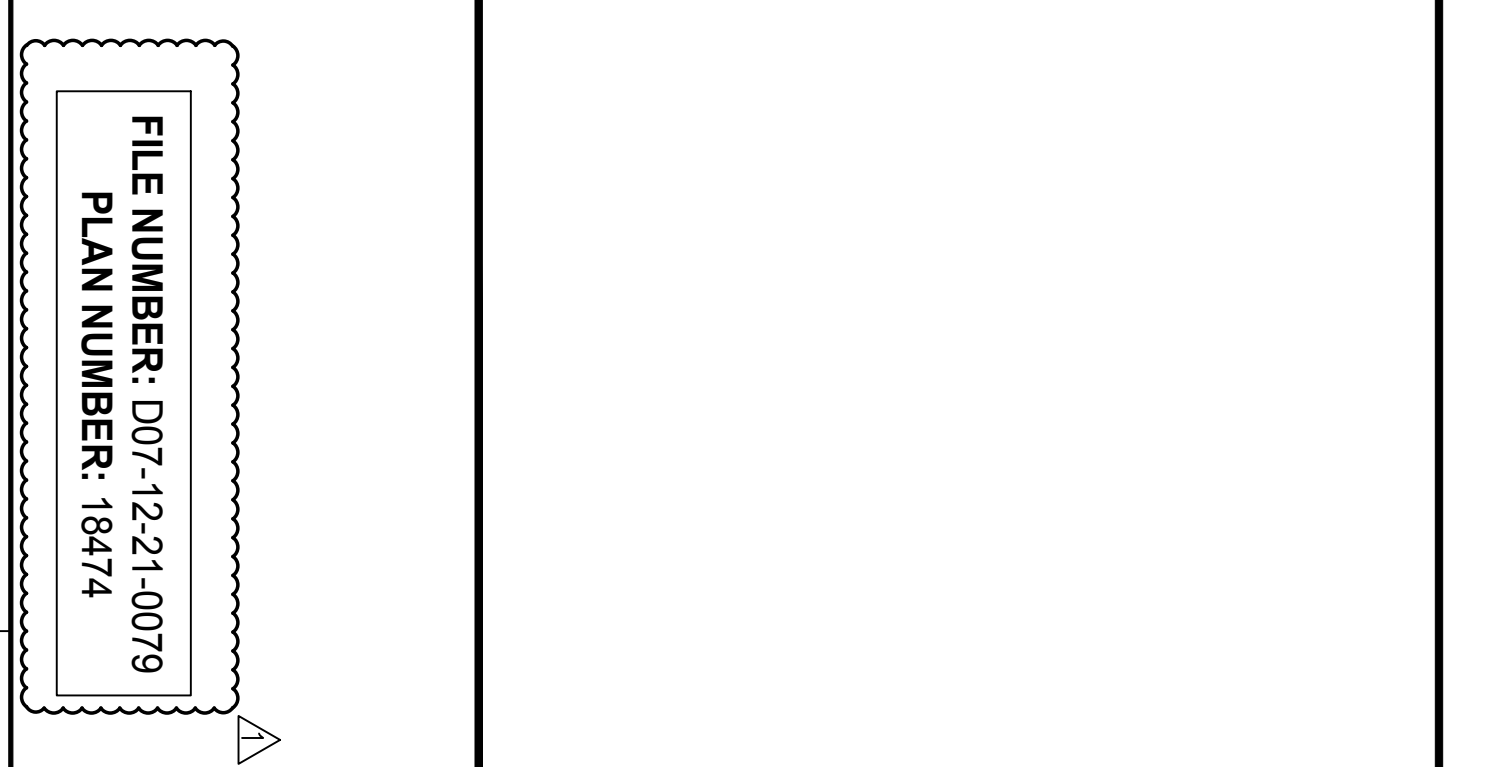
2021-07-23 SPA COMMENTS #1



**SORTATION FACILITY**  
 SORTATION FACILITY: 24,339 m<sup>2</sup> (261,984 SF)  
 OFFICE: 1,557 m<sup>2</sup> (16,764 SF)  
 TOTAL FOOTPRINT: 25,896 m<sup>2</sup> (278,748 SF)

**ENLARGED SITE PLAN**  
 SCALE: 1:500

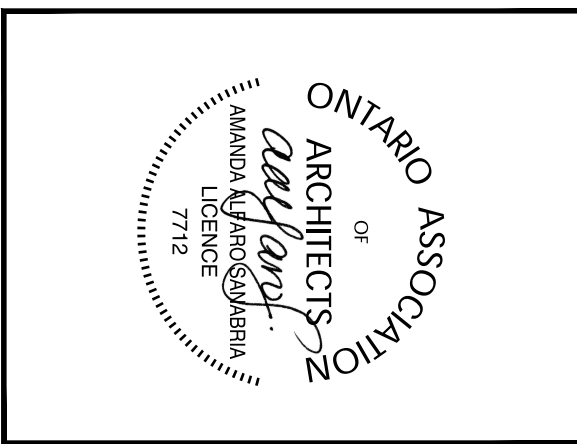
- GENERAL NOTES**
1. REFER TO THE GENERAL NOTES FOR THE SORTATION FACILITY.
  2. 274mmx248mm PARKING STALL
  3. PARKING ENTRY
  4. PARKING SPACE ACCESSIBLE PARKING STALLS WITH 1.5m ACCESSIBLE ASSES ADJACENT TO THE STALL
  5. 150mm WIDE CONCRETE CURB - REFER TO CIVIL DWGS
  6. POST INDICATOR VALVE PROVIDE 4 BOLLARDS - REFER TO LANDSCAPE
  7. SPRINKLER DWGS - REFER TO MECHANICAL DWGS
  8. TRAILER PARKING
  9. FIRE DEPARTMENT CONNECTION / SWANSE
  10. FIRE HYDRANT, PROVIDE 4 BOLLARDS - REFER TO CIVIL DWGS
  11. SPAN LANE FENCE
  12. CONCRETE APRON - SET LANDSCAPE DWGS
  13. LANDSCAPE AREA - SET LANDSCAPE DWGS
  14. GALVANIZED STEEL STAIRS W/ TUBE STEEL
  15. SMOKE'S SHELTER
  16. RECYCLING BIN
  17. PREFABRICATED SHELTER & DROP-OFF AREA PROVIDE CONCRETE PAD BASE
  18. FIRE ACCESS ROUTE W/ 120M TURNING RADIUS (---) USE PATH
  19. 5M WIDE ASPHALT MULTI-USE PATH
  20. MONUMENT SIGNAGE
  21. CONCRETE POLLY PAD
  22. PEDESTRIAN PATHWAY YELLOW PAINTED LINES
  23. HATCHED AREA DENOTES HEAVY DUTY ASPHALT TYPICAL FOR ALL AREAS REQUIRING HEAVY DUTY ASPHALT TYPICAL
  24. INSPECTION SIDEWALK
  25. MISTER POINT
  26. STORMWATER MANAGEMENT POND - REFER TO CIVIL DWGS
  27. PROPOSED STOP SIGN LOCATION
  28. TYPICAL CURB RAMP - REFER TO DETAIL 2/A1.0
  29. SIGN TRUNCATE - REFER TO TRAFFIC DWGS
  30. PRECAST GARAGEHOUSE WITH TRUCK QUEUING
  31. WARNING LINE
  32. BONE STORAGE
  33. MANHOLE - REFER TO CIVIL DWGS
  34. CATCH BASIN - REFER TO CIVIL DWGS
  35. 305mm HIGH REQUIRED CONCRETE CURB
  36. CONCRETE STAIR
  37. RESERVED
  38. LOADING DOCK LINEWORK AS PER CLIENT STANDARDS
  39. RESERVED
  40. SNOW STORAGE
  41. CONCRETE SAFETY BOLLARD
  42. 420MM X 280MM MOTORCYCLE PARKING SPACE
  43. RESERVED
  44. FIRE ROUTE ACCESS SIGNAGE
  45. WHEELSTOPS
  46. WALL PACK LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS
  47. POLE LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS
  48. PROPOSED TRANSDUCER - REFER TO ELECTRICAL DWGS
  49. PROPOSED GENERATOR - REFER TO ELECTRICAL DWGS
  50. ELECTRICAL VEHICLE CHARGING STATION - REFER TO ELECTRICAL DWGS
  51. RESERVED
  52. STEEP HURD - LEVEL WITH SIDEWALK WITH NO CURB
  53. VETV SNOW REMOVAL
  54. FLAG POLE
  55. TOM DOOR
  56. COMPACTOR
  57. HOSTLER PARKING
  58. LOT FOR PARKING WITH CHARGING STALLS
  59. SIGN ELEMENTS AS PER CITY OF OTTAWA STANDARDS
  60. PROPOSED BLOCK HEATER (2) LOCATION FOR HOSTLERS. REFER TO ELECTRICAL DWGS



FILE NUMBER: D07-12-21-0079  
 PLAN NUMBER: 19474

DATE	REMARKS
2021-05-31	ISSUED FOR SITE PLAN APPROVAL
2021-07-07	ISSUED FOR PERMIT
2021-07-23	SPA COMMENTS #1

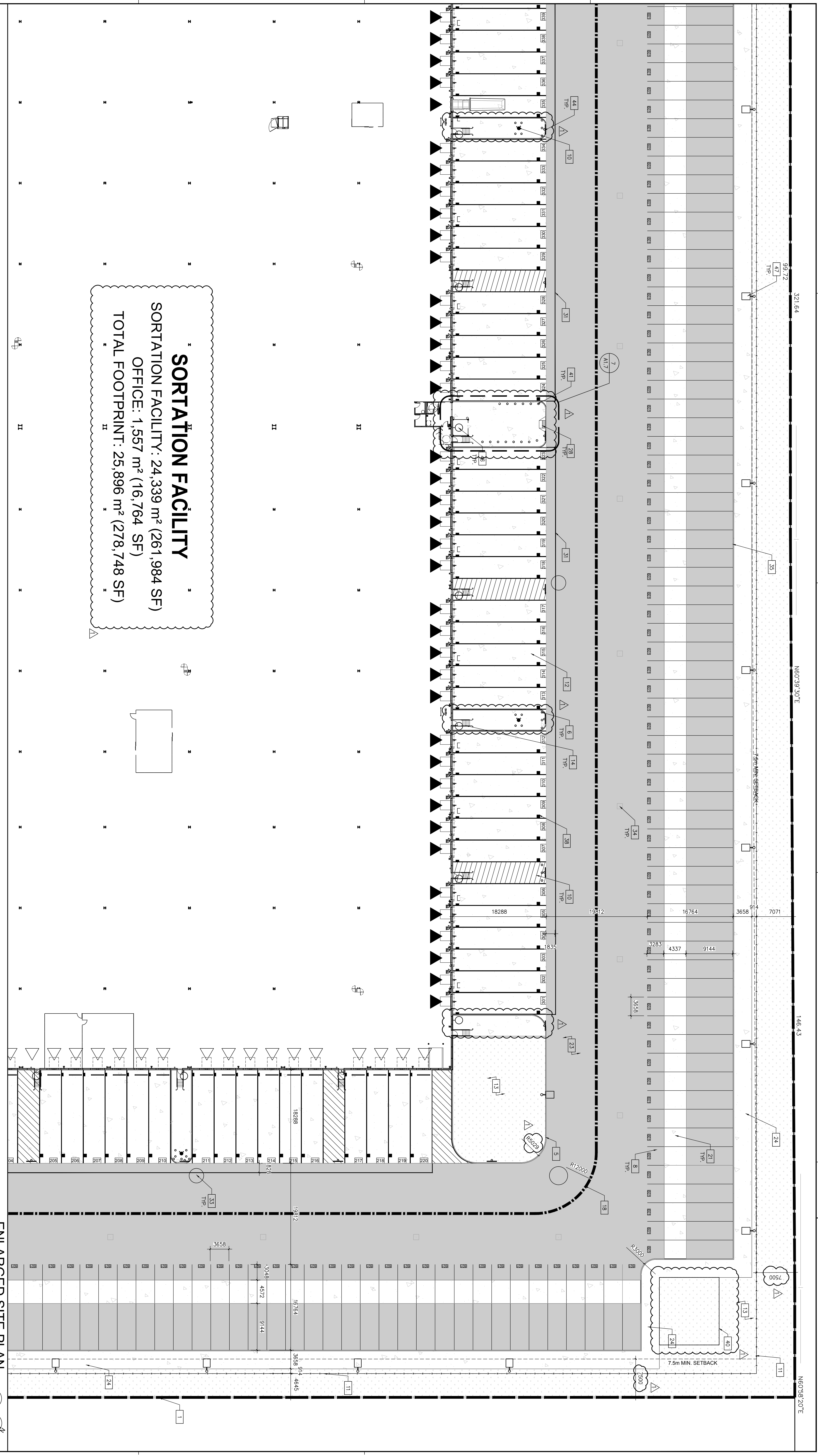
**SORTATION FACILITY**  
 99 BILL LEATHAM DRIVE, 2 LEIKIN DRIVE  
 AND 20 LEIKIN DRIVE  
 OTTAWA, ONTARIO



architecture  
 planning  
 interiors  
 graphics  
 civil engineering

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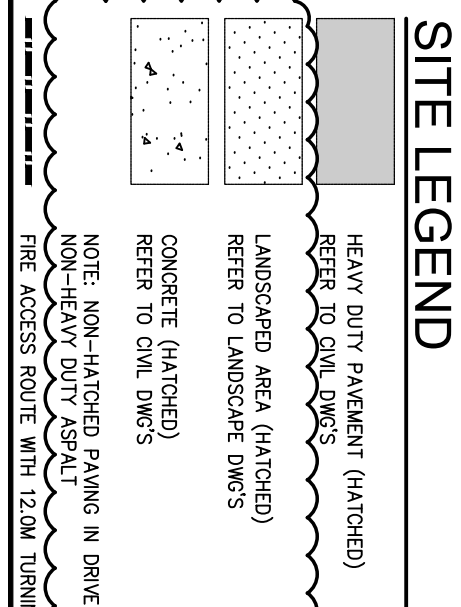
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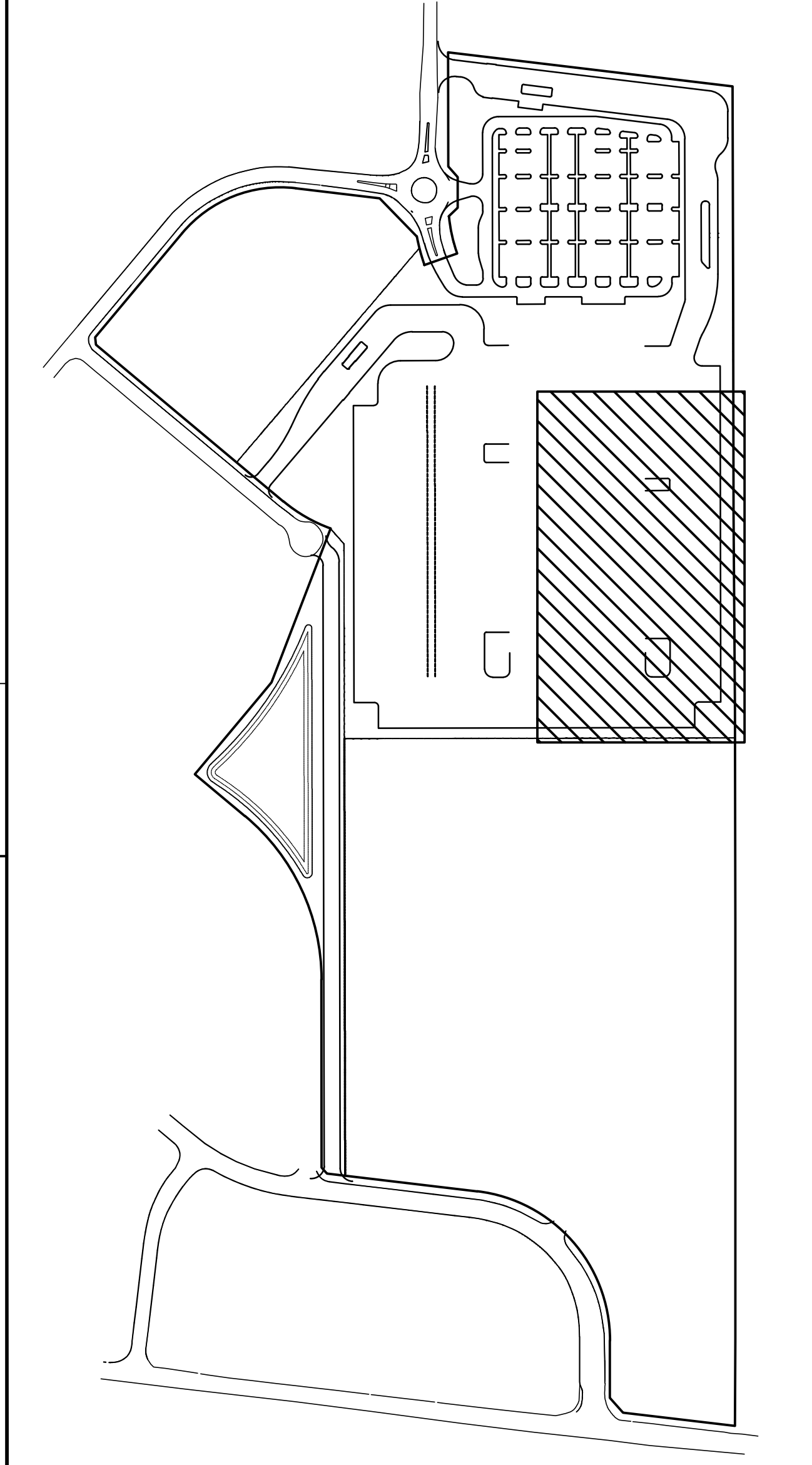
**SORTATION FACILITY**  
 SORTATION FACILITY: 24,339 m<sup>2</sup> (261,984 SF)  
 OFFICE: 1,557 m<sup>2</sup> (16,764 SF)  
 TOTAL FOOTPRINT: 25,896 m<sup>2</sup> (278,748 SF)

**GENERAL NOTES**

- 1. REFER TO ALL DRAWINGS FOR MATERIALS AND FINISHES.
- 2. REFER TO ALL DRAWINGS FOR MATERIALS AND FINISHES.
- 3. REFER TO ALL DRAWINGS FOR MATERIALS AND FINISHES.
- 4. REFER TO ALL DRAWINGS FOR MATERIALS AND FINISHES.
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- 58. REFER TO ALL DRAWINGS FOR MATERIALS AND FINISHES.
- 59. REFER TO ALL DRAWINGS FOR MATERIALS AND FINISHES.
- 60. REFER TO ALL DRAWINGS FOR MATERIALS AND FINISHES.



**KEY PLAN**

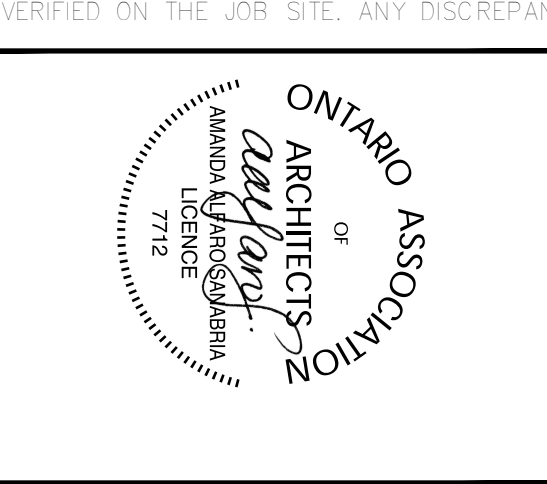


**ENLARGED SITE PLAN**  
SCALE: 1:500

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DATE	2021-07-23
DATE	2021-07-23

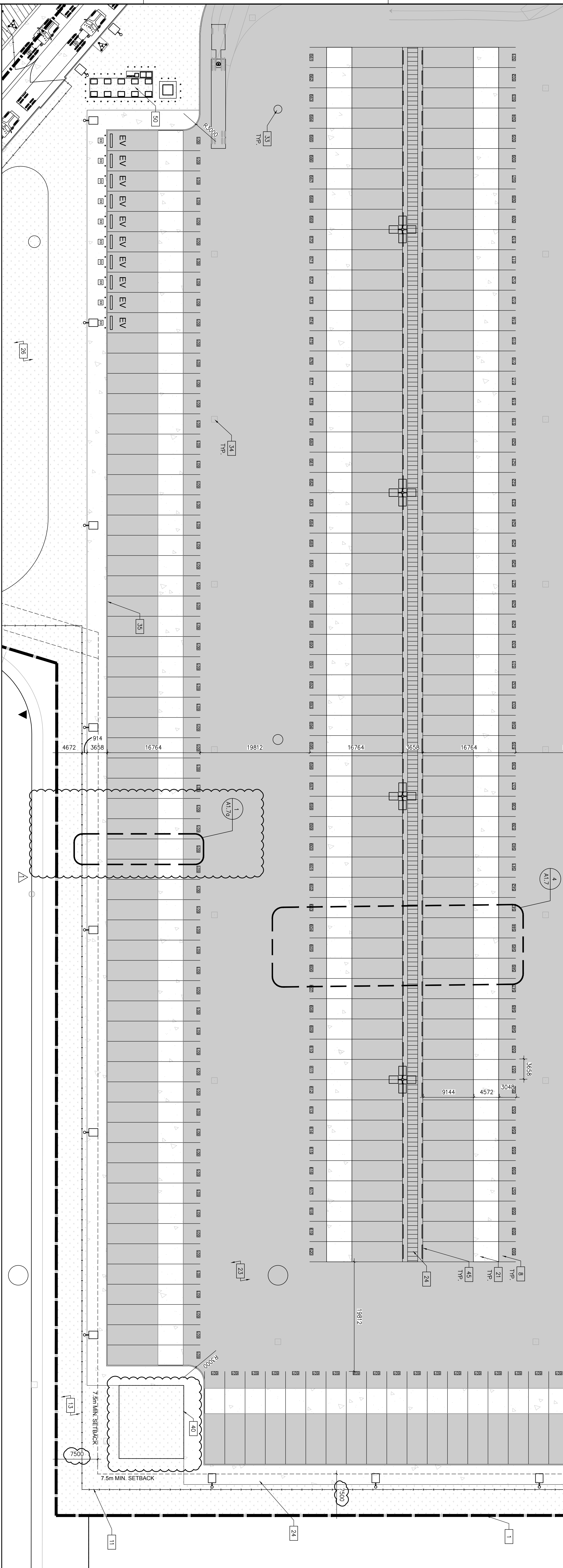
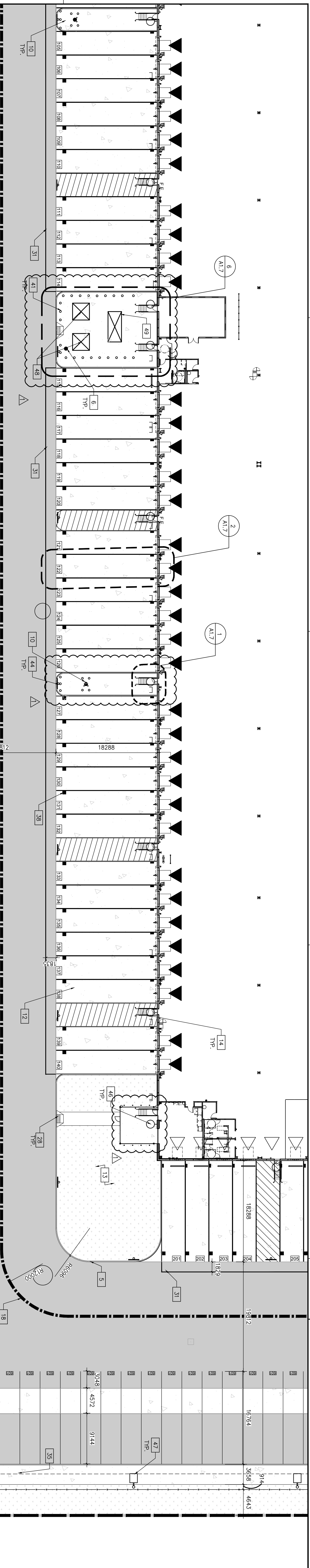
DATE	2021-05-31	REMARKS
DATE	2021-07-23	ISSUED FOR SITE PLAN APPROVAL
DATE	2021-07-23	ISSUED FOR PERMIT
DATE	2021-07-23	SPA COMMENTS #1

**SORTATION FACILITY**  
 99 BILL LEATHEM DRIVE, 2 LEIKIN DRIVE  
 AND 20 LEIKIN DRIVE  
 OTTAWA, ONTARIO



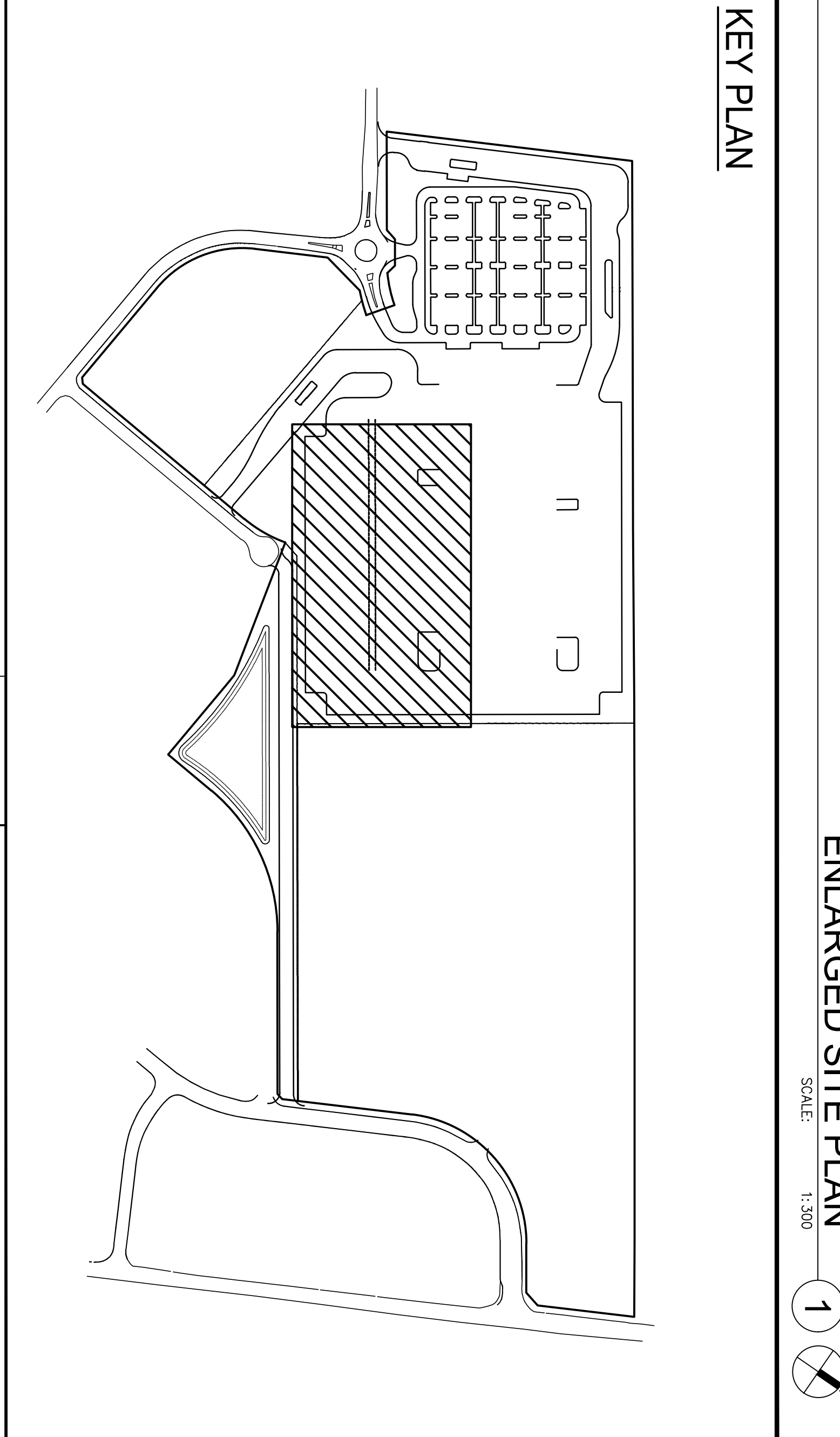
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- ### GENERAL NOTES
1. REFER TO DRAWING 215008-001 FOR GENERAL NOTES.
  2. 274mm x 488mm PARKING STALL
  3. BARBERE FREE ACCESSIBLE PARKING STALLS WITH MINIMUM DIMENSIONS OF 3.0M X 5.5M (TYPE B)
  4. 150mm WIDE CONCRETE CURB - REFER TO CIVIL DWGS FOR ALL AREAS REQUIRING THE TRUCK OR TRACTOR
  5. 150mm WIDE CONCRETE CURB - REFER TO CIVIL DWGS FOR ALL AREAS REQUIRING THE TRUCK OR TRACTOR
  6. POST INDICATOR VALVE PROVIDE 4 BOLLS - REFER TO LANDSCAPE
  7. TRAILER PARKING
  8. REFER TO LANDSCAPE
  9. FIRE DEPARTMENT CONNECTION / SWAISE
  10. FIRE HYDRANT, PROVIDE 4 BOLLS - REFER TO CIVIL DWGS
  11. SPAIN LANE FENCE
  12. CONCRETE APRON - SET LANDSCAPE DWGS
  13. LANDSCAPE APRON - SET LANDSCAPE DWGS
  14. GALVANIZED TYP
  15. SMOKE'S SHELTER
  16. RECYCLING BIN
  17. PREFABRICATED SHELTER & DROP-OFF AREA PROVIDE CONCRETE PAD BASE
  18. FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS (--- USE PATH)
  19. 3m WIDE ASPHALT MULTI-USE PATH
  20. MONUMENT SIGNAGE
  21. CONCRETE POLY PAD
  22. PEDESTRIAN PATHWAY YELLOW PAINTED LINES
  23. HAR TOE AREA DENOTES HEAVY DUTY ASPHALT/TYPICAL FOR ALL AREAS REQUIRING THE TRUCK OR TRACTOR
  24. INSPECTION SIDEWALK
  25. MISTER POINT
  26. STOPWATER MANAGEMENT POND - REFER TO CIVIL DWGS
  27. PROPOSED STOP SIGN LOCATION
  28. TYPICAL CURB RAMP - REFER TO DETAIL 2/A1.0
  29. SPORT TRAILER - REFER TO TRAFFIC
  30. PRECAST GARDENHOUSE WITH TRUCK QUEUING
  31. WARNING LINE
  32. BINE STORAGE
  33. MANHOLE - REFER TO CIVIL DWGS
  34. CATCH BASIN - REFER TO CIVIL DWGS
  35. 305mm HIGH REQUIRED CONCRETE CURB
  36. CONCRETE STAIR
  37. RESERVED
  38. LOADING DOCK LINENOV AS PER CLIENT STANDARDS
  39. RESERVED
  40. SIGN STORAGE
  41. CONCRETE SAFETY BOLLARD
  42. 420MM X 280MM MOTORCYCLE PARKING SPACE
  43. RESERVED
  44. FIRE ROUTE ACCESS SIGNAGE
  45. WHEELSTOPS
  46. WALL PACK LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS
  47. POLE LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS
  48. PROPOSED TRANSDUCER - REFER TO ELECTRICAL DWGS
  49. PROPOSED GENERATOR - REFER TO ELECTRICAL DWGS
  50. ELECTRICAL VEHICLE CHARGING STATION - REFER TO ELECTRICAL DWGS
  51. RESERVED
  52. STEEL HURDLE - LEVEL WITH SIDEWALK WITH NO SIGNAGE
  53. YETI SNOW REMOVAL
  54. FLAG POLE
  55. TOM DOOR
  56. COMPACTOR
  57. HOLSTER PARKING
  58. 10' X 10' PARKING WITH CHARGING STALLS
  59. SIGN ELEMENTS AS PER CITY OF OTTAWA STANDARDS
  60. PROPOSED BLOCK HEATER (2) LOCATION FOR HOSTERS, REFER TO ELECTRICAL DWGS

- ### SITE LEGEND
- HEAVY DUTY ASPHALT (HATCHED)
  - LANDSCAPE APRON (HATCHED)
  - CONCRETE (HATCHED)
  - WIRE MESH (HATCHED)
  - NON-PAVING SURFACE (HATCHED)
  - THE ACCESS ROUTE WITH 12.0M TURNING RADIUS
  - TRUCK LOADING DOCK DOOR
  - RECYCLING BIN
  - PROPOSED STOP SIGN
  - PROPOSED LIGHTING POLE (EMPTY WITH ELECTRICAL DWGS)
  - FIRE ACCESS ROUTE SIGN
  - CAR COUNT

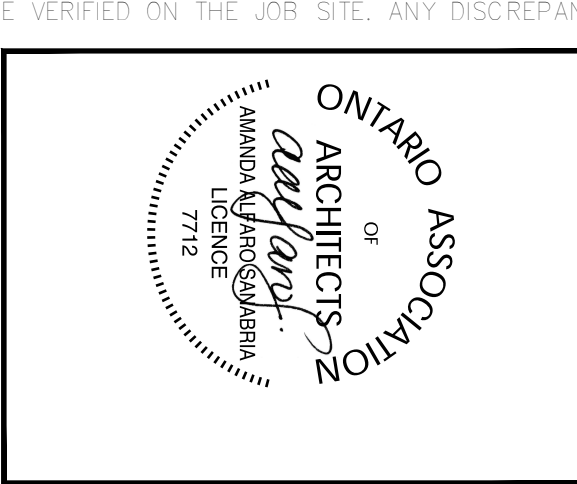


FILE NUMBER: D07-12-21-0079  
 PLAN NUMBER: 18474

DATE	REMARKS
2021-05-31	ISSUED FOR SITE PLAN APPROVAL
2021-07-07	ISSUED FOR PERMIT
2021-07-23	SPA COMMENTS #1

## SORTATION FACILITY

99 BILL LEATHEM DRIVE, 2 LEIKIN DRIVE  
 AND 20 LEIKIN DRIVE  
 OTTAWA, ONTARIO

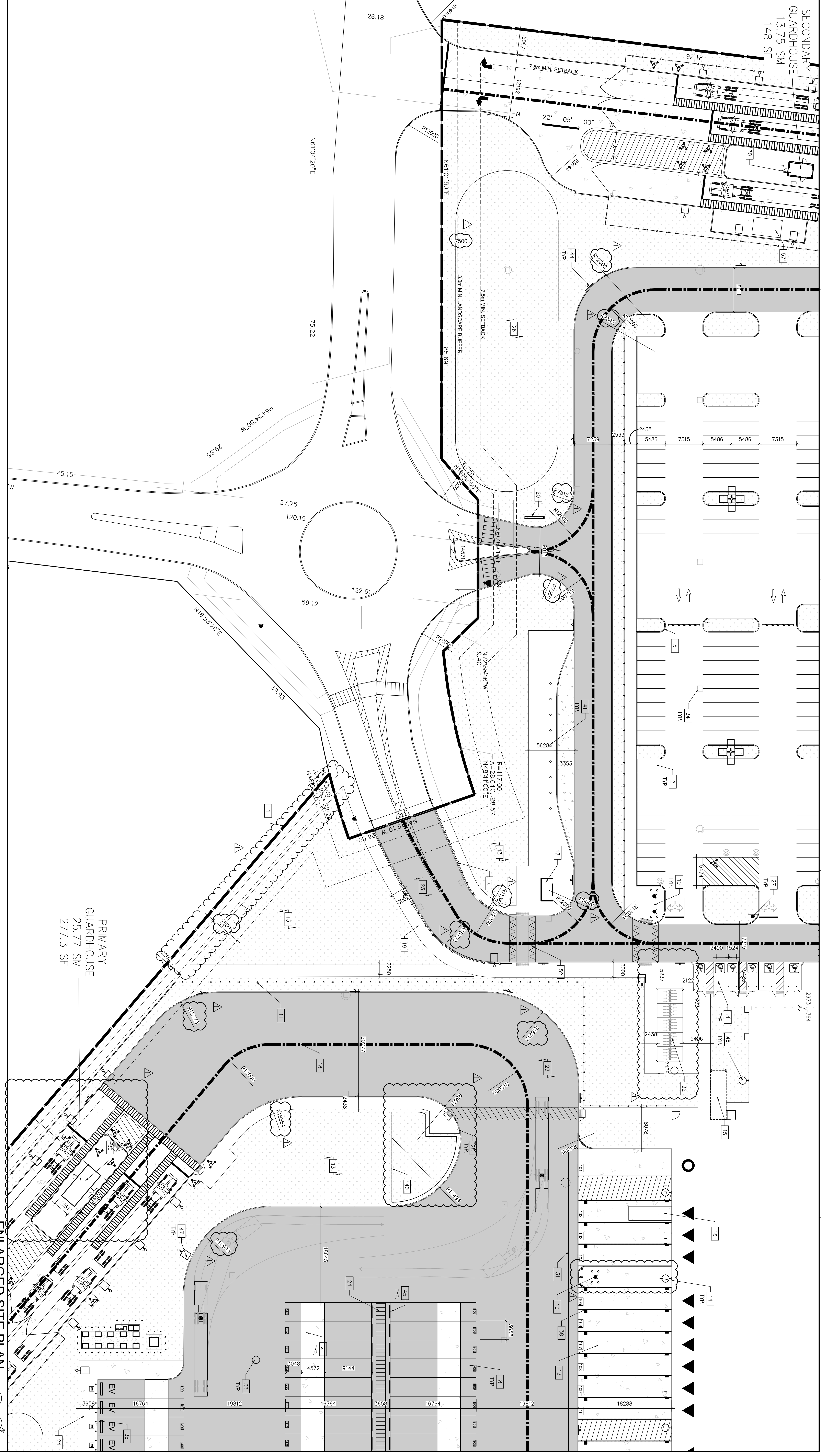


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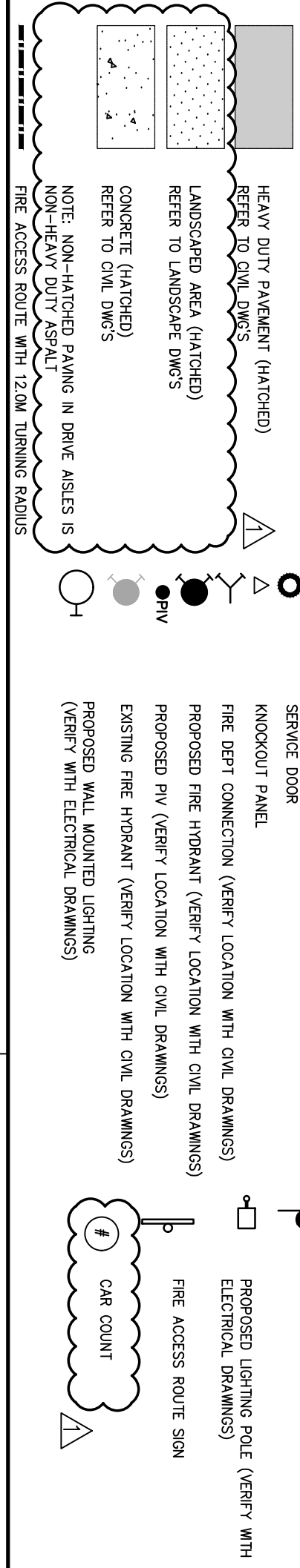
SECONDARY GUARDHOUSE  
13.75 SM  
148 SF



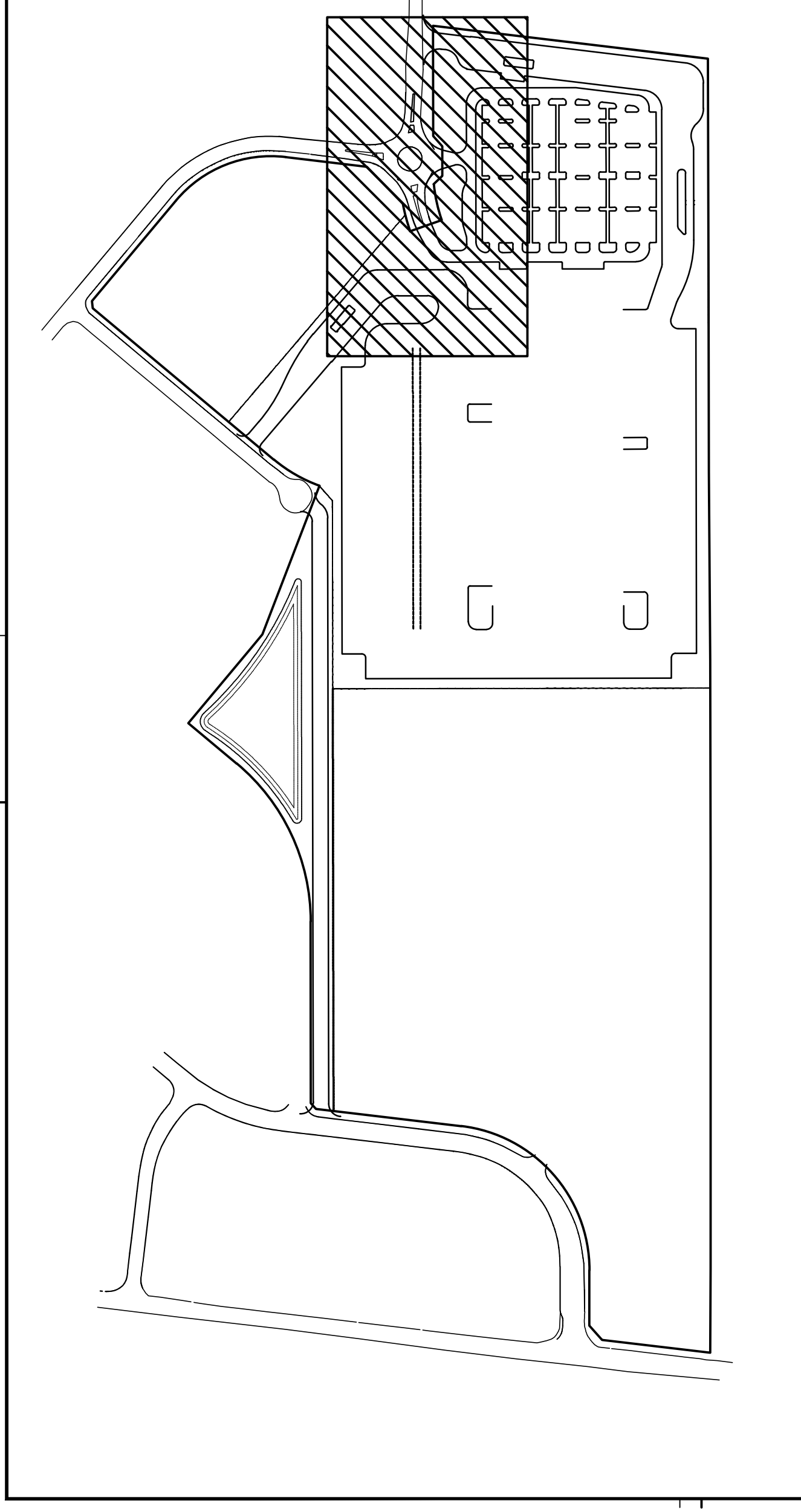
**GENERAL NOTES**

- 1. REBAR SHALL BE #4 @ 120MM ON CENTER.
- 2. 275mmx450mm PARKING STALL
- 3. BARBERE ENTRY
- 4. PAINTED PARKING STOPPING WITH MINIMUM DIMENSIONS OF 1.8M X 3.0M. ACCESSIBLE ASSES ADJACENT WITH 1.5M WIDE CONCRETE CURB - REFER TO CIVIL DWGS
- 5. 150mm WIDE CONCRETE CURB - REFER TO CIVIL DWGS
- 6. POST INDICATOR VALVE PROVIDE 4 BOLLARDS - REFER TO LANDSCAPE
- 7. TRAILER PARKING
- 8. TRAILER CONNECTION / SWAYSE
- 9. FIRE HOBRANT, PROVIDE 4 BOLLARDS - REFER TO CIVIL DWGS
- 10. SPAN UP FENCE
- 11. CONCRETE APRON - SET LANDSCAPE DWGS
- 12. LANDSCAPE APRON - SET LANDSCAPE DWGS
- 13. GALVANNEAL TYPE
- 14. GALVANNEAL TYPE
- 15. GALVANNEAL TYPE
- 16. RECYCLING BIN
- 17. PREFABRICATED SHELTER & DROP-OFF AREA PROVIDE CONCRETE PAD BASE.
- 18. FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS (--- USE PATH)
- 19. 5M WIDE ASPHALT MULTI-USE PATH
- 20. MONUMENT SIGNAGE
- 21. CONCRETE POLY PAD
- 22. PEDESTRIAN PATHWAY YELLOW PAINTED LINES FOR ALL AREAS REQUIRING HEAVY DUTY ASPHALT/TYPICAL HARD TOP SURFACE. REFER TO CIVIL DWGS
- 23. HAR TOP AREA DENOTES HEAVY DUTY ASPHALT/TYPICAL FOR ALL AREAS REQUIRING HEAVY DUTY ASPHALT/TYPICAL HARD TOP SURFACE. REFER TO CIVIL DWGS
- 24. INSPECTION SIDEWALK
- 25. MISTER POINT
- 26. STORMWATER MANAGEMENT POND - REFER TO CIVIL DWGS
- 27. PROPOSED STOP SIGN LOCATION
- 28. TYPICAL CURB RAMP - REFER TO DETAIL 2/A1.0
- 29. SIGN BRACKET - REFER TO TRAFFIC
- 30. PRECAST GARAGEHOUSE WITH TRUCK QUEUING
- 31. WARNING LINE
- 32. BIKE STORAGE
- 33. MANHOLE - REFER TO CIVIL DWGS
- 34. CATCH BASIN - REFER TO CIVIL DWGS
- 35. 305mm HIGH REQUIRED CONCRETE CURB
- 36. CONCRETE STAIR
- 37. RESERVED
- 38. LOADING DOCK LINENWAY AS PER CLIENT STANDARDS
- 39. RESERVED
- 40. SNOW STORAGE
- 41. CONCRETE SAFETY BOLLARD
- 42. 420MM X 280MM MOTORCYCLE PARKING SPACE
- 43. RESERVED
- 44. FIRE ROUTE ACCESS SIGNAGE
- 45. WHEELSTOPS
- 46. WALL PACK LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS
- 47. POLE LIGHTING FIXTURE - REFER TO ELECTRICAL DWGS
- 48. PROPOSED TRANSFORMER - REFER TO ELECTRICAL DWGS
- 49. PROPOSED GENERATOR - REFER TO ELECTRICAL DWGS
- 50. ELECTRICAL VEHICLE CHARGING STATION - REFER TO ELECTRICAL DWGS
- 51. RESERVED
- 52. STEEL HURDLE - LEVEL WITH SIDEWALK WITH NO CURB CUT
- 53. VETI SNOW REMOVAL
- 54. FLAG POLE
- 55. TOM DOOR
- 56. COMPACTOR
- 57. HOSTLER PARKING
- 58. LOT PARKING WITH CHARGING STALLS
- 59. SIGNAGE AS PER CITY OF OTTAWA STANDARDS
- 60. PROPOSED BLOCK HEATER (2) LOCATION FOR HOSTLERS. REFER TO ELECTRICAL DWGS

**SITE LEGEND**



**KEY PLAN**



**ENLARGED SITE PLAN**  
SCALE: 1:500

**SORTATION FACILITY**  
99 BILL LEATHERM DRIVE, 2 LEIKIN DRIVE  
OTTAWA, ONTARIO



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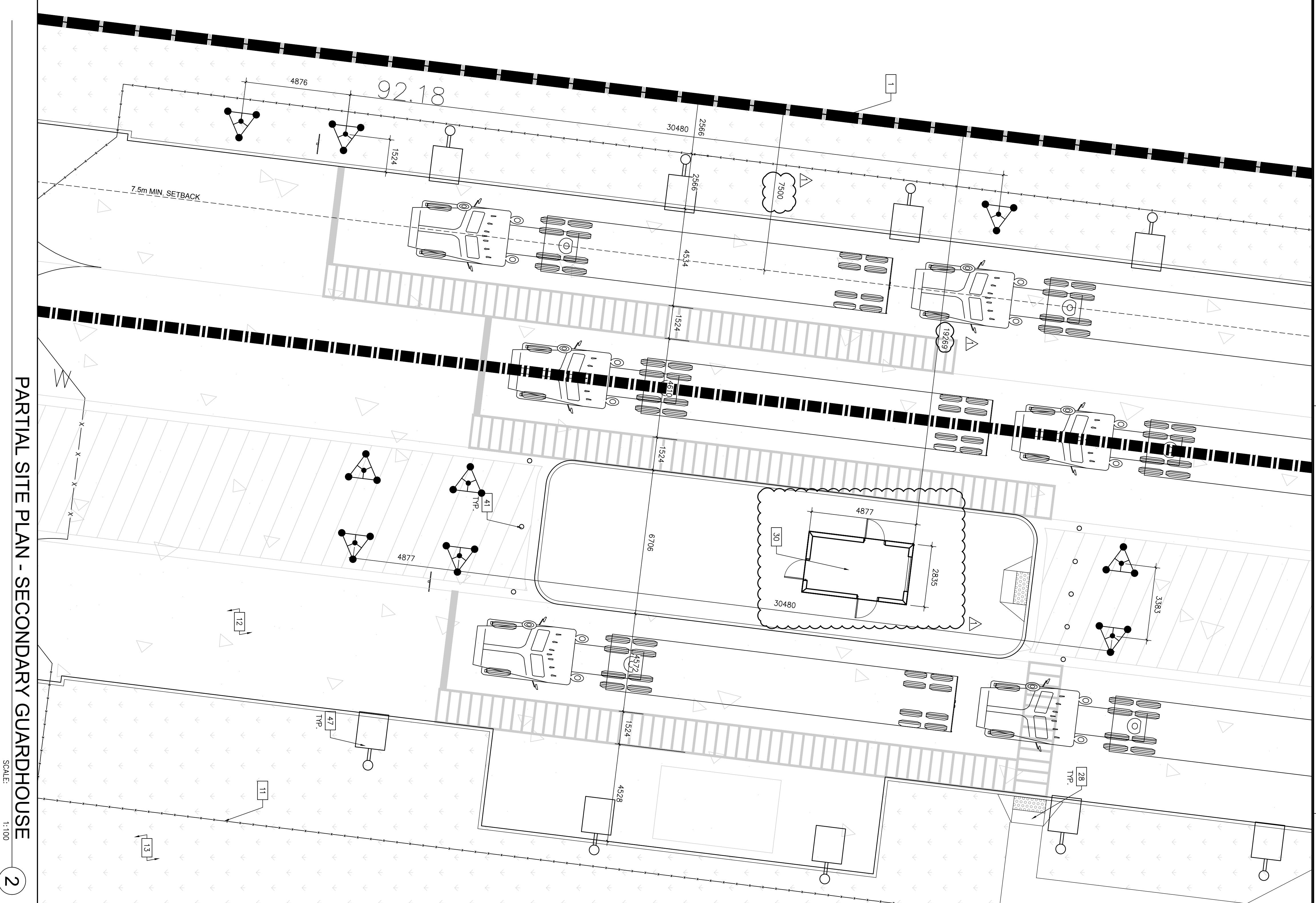
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DATE	REMARKS
2021-05-31	ISSUED FOR SITE PLAN APPROVAL
2021-07-07	ISSUED FOR PERMIT
2021-07-23	SPA COMMENTS #1

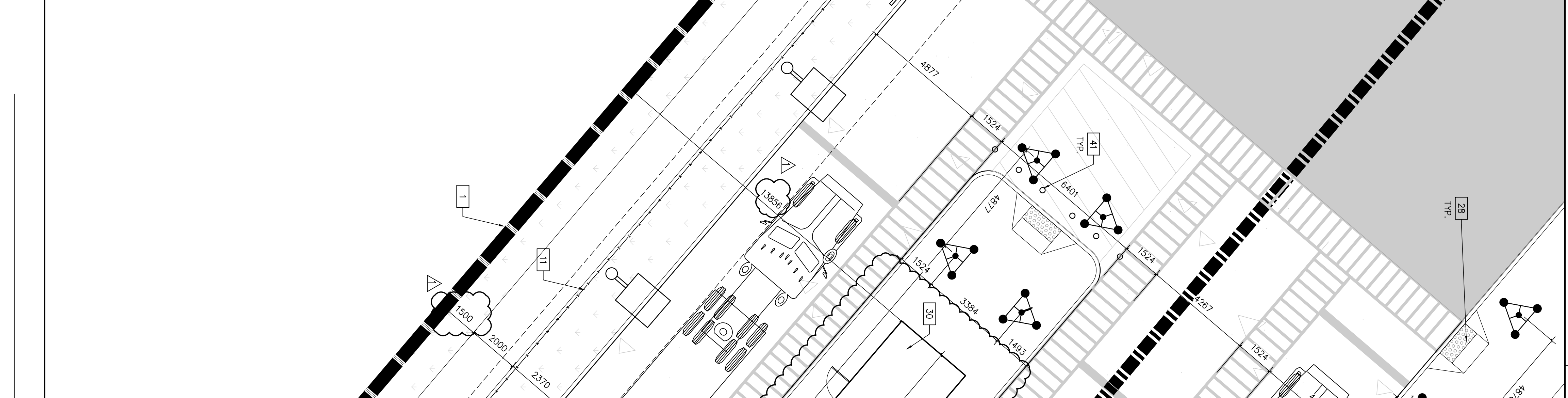
FILE NUMBER: D07-12-21-0079  
PLAN NUMBER: 19474



- ### GENERAL NOTES
- 1 PROPERTY LINE
  - 2 274mmx488mm PARKING STALL
  - 3 RAMP/ENTRY
  - 4 BARRIER FREE ACCESSIBLE PARKING STALLS WITH 3.4m BY 5.2m (TYPE A) AND 2.4m BY 5.2m (TYPE B) WITH 1.5m ACCESSIBLE ASSES ADJACENT.
  - 5 150mm WIRE CONCRETE CURB - REFER TO CIVIL DWS TO SPRINKLER DWS. PROVIDE 4 BOLLARDS - REFER TO DECORATIVE HALF-HIGH FRESTRAN GUARDRAIL - REFER TO LANDSCAPE
  - 6 TRAILER PARKING
  - 7 PRE-DEPARTMENT CONNECTION / SWIASE
  - 8 CHAIN LINK FENCE
  - 9 SPRINKLER DWS
  - 10 CONCRETE ASPON
  - 11 LANDSCAPE AREA - SEE LANDSCAPE DWS.
  - 12 EXTERIOR GALVANIZED STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP
  - 13 SWAGER'S SHELTER
  - 14 RECTANGULAR BIN
  - 17 PRE-DEPARTMENT SHELTER & DROP-OFF AREA. PROVIDE CONCRETE PAD BASE.
  - 18 FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS - REFER TO CIVIL DWS.
  - 19 3M WIDE ASPHALT MULTI-USE PATH
  - 20 MONUMENT SIGNAGE
  - 21 CONCRETE DOLLY PAD
  - 22 PAVED AREA BEHIND REAR DOCK WITH TYPICAL FLOOR ACCESS - REFER TO CIVIL DWS
  - 23 INSPECTION SERVICE WALK
  - 24 METER POINT
  - 25 STORAGE/STORAGE MANAGEMENT POND - REFER TO CIVIL DWS.
  - 26 PROPOSED STOP SIGN LOCATION
  - 27 TYPICAL CURB RAMP - REFER TO DETAIL 2/A1.0
  - 28 SIGHT TRIANGLE - REFER TO TRAFFIC
  - 29 PROPOSED GUARDHOUSE WITH TRUCK QUEUING WARNING LINE
  - 30 BICYCLE STORAGE
  - 31 MANHOLE - REFER TO CIVIL DWS.
  - 32 CATCH BASIN - REFER TO CIVIL DWS.
  - 33 300MM HIGH REQUIRED CONCRETE CURB
  - 34 CONCRETE STAIR
  - 35 RESERVED
  - 36 LOADING DOCK LINENWORK AS PER CLIENT STANDARDS
  - 37 RESERVED
  - 38 SIGN STORAGE
  - 39 CONCRETE SAFETY BOLLARD
  - 40 420MM X 280MM MOTORCYCLE PARKING SPACE
  - 41 RESERVED
  - 42 WHEELSTOPS
  - 43 WALL PACK LIGHTING FIXTURE - REFER TO ELECTRICAL DWS
  - 44 POLE LIGHTING FIXTURE - REFER TO ELECTRICAL DWS
  - 45 PROPOSED TRANSFORMER - REFER TO ELECTRICAL DWS
  - 46 PROPOSED GENERATOR - REFER TO ELECTRICAL DWS
  - 47 ELECTRICAL VEHICLE CHARGING STATION - REFER TO ELECTRICAL DWS
  - 48 RESERVED
  - 49 SPEED HUMP - LEVEL WITH SIDEWALK WITH NO CURB DEPRESSION
  - 50 YETI SNOW REMOVAL
  - 51 FLAG POLE
  - 52 TOM DOOR
  - 53 COMPACTOR
  - 54 EV PARKING WITH CHARGING STALLS STANDARDS
  - 55 SEWERS EXHENT AS PER CITY OF OTTAWA HOSTILES. REFER TO ELECTRICAL DWS



- ### SITE LEGEND
- REAR OFF-PARKING (HATCHED)
  - LANDSCAPE AREA (HATCHED)
  - REFER TO LANDSCAPE DWS
  - CONCRETE (HATCHED)
  - REFER TO CIVIL DWS
  - PROPOSED PARKING IN DRIVE CAGES IS TO BE VERIFIED BY CIVIL DWS
  - THE ACCESS ROUTE WITH 12.0M TURNING RADIUS
  - TRUCK LOADING DOCK DOOR
  - SERVICE DOOR
  - INDOOR/OUT DOOR
  - PROPOSED CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
  - PROPOSED THE INSTANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
  - PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
  - EXTINGUISHING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
  - PROPOSED WALL MOUNTED LIGHTING (VERIFY WITH ELECTRICAL DRAWINGS)
  - PROPOSED STOP SIGN
  - PROPOSED LIGHTING POLE (VERIFY WITH ELECTRICAL DRAWINGS)
  - FIRE ACCESS ROUTE SIGN
  - CIVIL COORD

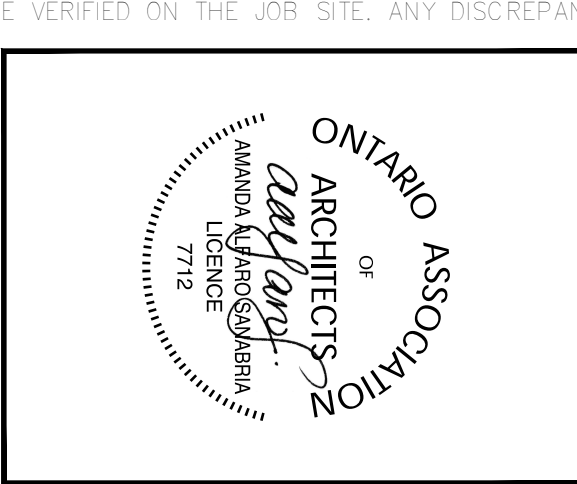


**FILE NUMBER: D07-1221-0079**  
**PLAN NUMBER: 18474**

PARTIAL SITE PLANS		REMARKS
DATE	2021-05-31	ISSUED FOR SITE PLAN APPROVAL
DATE	2021-07-23	ISSUED FOR PERMIT
DATE	2021-07-23	SPA COMMENTS #1

PAPER:	A. SANSURBA
DESIGNED BY:	D.V.
JOB NO.:	10621-5008

**SORTATION FACILITY**  
 99 BILL LEATHERM DRIVE, 2 LEIKIN DRIVE  
 AND 20 LEIKIN DRIVE  
 OTTAWA, ONTARIO



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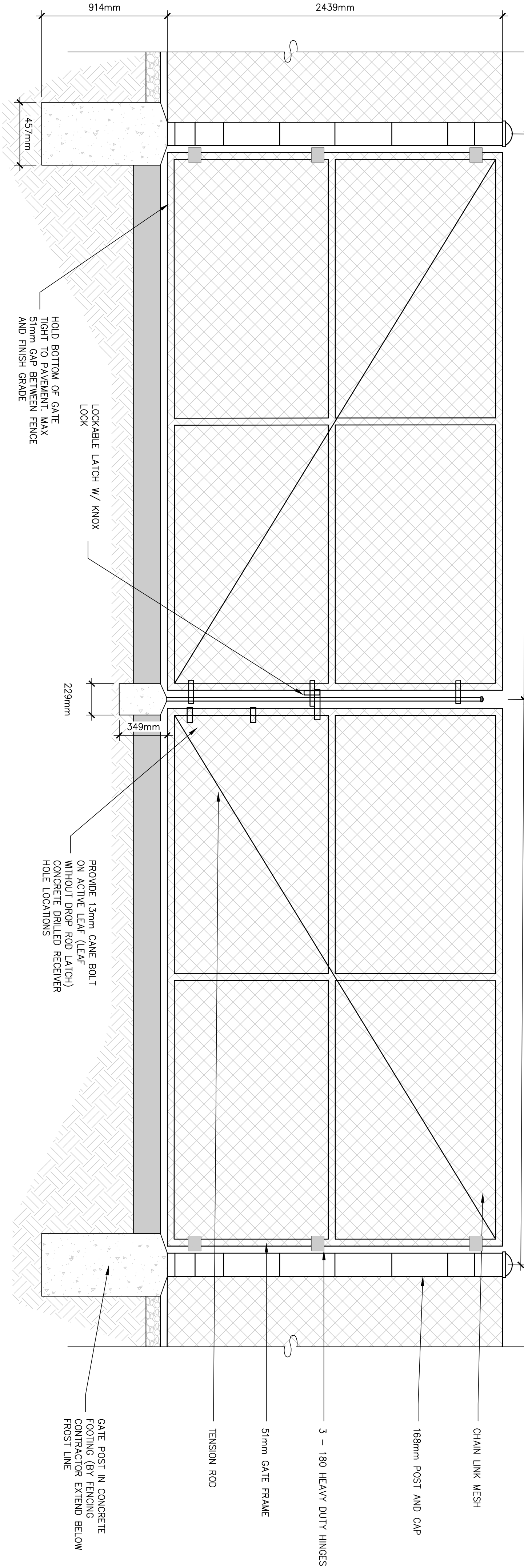
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SEE PLAN FOR GATE WIDTH

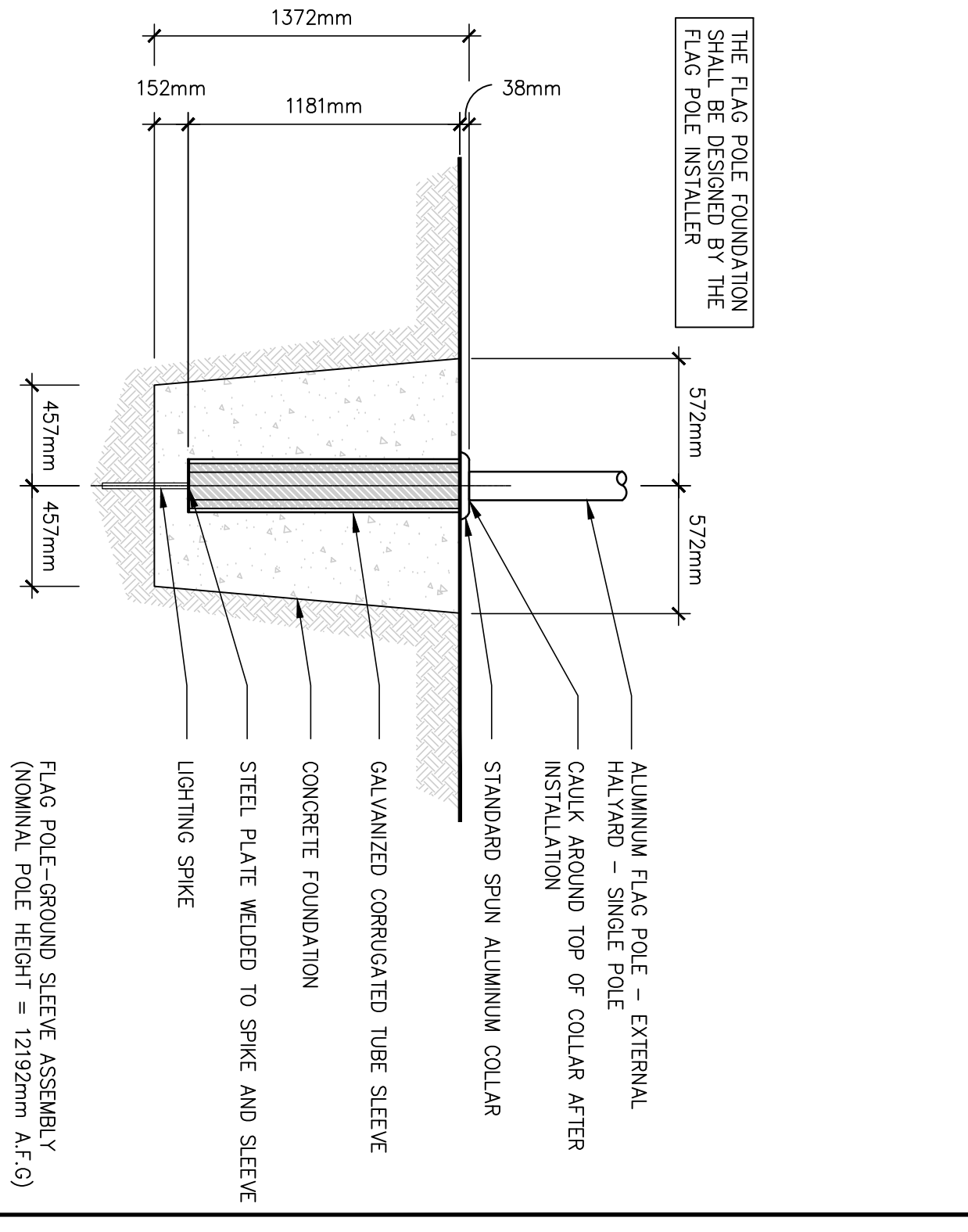
SEE PLAN FOR GATE WIDTH



DOUBLE SWING GATE DETAIL

SCALE: 1:20

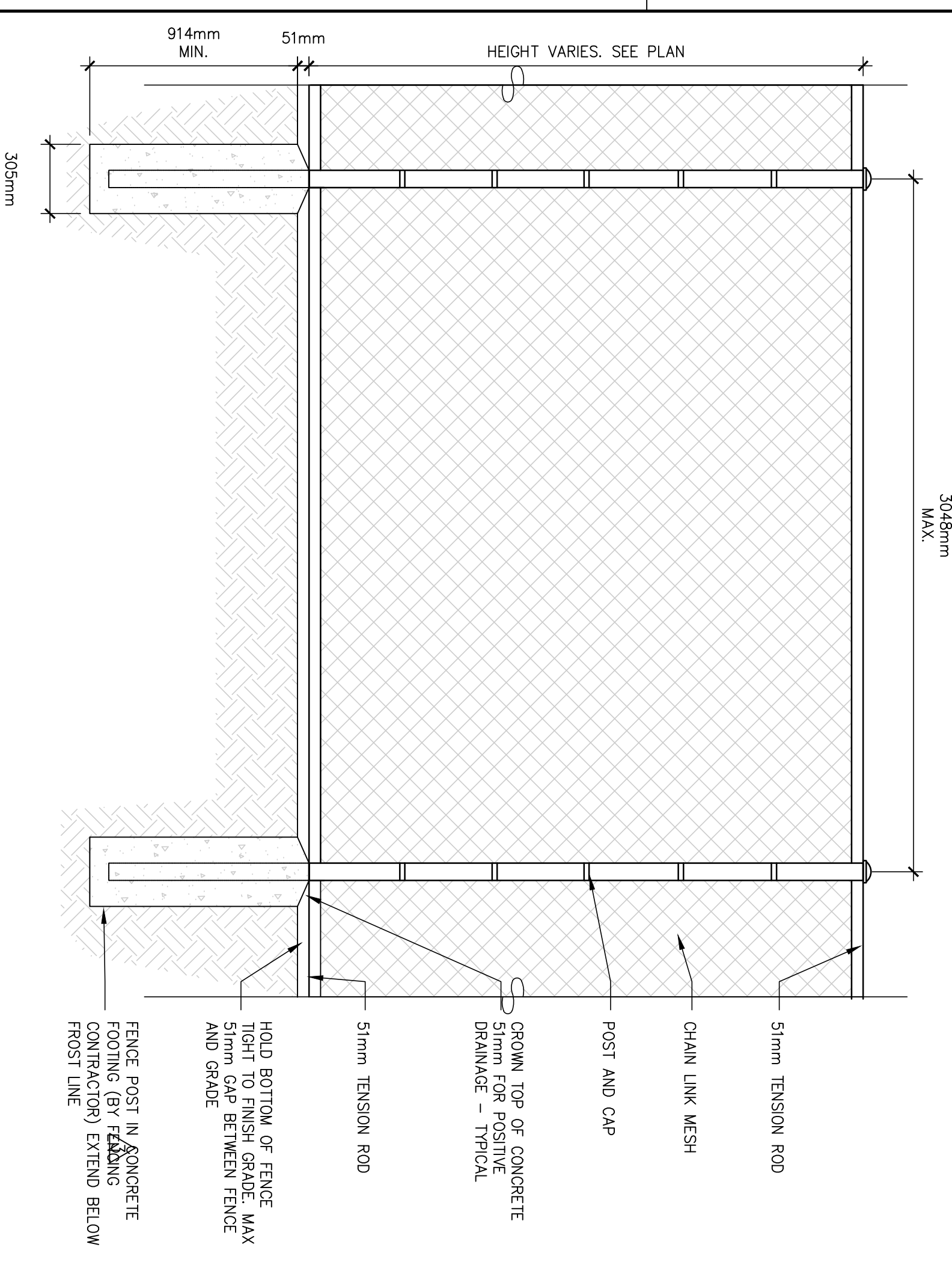
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FLAG POLE DETAIL

SCALE: 1:20

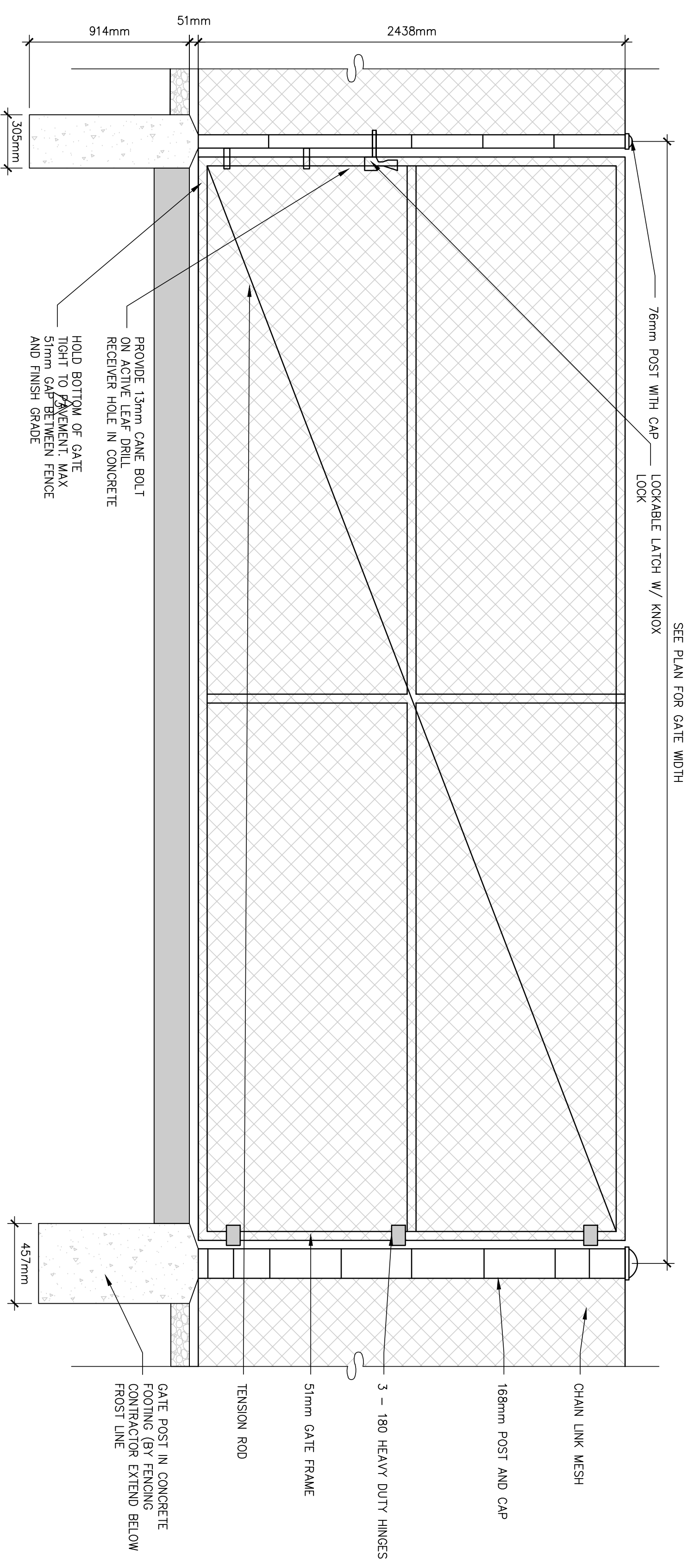
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BLACK VINYL CHAIN LINK FENCE DETAIL

SCALE: 1:20

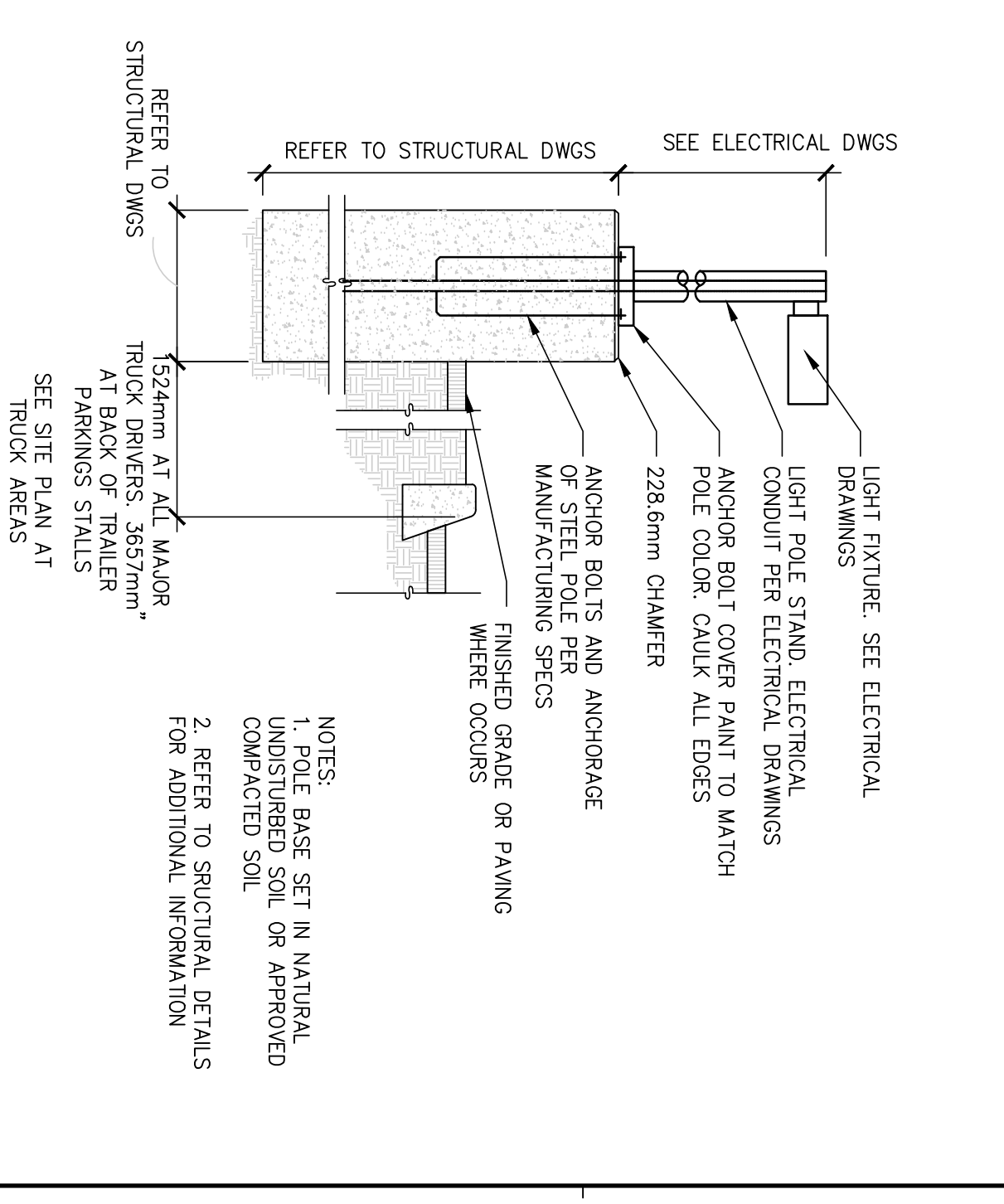
8



BLACK VINYL SWING GATE DETAIL

SCALE: 1:20

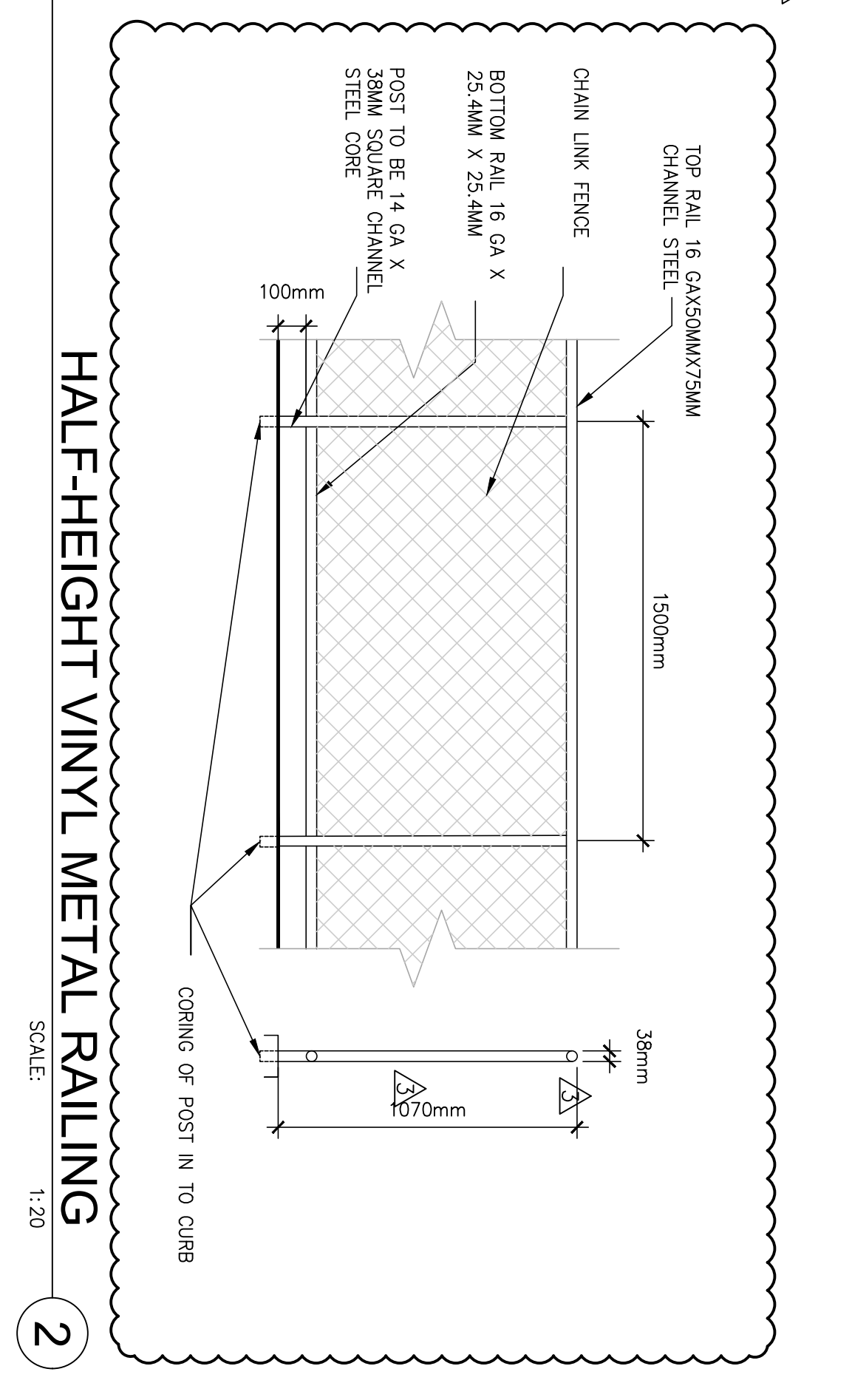
7



LIGHT POLE DETAIL

SCALE: 1:20

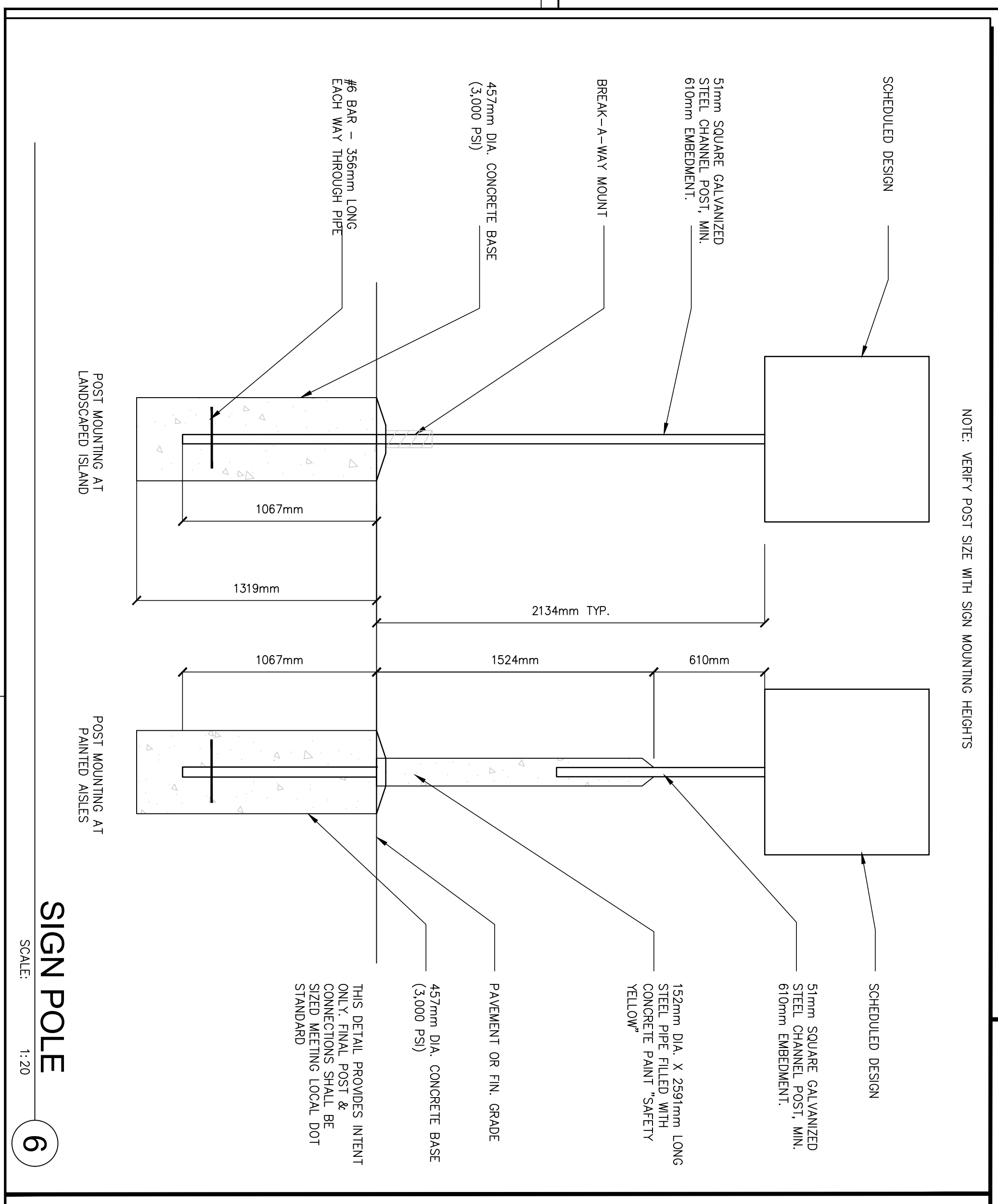
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HALF-HEIGHT VINYL METAL RAILING

SCALE: 1:20

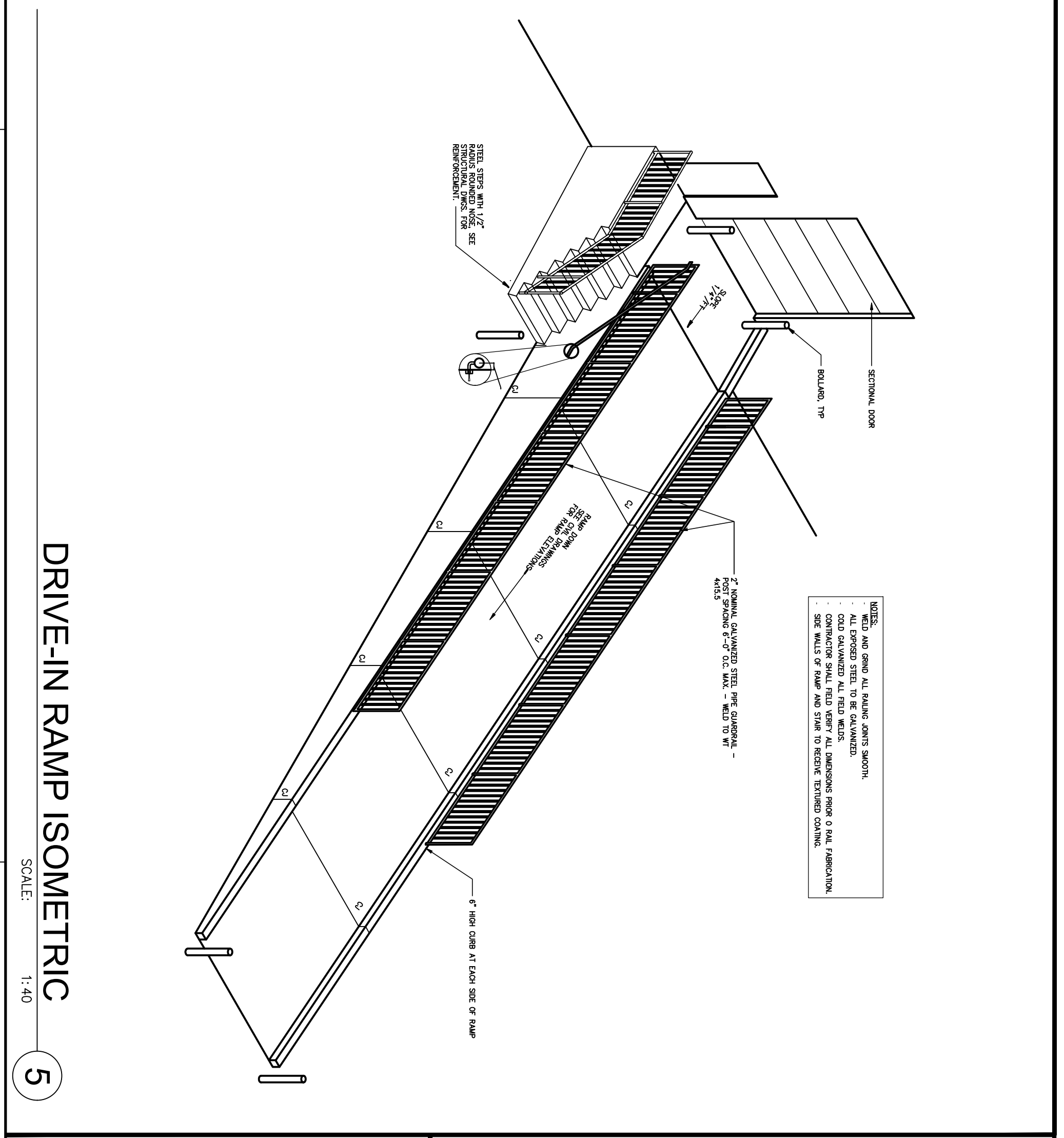
2



SIGN POLE

SCALE: 1:20

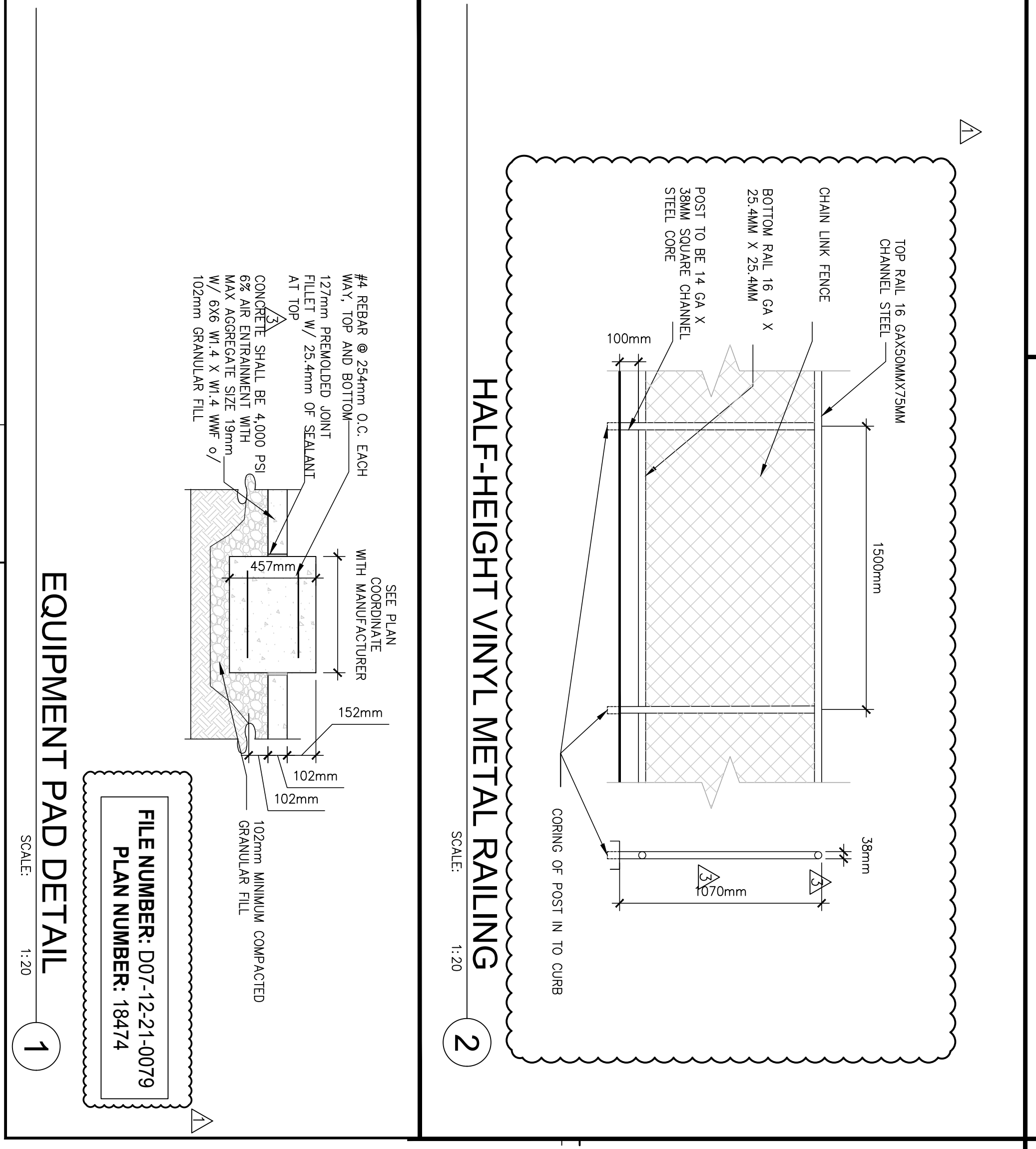
6



DRIVE-IN RAMP ISOMETRIC

SCALE: 1:40

5



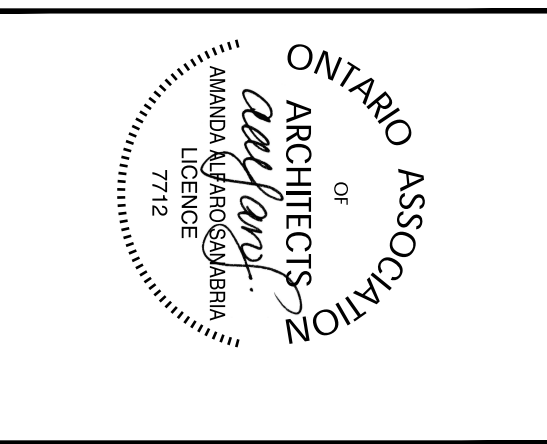
EQUIPMENT PAD DETAIL

SCALE: 1:20

1

SITE DETAILS		REMARKS
DATE	2021-05-31	ISSUED FOR SITE PLAN APPROVAL
DATE	2021-07-23	ISSUED FOR PERMIT
DATE	2021-07-23	SPA COMMENTS #1

**SORTATION FACILITY**  
 99 BILL LEATHERM DRIVE, 2 LEIKIN DRIVE  
 AND 20 LEIKIN DRIVE  
 OTTAWA, ONTARIO



architecture  
 planning  
 interior  
 graphics  
 civil engineering

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402 West Broadway, Suite 1560  
 San Diego, CA 92101  
 T 619.564.5138

EXTERIOR ELEVATIONS	
DATE	REMARKS
2021-05-31	ISSUE FOR SITE PLAN APPROVAL
2021-07-29	ISSUE FOR FULL BUILDING PERMIT
2021-07-29	SPA COMMENTS #1
1	

PA/PM:	J OVIEDO
DRAWN BY:	S.Z.
JOB NO.:	TOR21-5008-00

### GENERAL NOTES

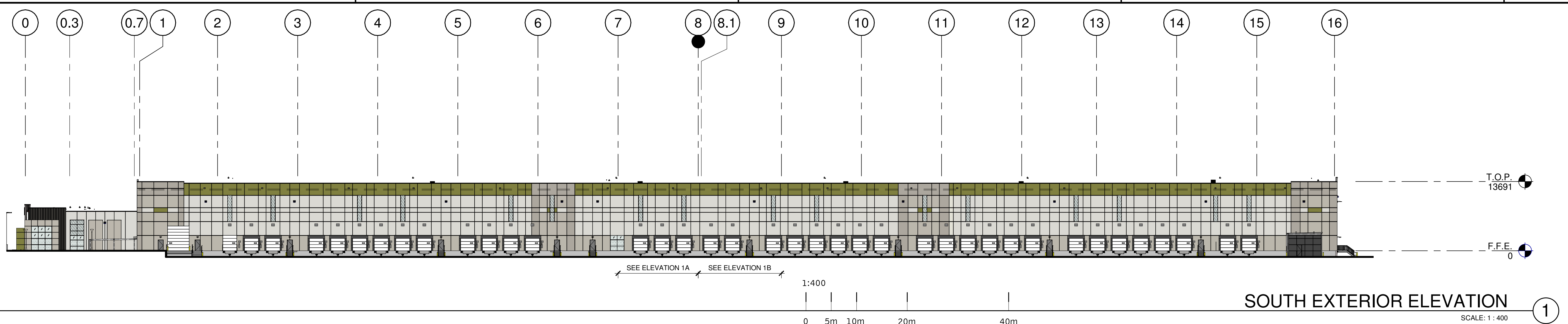
- SEE SHEET A0.2 AND A0.2a FOR GENERAL NOTES
- PROVIDE SECURITY FILM ON ALL EXTERIOR FACILITY AREA WINDOWS 4.572 mm A.F.F. AND LOWER.
  - PAINT EXTERIOR HOLLOW METAL DOORS AND FRAMES SEMI-GLOSS, COLOR TO MATCH P-2.
  - PAINT CONCRETE FILLED STEEL BOLLARDS SEMI-GLOSS P-7 "SAFETY YELLOW".
  - PAINT INTERIOR FACE OF FACILITY AND INTERIOR OF STAIR TOWER CONCRETE WALL PANELS PT-5 "FLAT WHITE". (NOTE: WALLS THAT ARE FULLY COVERED BY INTERIOR APPLIED WALL INSULATION OR METAL FRAMING DOES NOT NEED TO BE PAINTED)
  - EXTERIOR CONCRETE WALL PANEL CONTROL JOINTS TO BE SEALED WITH SONNEBERG "NP-C" OR APPROVED EQUAL.
- SEE SHEET A0.2 FOR GENERAL NOTES

### KEYNOTES

- EXTERIOR STAIR WITH 38mm DIA. GUARDRAIL AND 32mm DIA. HANDRAIL.
- INSULATED CONCRETE WALL PANELS WITH REVEALS AND TEXTURED PAINT COATING. PAINT EXPOSED INTERIOR FACE OF CONCRETE WALL PANELS.
- INSULATED CONCRETE WALL PANELS WITH 38 mm WIDE PLANK, RANDOM DEPTH PATTERN.
- PANEL JOINTS WITH SEALANT, (TYP.)
- 76 mm WIDE x 13 mm DEEP REVEAL.
- 25 mm WIDE x 13 mm DEEP REVEAL.
- FOUNDATION WALL. (SEE STRUCTURAL SHEETS)
- 50 mm DIA. GALVANIZED METAL GUARDRAIL AT 1067mm A.F.F. WITH VERTICAL PICKETS (MAX. 100mm SPACING) AND POSTS AT 1230 mm O.C. MAX.
- EXTERIOR GALVANIZED METAL STAIRS WITH 38 mm DIA. GUARDRAIL AND 32mm DIA. HANDRAIL. PROVIDE (2) 152 mm DIA. BOLLARDS.
- PREFINISHED ALUMINUM WINDOW SYSTEM WITH 25 mm INSULATED GLAZING.
- LINE OF ROOF BEYOND.
- INSULATED HOLLOW METAL SERVICE DOOR AND FRAME. PAINT SEMI-GLOSS. GROUT FRAME SOLID.
- EMERGENCY EGRESS LIGHT FIXTURES. CENTER ABOVE DOOR AT 2743mm A.F.G. U.N.O. (SEE ELECTRICAL SHEETS)
- INSULATED OVERHEAD SECTIONAL DRIVE-THRU DOOR PROVIDE (4) 152 mm DIA. BOLLARDS (TYP.)
- INSULATED OVERHEAD SECTIONAL DOCK DOOR EQUIPMENT.
- DOCK SIGNAGE.
- STEEL FRAMED CANOPY. TIE DOWNSPOUTS INTO UNDERGROUND STORM SYSTEM. SHEET DRAINING WILL NOT BE ACCEPTED.
- STAINLESS STEEL OVERFLOW NOZZLE W/ HINGED PERFORATED COVER. SEE PLUMBING SHEETS FOR SIZE. MOUNT AT 610 mm ABOVE FINISHED ADJACENT SURFACE.
- OVERFLOW SCUPPER. SEE ROOF PLAN.
- AREA OF FUTURE TENANT SIGNAGE.
- RETURN REVEALS ON ALL EXPOSED SIDES OF PIER.
- SURFACE MOUNTED WALL PACK LIGHT FIXTURE. CENTER FIXTURE IN PANEL. MOUNT CENTER OF FIXTURE AT 524mm A.F.F. (SEE ELECTRICAL SHEETS)
- SURFACE MOUNTED WALL PACK LIGHT FIXTURE. CENTER FIXTURE IN PANEL. MOUNT CENTER OF FIXTURE AT 534mm A.F.F.
- METAL CAP.
- WALL LOUVER AT FIRE PUMP ROOM. (SEE MECHANICAL & ELECTRICAL SHEETS)
- SPANDREL PANEL WITH INSULATED METAL BACKPAN IN CURTAIN WALL SYSTEM.
- SECURED SMOKER'S ENCLOSURE WITH WOVEN WIRE MESH SECURITY PANELS.
- STOREFRONT SYSTEM WITH SPANDREL PANEL SET INTO WALL PANEL RECESS. REFER TO EXTERIOR DETAILS.

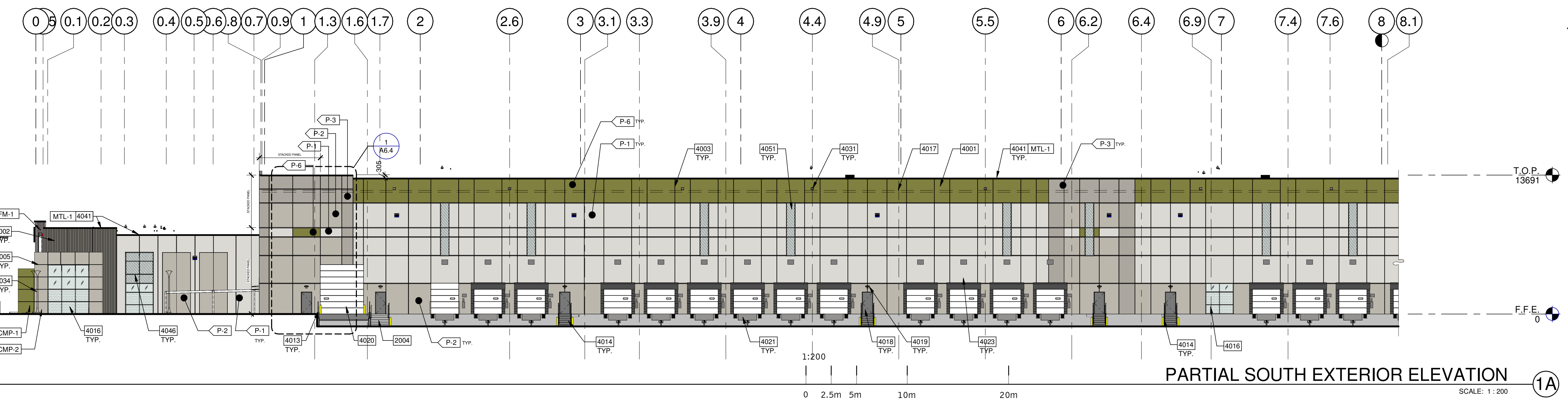
### LEGEND

- GLASS**
- A= 25 INSULATED GLASS (SEE SPECIFICATIONS) PPG SOLARBAN 60, "SOLARGRAY" TINT
  - B= 25 INSULATED SPANDREL GLASS (SEE SPECIFICATIONS) PPG SOLARBAN 60, "SOLARGRAY" TINT
- TEMPERED GLASS**
- AT= 25mm INSULATED TEMPERED GLASS (SEE SPECIFICATIONS)
  - PPG SOLARBAN 60, "SOLARGRAY" TINT
  - CT= 7mm CLEAR TEMPERED GLASS
  - DT= 13mm CLEAR TEMPERED GLASS
- SPANDREL GLASS**
- C= AS PER VISION W/ ICD HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE
- GLASS CRITERIA FOR ALL GLASS USED ON THE ENVELOPE:**  
U FACTOR = 0.29, VT = 0.44, SHGC = 0.22
- WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.**
- COLORS**
- P-1: TEXTURED ACRYLIC COATING MANUFACTURER: SHERWIN WILLIAMS COLORNO: MATCH COLOR SW #7646 "FIRST STAR"
  - P-2: BASE COLOR P-2 MANUFACTURER: SHERWIN WILLIAMS COLORNO: MATCH COLOR SW #7016 "MINDFUL GRAY"
  - P-3: BASE COLOR P-3 MANUFACTURER: SHERWIN WILLIAMS COLORNO: MATCH COLOR SW #7017 "DORIAN GRAY"
  - P-4: BASE COLOR P-4 MANUFACTURER: SHERWIN WILLIAMS COLORNO: MATCH COLOR SW #7018 "DOVE TAIL"
  - P-5: BASE COLOR P-5 MANUFACTURER: SHERWIN WILLIAMS COLORNO: MATCH COLOR SW #9174 "MOTH WING"
  - P-6: BASE COLOR P-6 MANUFACTURER: SHERWIN WILLIAMS COLORNO: TID
  - P-8: BASE COLOR P-8 MANUFACTURER: SHERWIN WILLIAMS COLORNO: BLACK



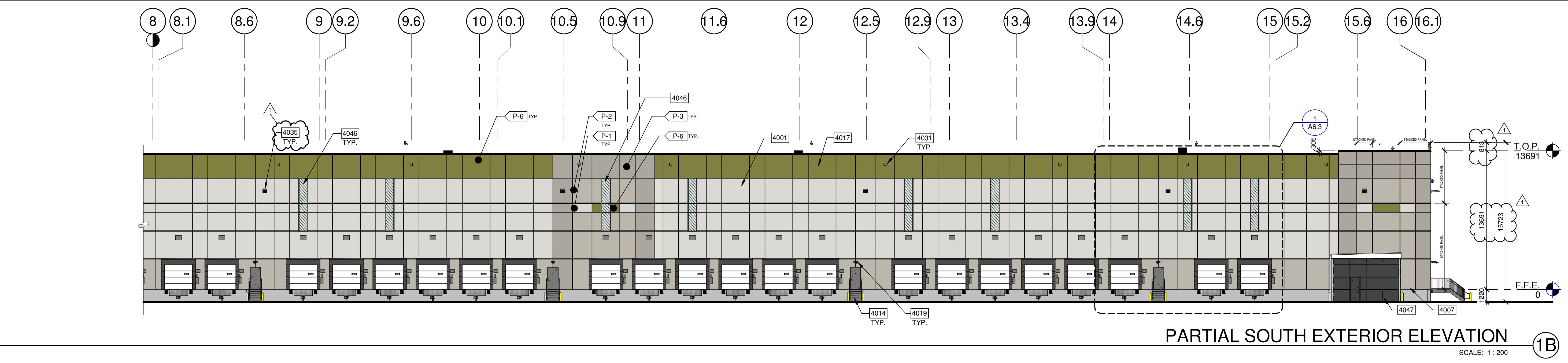
**SOUTH EXTERIOR ELEVATION**

SCALE: 1:400



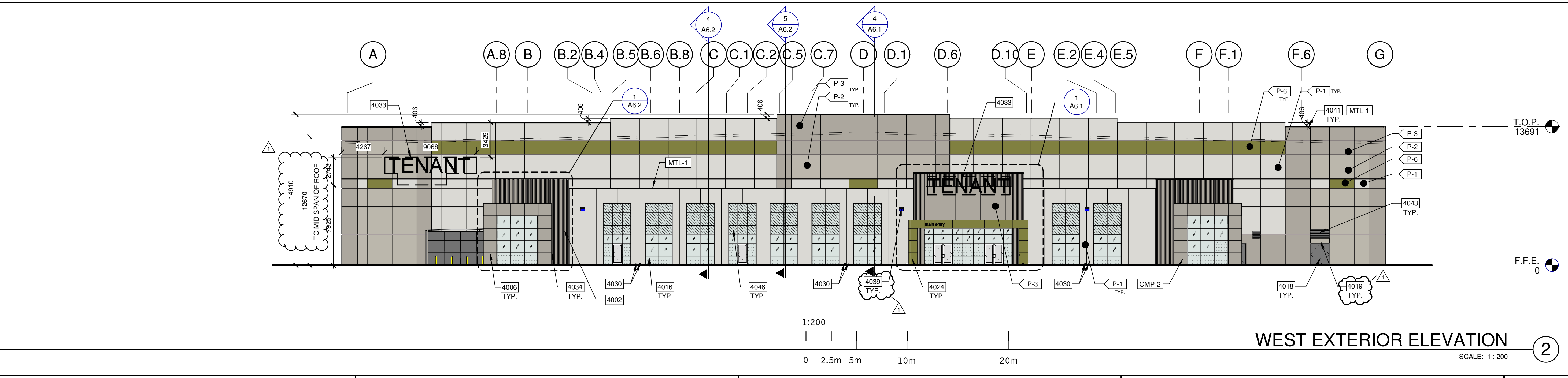
**PARTIAL SOUTH EXTERIOR ELEVATION (1A)**

SCALE: 1:200



**PARTIAL SOUTH EXTERIOR ELEVATION (1B)**

SCALE: 1:200



**WEST EXTERIOR ELEVATION**

SCALE: 1:200

FILE NUMBER: D07-12-21-0079  
PLAN NUMBER: 18474

GENERAL NOTES

SEE SHEET A0.2 AND A0.2a FOR GENERAL NOTES

1. PROVIDE SECURITY FILM ON ALL EXTERIOR FACILITY AREA WINDOWS 4.572 mm A.F.F. AND LOWER.
2. PAINT EXTERIOR HOLLOW METAL DOORS AND FRAMES SEMI-GLOSS, COLOR TO MATCH P-2.
3. PAINT CONCRETE FILLED STEEL BOLLARDS SEMI-GLOSS P-7 "SAFETY YELLOW".
4. PAINT INTERIOR FACE OF FACILITY AND INTERIOR OF STAIR TOWER CONCRETE WALL PANELS P-8 "FLAT WHITE". (NOTE: WALLS THAT ARE FULLY COVERED BY INTERIOR APPLIED WALL INSULATION OR METAL FRAMING DOES NOT NEED TO BE PAINTED)
5. EXTERIOR CONCRETE WALL PANEL CONTROL JOINTS TO BE SEALED WITH SONNEBORN "NP-2" OR APPROVED EQUAL.

KEYNOTES

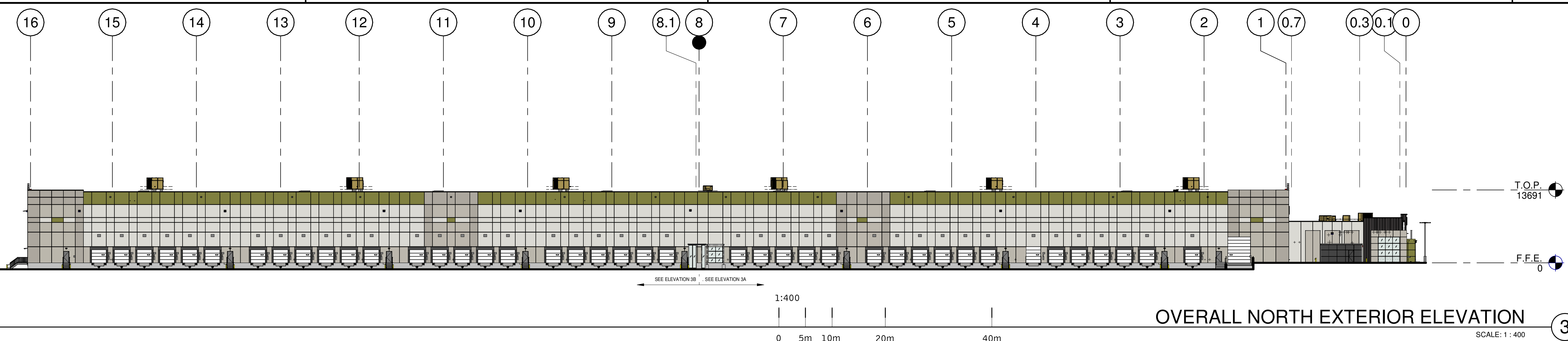
SEE SHEET A0.2 FOR GENERAL NOTES

- 2004 EXTERIOR STAIR WITH 38mm DIA. GUARDRAIL AND 32mm DIA. HANDRAIL
- 4001 INSULATED CONCRETE WALL PANELS WITH REVEALS AND TEXTURED PAINT COATING. PAINT EXPOSED INTERIOR FACE OF CONCRETE WALL PANELS.
- 4003 PANEL JOINTS WITH SEALANT (TYP.)
- 4005 76 mm WIDE x 13 mm DEEP REVEAL.
- 4007 FOUNDATION WALL. (SEE STRUCTURAL SHEETS)
- 4012 CONCRETE RAMPS, RETAINING WALLS, AND STAIRS WITH PAINTED METAL GUARDRAIL AT DRIVE-THRU OVERHEAD DOORS. (SEE STRUCTURAL SHEETS)
- 4014 EXTERIOR GALVANIZED METAL STAIRS WITH 38 mm DIA. GUARDRAIL AND 32mm DIA. HANDRAIL. PROVIDE (2) 152 mm DIA. BOLLARDS.
- 4016 PREFINISHED ALUMINUM WINDOW SYSTEM WITH 25 mm INSULATED GLAZING.
- 4018 INSULATED HOLLOW METAL SERVICE DOOR AND FRAME. PAINT SEMI-GLOSS. GROUT FRAME SOLID.
- 4019 EMERGENCY EGRESS LIGHT FIXTURES. CENTER ABOVE DOOR AT 2743mm A.F.G. U.N.O. (SEE ELECTRICAL SHEETS)
- 4020 INSULATED OVERHEAD SECTIONAL DRIVE-THRU DOOR PROVIDE (4) 152 mm DIA. BOLLARDS (TYP.)
- 4021 INSULATED OVERHEAD SECTIONAL DOCK DOOR EQUIPMENT.
- 4022 KNOCK-OUT PANEL FOR FUTURE WINDOW / DOCK DOOR AND LEVELER SHOWN DASHED. (TYP.)
- 4023 DOCK SIGNAGE.
- 4031 OVERFLOW SCUPPER. SEE ROOF PLAN.
- 4035 SURFACE MOUNTED WALL PACK LIGHT FIXTURE. CENTER FIXTURE IN PANEL. MOUNT CENTER OF FIXTURE AT 9246mm A.F.F. (SEE ELECTRICAL SHEETS)
- 4039 SURFACE MOUNTED WALL PACK LIGHT FIXTURE. CENTER FIXTURE IN PANEL. MOUNT CENTER OF FIXTURE AT 5334mm A.F.F.
- 4041 METAL CAP.
- 4047 SECURED SMOKERS ENCLOSURE WITH WOVEN WIRE MESH SECURITY PANELS.
- STOREFRONT SYSTEM WITH SPANDREL PANEL SET INTO WALL PANEL RECESS. REFER TO EXTERIOR DETAILS.

LEGEND

- INSULATED GLASS**  
A= 25 INSULATED GLASS (SEE SPECIFICATIONS) PPG SOLARBAN 60, "SOLARGRAY" TINT  
B= 25 INSULATED SPANDREL GLASS (SEE SPECIFICATIONS) PPG SOLARBAN 60, "SOLARGRAY" TINT
  - TEMPERED GLASS**  
AT= 25mm INSULATED TEMPERED GLASS (SEE SPECIFICATIONS) PPG SOLARBAN 60, "SOLARGRAY" TINT  
CT= 7mm CLEAR TEMPERED GLASS  
DT= 13mm CLEAR TEMPERED GLASS
  - SPANDREL GLASS**  
C= AS PER VISION W/ ICD HIGH PERFORMANCE 3-0770 WARM GRAY COATING ON #4 SURFACE.
- GLASS:**  
DESIGN CRITERIA FOR ALL GLASS USED ON THE ENVELOPE:  
LEAKAGE COEFFICIENT = 0.28, VT = 0.44, SHGC = 0.22  
COLLECTIVE WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT.  
TEXTURED ACRYLIC COATING
- P-1 BASE COLOR P-1 MANUFACTURER: SHERWIN WILLIAMS COLOR: MATCH COLOR SW #7646 "FIRST STAR"
  - P-2 BASE COLOR P-2 MANUFACTURER: SHERWIN WILLIAMS COLOR: MATCH COLOR SW #7017 "MINDFUL GRAY"
  - P-3 BASE COLOR P-3 MANUFACTURER: SHERWIN WILLIAMS COLOR: MATCH COLOR SW #7017 "DORIAN GRAY"
  - P-4 BASE COLOR P-4 MANUFACTURER: SHERWIN WILLIAMS COLOR: MATCH COLOR SW #7018 "DOVE TAIL"
  - P-5 BASE COLOR P-5 MANUFACTURER: SHERWIN WILLIAMS COLOR: MATCH COLOR SW #9174 "MOTH WING"
  - P-6 BASE COLOR P-6 MANUFACTURER: SHERWIN WILLIAMS COLOR: TBD
  - P-8 BASE COLOR P-8 MANUFACTURER: SHERWIN WILLIAMS COLOR: BLACK

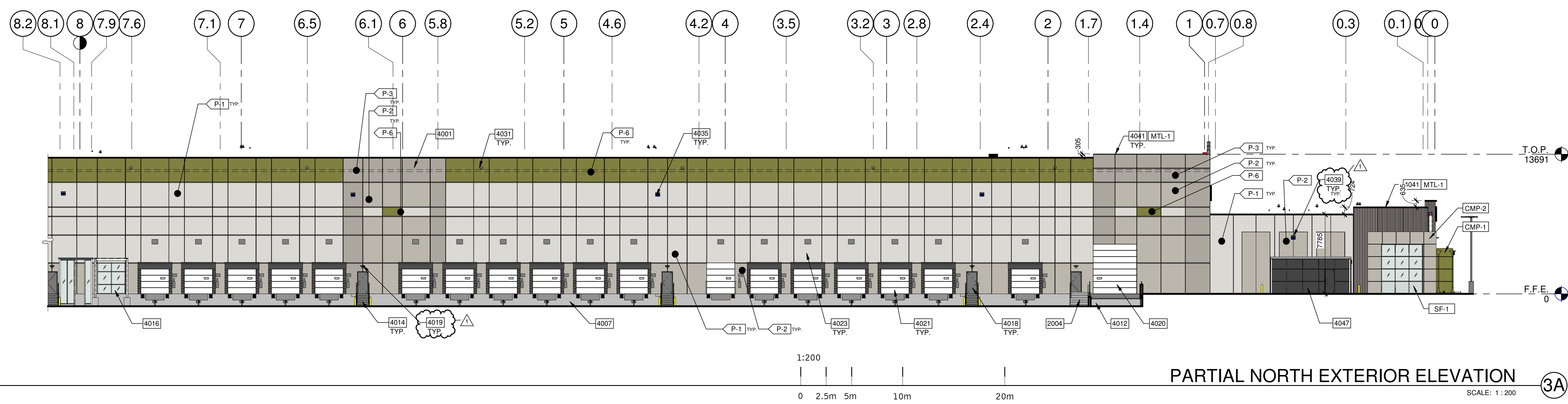
- ITEM: PREFINISHED METAL  
MANUF.: PAC-CLAD  
COLOR: NO.  
COMMENTS: METAL COPING, SCUPPERS, AND DOWNSPOUTS
- ITEM: GRANITE  
MANUF.:  
COLOR: NO.  
COMMENTS: COMPOSITE METAL PANELS (ENTRY CANOPY)
- ITEM: ALPOLIC  
MANUF.: ALPOLIC  
COLOR: NO.  
COMMENTS: PROVIDE DOW CORNING 795 SEALANT AT JOINTS. MATCH P-6
- ITEM: METAL PANELS (CORNER ACCENTS)  
MANUF.: ALPOLIC  
COLOR: NO.  
COMMENTS: MATCH P-2
- ITEM: GALVANIZED METAL  
MANUF.:  
COLOR: NO.  
COMMENTS: EXTERIOR METAL RAILINGS, STAIRS AND LANDINGS
- ITEM: STOREFRONT / WINDOW SYSTEM  
MANUF.: KAWNEER  
COLOR: NO.  
COMMENTS: DARK BRONZE STOREFRONT / WINDOW SYSTEM (TYP.)
- ITEM: AIR INTAKE LOUVERS  
MANUF.: GREENHECK  
COLOR: NO.  
COMMENTS: BONE WHITE, GF102 BUILDING LOUVERS (TYP.) (L1 AND L3 ONLY)
- ITEM: 38mm WIDE PLANK RANDOM DEPTH PATTERN FORMS  
MANUF.: FITZGERALD FORMWORK  
COLOR: NO.  
COMMENTS: PATTERN #16021



OVERALL NORTH EXTERIOR ELEVATION

SCALE: 1 : 400

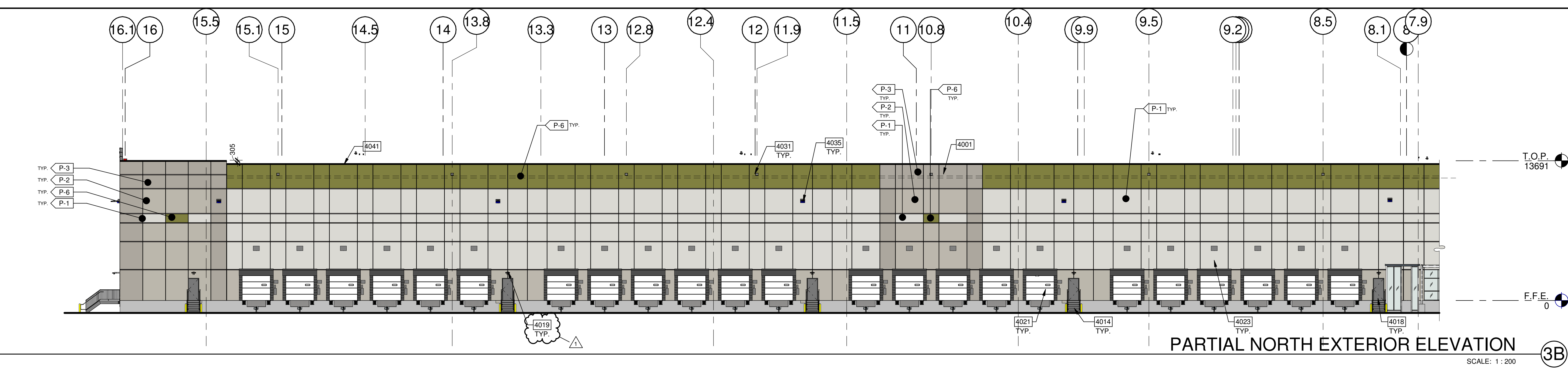
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PARTIAL NORTH EXTERIOR ELEVATION

SCALE: 1 : 200

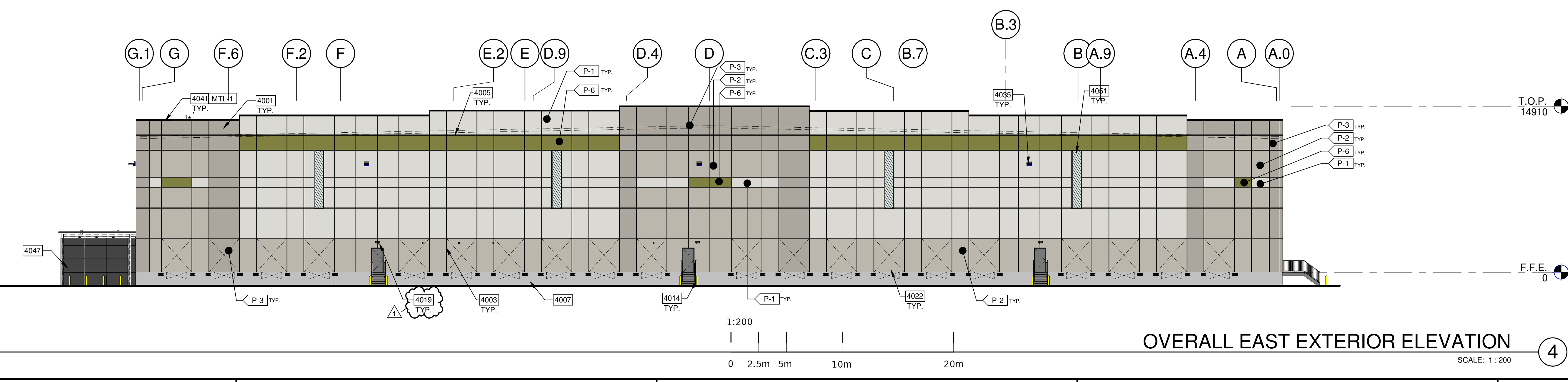
3A



PARTIAL NORTH EXTERIOR ELEVATION

SCALE: 1 : 200

3B



OVERALL EAST EXTERIOR ELEVATION

SCALE: 1 : 200

4

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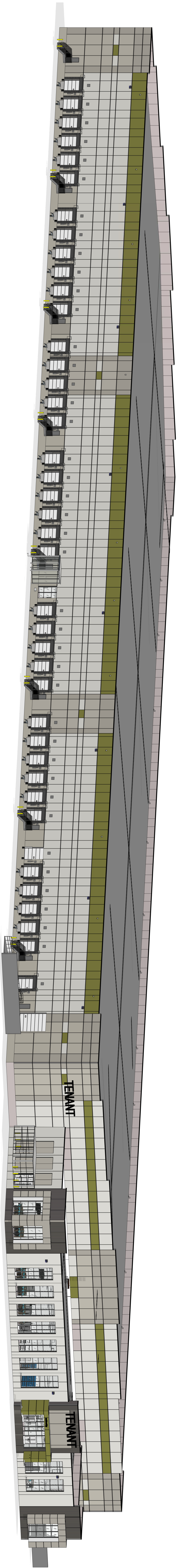
**SORTATION FACILITY**  
99 BILL LEATHER DRIVE, 2 LEIKIN DRIVE  
AND 20 LEIKIN DRIVE  
OTTAWA, ONTARIO

EXTERIOR ELEVATIONS	
DATE	REMARKS
2021-05-31	ISSUE FOR SITE PLAN APPROVAL
2021-07-29	ISSUE FOR FULL BUILDING PERMIT
2021-07-25	SQA COMMENTS #1
1	

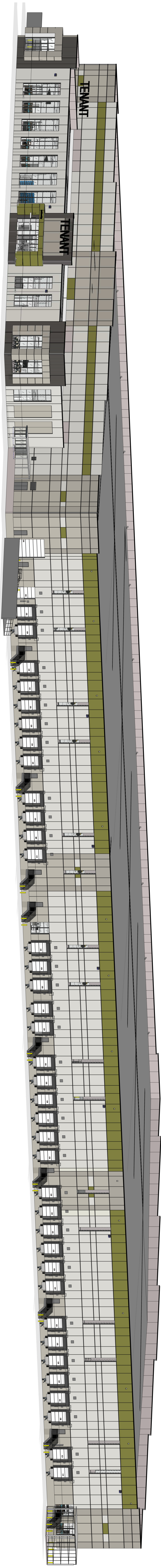
PA/PM: J OVIEDO  
DRAWN BY: S.Z.  
JOB NO.: TOR21-5008-00

SHEET  
**A4.2**

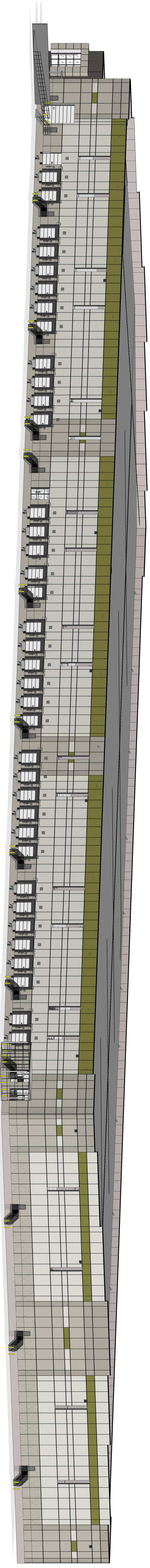
FILE NUMBER: D07-12-21-0079  
PLAN NUMBER: 18474



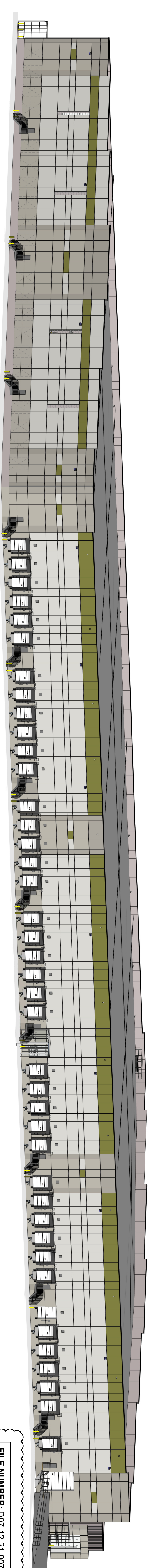
NORTHWEST VIEW  
SCALE: 1



SOUTHWEST VIEW  
SCALE: 2

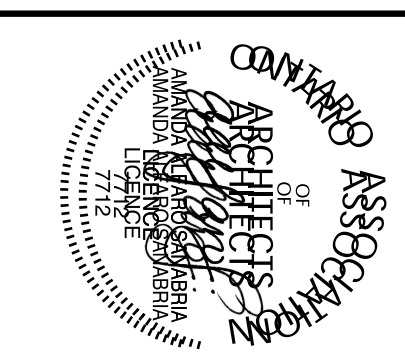


SOUTHEAST VIEW  
SCALE: 3



NORTHEAST VIEW  
SCALE: 4

FILE NUMBER: D07-12-21-0079  
PLAN NUMBER: 18474

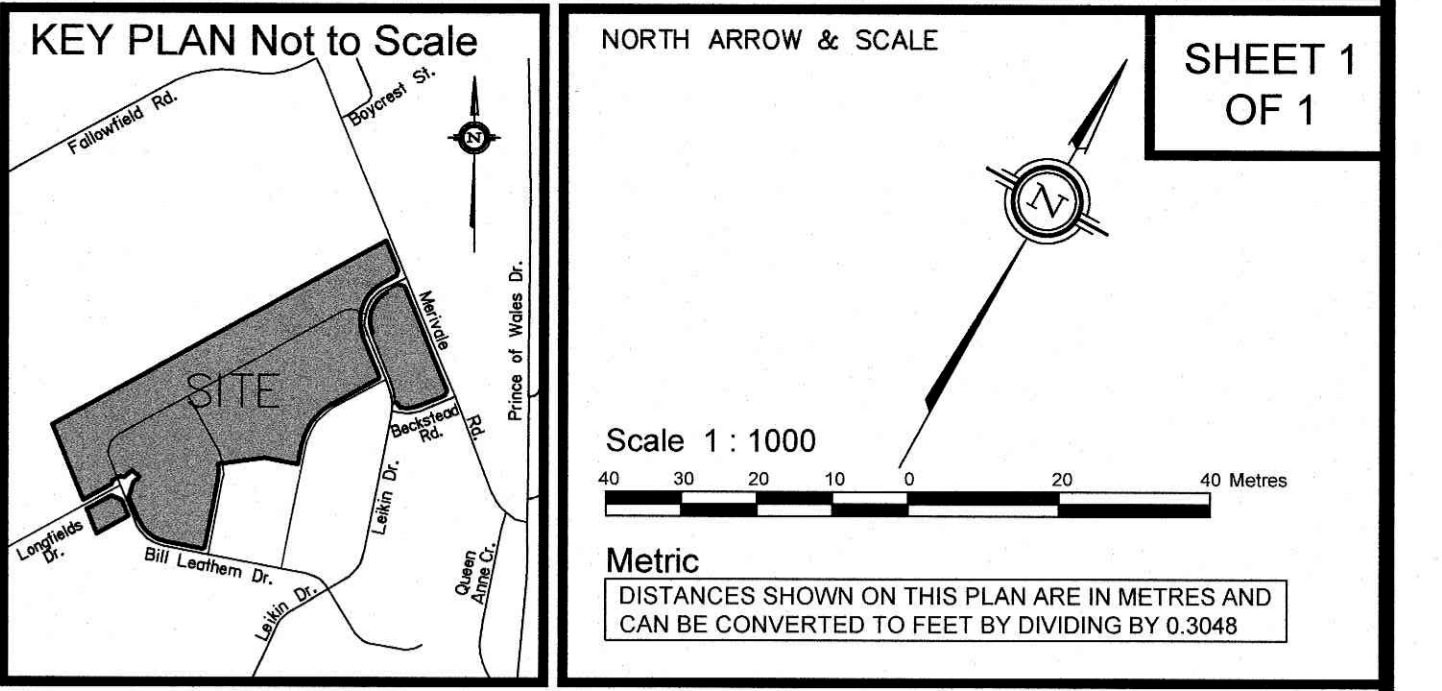
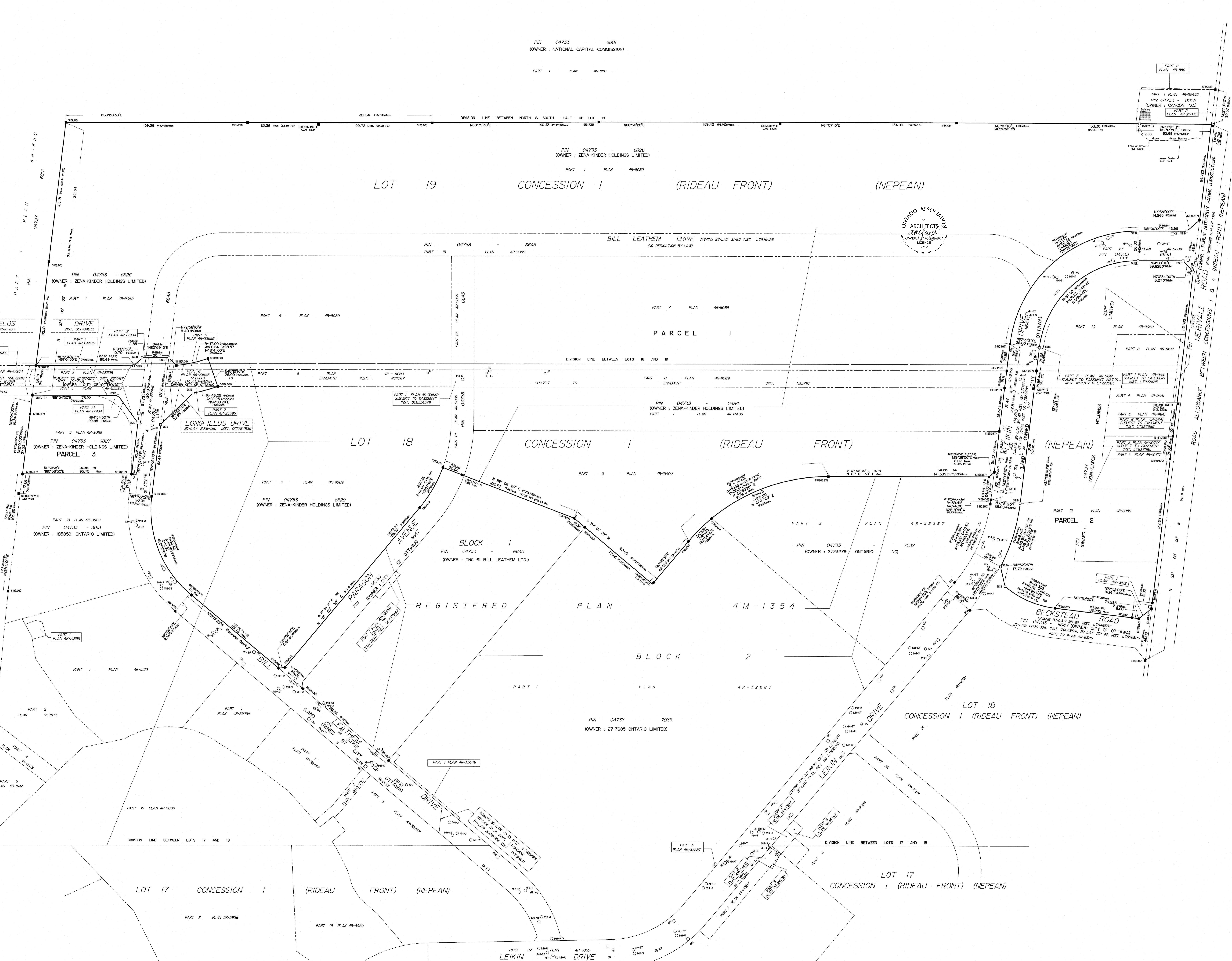
<p><b>A14.0</b></p> <p>SHEET</p>	<p><b>PERSPECTIVE VIEWS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>REMARKS</th> </tr> </thead> <tbody> <tr> <td>2021-07-23</td> <td>SPA COMMENTS #1</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	REMARKS	2021-07-23	SPA COMMENTS #1									<p><b>SORTATION FACILITY</b></p> <p>99 BILL LEATHEN DRIVE, 2 LEIKIN DRIVE AND 20 LEIKIN DRIVE OTTAWA, ONTARIO</p>		<p>architecture planning interiors graphics civil engineering</p> <p>180 Bass Pro Mills Dr #103 Vaughan, Ontario, Canada L4K 5W4 p 905.740.1221 f 905.248.3344</p>	<p><b>WARE MALCOMB</b></p> <p>Leading Design for Commercial Real Estate</p>
DATE	REMARKS																
2021-07-23	SPA COMMENTS #1																

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- 1 MONUMENTS HAVE BEEN PLACED AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SURVEYED PROPERTY UNLESS ALREADY MARKED OR REFERENCED BY EXISTING MONUMENTS OR WITNESSES MONUMENTS IN CLOSE PROXIMITY OF THE CORNER.
- 2 ALTAACSM LAND TITLE SURVEY OF  
South Nerivale Business Park  
OTTAWA, ONTARIO
- 3 FLOOD INFORMATION  
THE PROPERTY IS NOT LOCATED IN A 100-YEAR FLOOD PLAIN OR IN AN AREA SUBJECT TO A REGULATION PURSUANT TO THE CONSERVATIONS AUTHORITIES ACT (ONTARIO) DESIGNATING IT AS AN AREA SUSCEPTIBLE TO FLOODING OR WHERE FILLING IN OF LAND IS PROHIBITED OR WHERE DIVERTING OR ALTERING A STREAM OR WATERCOURSE IS PROHIBITED.
- 4 LAND AREA  
PARCEL 1 = 30.58248 HECTARES (75.57 ACRES)  
PARCEL 2 = 3.79887 HECTARES (9.387 ACRES)  
PARCEL 3 = 0.63822 HECTARES (1.572 ACRES)
- 6 ZONING INFORMATION  
LIGHT INDUSTRIAL, SUBZONE 9-11.9
- 7 BUILDING INFORMATION  
NO BUILDINGS.
- 8 SUBSTANTIAL FEATURES  
NO SUBSTANTIAL FEATURES.
- 9 PARKING STRUCTURES  
REGULAR = 0 HANDICAP = 0 TOTAL = 0
- 11 UNDERGROUND SERVICES  
SEE PLAN FOR VISIBLE HARDWARE ONLY. NO UNDERGROUND LOCATES WERE PERFORMED.
- 13 ADJOINING OWNERS  
SEE PLAN.
- 14 ACCESS TO THE NEAREST INTERSECTING STREET  
THE PROPERTY FRONTS ONTO LEIKIN DRIVE, PARAGON AVENUE, BILL LEATHEM DRIVE AND LONGFIELDS DRIVE.

- 16 EARTH MOVING NOTE  
THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- 17 PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES  
THERE IS NO OBSERVABLE EVIDENCE OF CHANGES TO EXISTING RIGHTS-OF-WAY OF PUBLIC STREETS.
- 18 EASEMENTS  
EASEMENT IN FAVOR OF THE CITY OF OTTAWA (AS IN INSTRUMENTS N311767 & N311767) AS ILLUSTRATED ON THE PLAN.
- 19 PROFESSIONAL LIABILITY INSURANCE POLICY  
PROVIDED IN SEPARATE DOCUMENT.
- BEARING NOTE  
BEARINGS ARE GRID, DERIVED FROM THE WESTERLY LIMIT OF BILL LEATHEM DRIVE SHOWN TO BE N79°07'25"W ON PLAN 4R-32287 AND ARE REFERRED TO THE CENTRAL MERIDIAN OF MAP ZONE 18 UTM (NAD 83) (PROGNAL).
- LEGEND AND ABBREVIATIONS  

○	SURVEY MONUMENT PLACED	○	FIRE HYDRANT
■	SURVEY MONUMENT FOUND	○	WATER VALVE
▬	STANDARD IRON BAR	○	MAINTENANCE HOLE (STORM SEWER)
▬	SHORT STANDARD IRON BAR	○	MAINTENANCE HOLE (SEWER)
▬	IRON BAR	○	MAINTENANCE HOLE (WATER)
▬	SURVEY MONUMENT 0.3 metres LONG	○	MAINTENANCE HOLE (UNIDENTIFIED)
▬	WITNESS	○	MAINTENANCE HOLE (TRAFFIC)
▬	MEASURED	○	MAINTENANCE HOLE (DRAIN)
▬	ANNIS, O'SULLIVAN, VOLLEBEKK LTD.	○	MAINTENANCE HOLE (HANDICAP)
(P1)	REGISTERED PLAN 4M-1354	○	CATCH BASIN INLET
(P2)	PLAN 4R-2098	○	CATCH BASIN
(P3)	PLAN 4R-500	○	HANDICAP
(P4)	PLAN 4R-2500	○	ANCHOR
(P5)	PLAN 4R-17934		
(P6)	PLAN 4R-25435		
(P7)	PLAN 4R-9541		
(P8)	PLAN 4R-10717		
(P9)	PLAN 4R-13022		
(P10)	PLAN 4R-11153		
(P11)	UTILITY POLE		
(P12)	ANCHOR		



PLAN OF SURVEY OF  
PIN 04733-6826(LT),  
PART OF PIN 04733-6643(LT),  
PIN 04733-6829(LT),  
PIN 04733-0484(LT),  
PIN 04733-6827(LT) and  
PIN 4733-2325(LT)  
PART OF LOTS 18 and 19  
CONCESSION 1 (RIDEAU FRONT)  
Geographic Township of Nepean

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.  
THIS SURVEY DESCRIBES AND DELIMITS THE SAME LAND AS DESCRIBED IN THE TITLE COMMITMENT AS REFERENCED ABOVE.

- SURVEYOR'S NOTES
- Note 1: The subject property has access to public utilities from the public streets adjacent to the subject property.
  - Note 2: The subject property abuts, without gaps or strips, and has vehicular and pedestrian ingress to and egress from Leikin Drive, Paragon Avenue, Bill Leatham Drive and Longfields Drive, which are completed, dedicated and accepted public rights of way.
  - Note 3: Except as shown and noted on this Survey, based on a careful physical inspection of the subject property, a zoning report or letter provided by the client, and matters of record or provided by the title company or client, there are no visible:
    - (i) height or bulk restrictions, setback lines, parking requirements, party walls, encroachments or overhangs of any improvements upon any easement, right-of-way or adjacent land or encroachment of the improvements located on adjacent land onto the subject property other than as noted on the plan.
  - Note 4: The subject property does not appear to serve any adjoining property for utilities, drainage, structural support or ingress or egress.
  - Note 5: The legal description on and depiction of the subject property contained in the survey describe and depict the same property described in the legal description contained in that certain Title Commitment/Preliminary Report issued by \_\_\_\_\_ on \_\_\_\_\_ under Order No. \_\_\_\_\_ (No report provided).
  - Note 6: The record description of the subject property forms mathematically closed figures.
  - Note 7: There is no observed evidence of the site being used as a solid waste dump, sump or sanitary landfill.
  - Note 8: The survey reflects the location of wetlands on the subject property based on the wetland delineation provided by the client. (No report provided).

SURVEYOR'S CERTIFICATE  
ALTAACSM Land Title Survey  
Surveyor's Certification

To: Medusa Limited Partnership & Medusa Coinvest Limited Partnership  
16766 He Trans-Canada, Suite 500  
Kirkland, Québec H9H 4M7

This is to certify that this map or plat and the survey on which it is based were made in accordance with the Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5(a), 6(a), 8, 9, 11, 13, 14, 16, 17 and 18 of Table A thereof. The work was completed on March 30th, 2021.

Registered Surveyor: V. Andrew Shelp  
Ontario Land Surveyor No. 1718  
In the Province of Ontario  
Date of Survey: March 30th, 2021  
AOV Reference: 21282-21

Surveyor's Certificate  
I CERTIFY THAT:  
1. This survey and plan are correct and in accordance with the Surveys Act and the Regulations made under them.  
2. The survey was completed on the 30th day of March, 2021.

ANIS, O'SULLIVAN, VOLLEBEKK LTD.  
2165344  
ASSOCIATION OF ONTARIO LAND SURVEYORS  
ONTOARIO LAND SURVEYOR