

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.

- NOTATION SYMBOLS:**
- (00) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
 - (A) INDICATES ASSEMBLY TYPE, REFER TO TYPICAL ASSEMBLIES SCHEDULE.
 - (W) INDICATES WINDOW TYPE, REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
 - (D) INDICATES DOOR TYPE, REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
 - DETAIL NUMBER
 - TITLE SCALE
 - DETAIL REFERENCE PAGE

No.	DESCRIPTION	DATE
8	SITE PLAN SECOND ROUND COMMENTS	2022-02-17
7	SITE PLAN COMMENT RESPONSE	2021-11-04
6	REVISED CONSULTANT COORDINATION	2021-07-12
5	REVISED CONSULTANT COORDINATION	2021-06-03
4	FOR COORDINATION	2021-04-30
3	REVISED CONSULTANT COORDINATION	2021-04-07
2	REVISED PRELIMINARY COMMENTS	2021-02-25
1	ISSUED FOR COORDINATION	2021-02-03

ARCHITECT SEAL: **RODERICK LAHEY ARCHITECTS** (Professional Seal)
 CLIENT: **CLARIDGE HOMES**
 SEAL DATE: STAMP DATE

PROJECT DEVELOPER
 Claridge Homes
 2001 - 201 Gladstone Avenue
 Ottawa ON, Tel.: (613) 233-6030
 E-Mail: info@claridgehomes.com

SURVEYOR
 Annis O'Sullivan Vollebek Ltd.
 Ontario Land Surveyors
 14 Concourse Gate, Suite 500,
 Nepean, Ontario K2E 7S6
 Tel: (613) 727-0850
 Fax: (613) 727-1079
 E-Mail: Edl@aovtld.com

LEGAL DESCRIPTION
 TOPOGRAPHICAL PLAN OF
 PART OF LOT 30 CONCESSION 10,
 GOULBOURN,
 PART 1 PLAN 4R17373, EXCEPT PART 4,
 PLAN 4R20112;
 OTTAWA.
 SUBJECT TO AN EASEMENT IN FAVOUR
 OF HYDRO OTTAWA LIMITED OVER
 PARTS 5, 6, 7, 8 AND 9 PLAN 4R20112 AS
 IN OC455206.

ROAD ALLOWANCE BETWEEN LOTS 30 AND 31 CONCESSION 10, GOULBOURN LYING BETWEEN PARTS 3 AND 4 ON 4R17373 AND PART 2 ON PLAN 4R20112, AS CLOSED BY N599928; OTTAWA

PROJECT TITLE:
TERRY FOX ZEN
 5331 FERNBANK STREET
 OTTAWA ONTARIO

SHEET TITLE:
SITE PLAN (NORTH-WEST)

DRAWN: BIO
CHECKED: CM
SCALE: 1:300
SHEET No.: SP-1
PROJECT No.: 2101

SITE PLAN SYMBOLS

- CONCRETE UNIT PAVERS SURFACE
- SOFT LANDSCAPING
- CONCRETE WALK / PATH
- HEAVY DUTY CONCRETE PAD
- BIKE RACK / BIKE PARKING SPOT
- TWO WAY VEHICLE CIRCULATION
- MAIN ENTRANCE
- PROPERTY LINE
- ZONING SETBACKS
- STANDARD PARKING SPACE
- VISITOR PARKING SPACE
- ACCESSIBLE PARKING SPACE
- DEPRESSED CURB w/ TWSI CONSTRUCTED TO CITY STANDARDS
- COMMUNITY MAIL BOXES
- LANDSCAPE RISERS
- SITE UTILITIES (SEE COMPOSITE UTILITY PLAN)
- PROPOSED TREE (SEE LANDSCAPE PLAN)
- PROPOSED FIRE ROUTE SIGNAGE

PROJECT DEVELOPER

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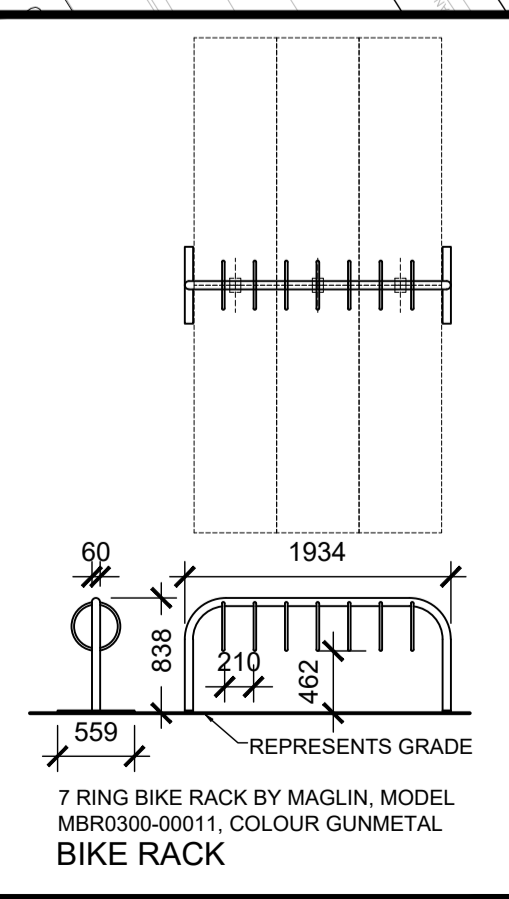
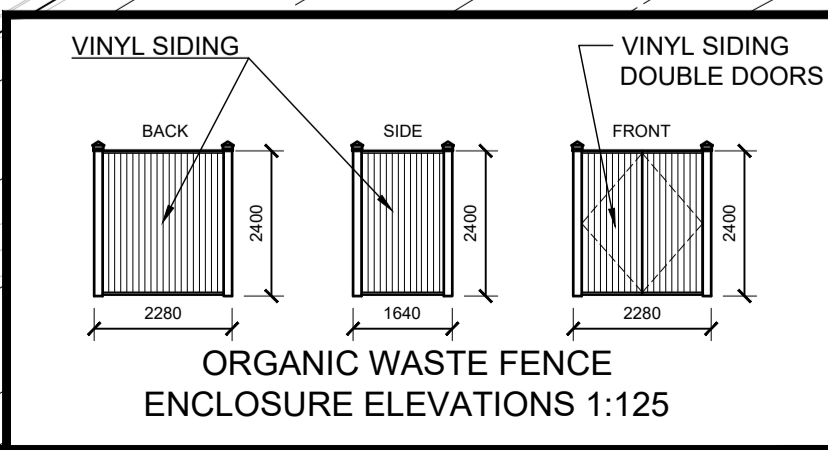
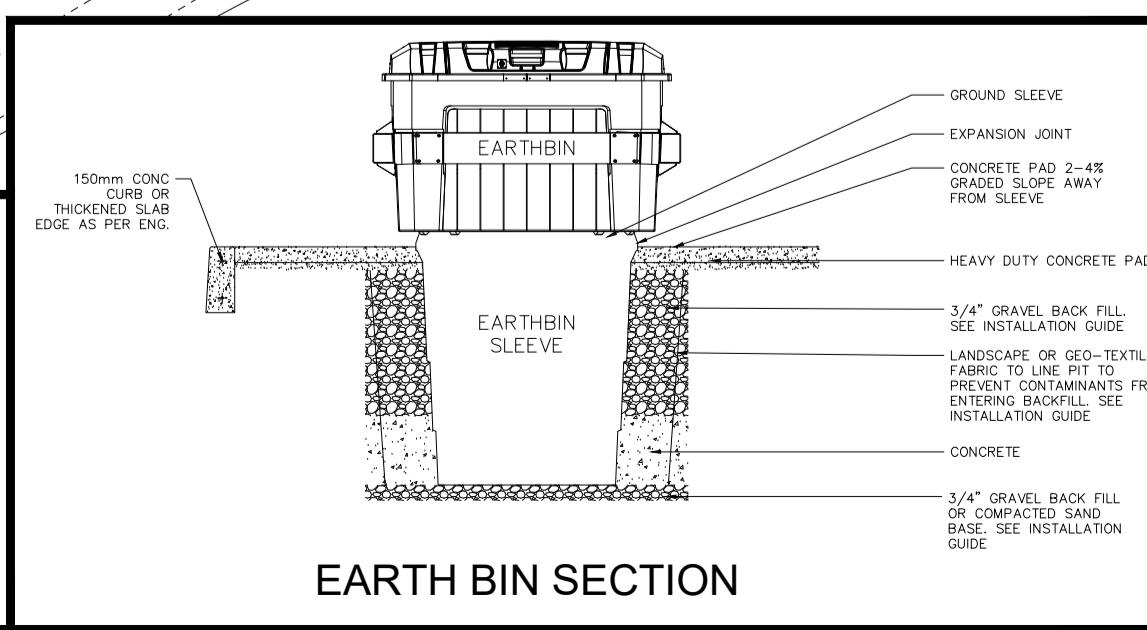
LEGAL DESCRIPTION

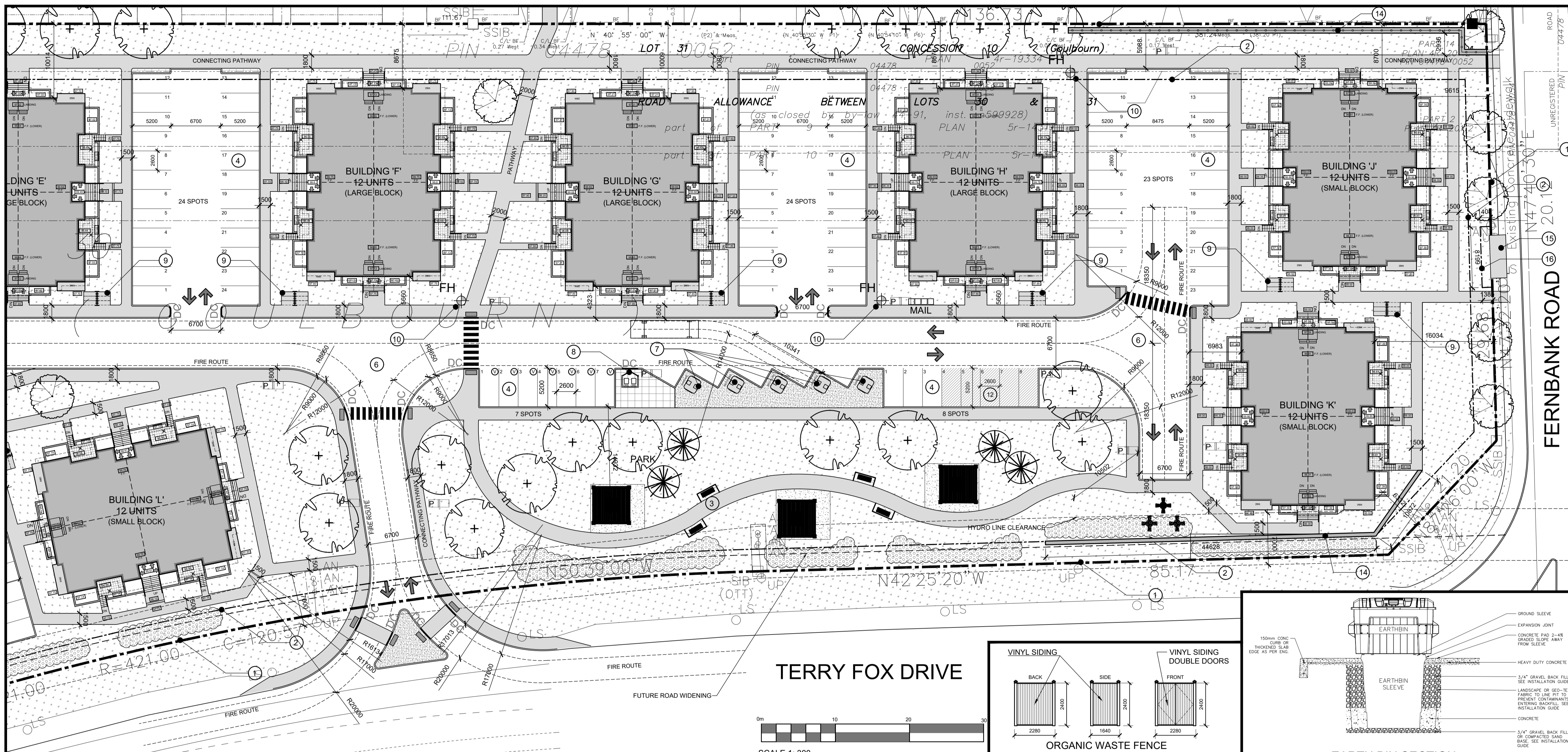
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ROAD ALLOWANCE BETWEEN LOTS 30 AND 31 CONCESSION 10, GOULBOURN LYING BETWEEN PARTS 3 AND 4 ON 4R17373 AND PART 2 ON PLAN 4R20112, AS CLOSED BY N599928; OTTAWA

PART OF LOT 31, CONCESSION 10, GOULBOURN, PART 1 ON PLAN 4R19334 CITY OF OTTAWA

Prepared by Annis, O'Sullivan, Vollebek Ltd.
 Field Work Completed December 14, 2020



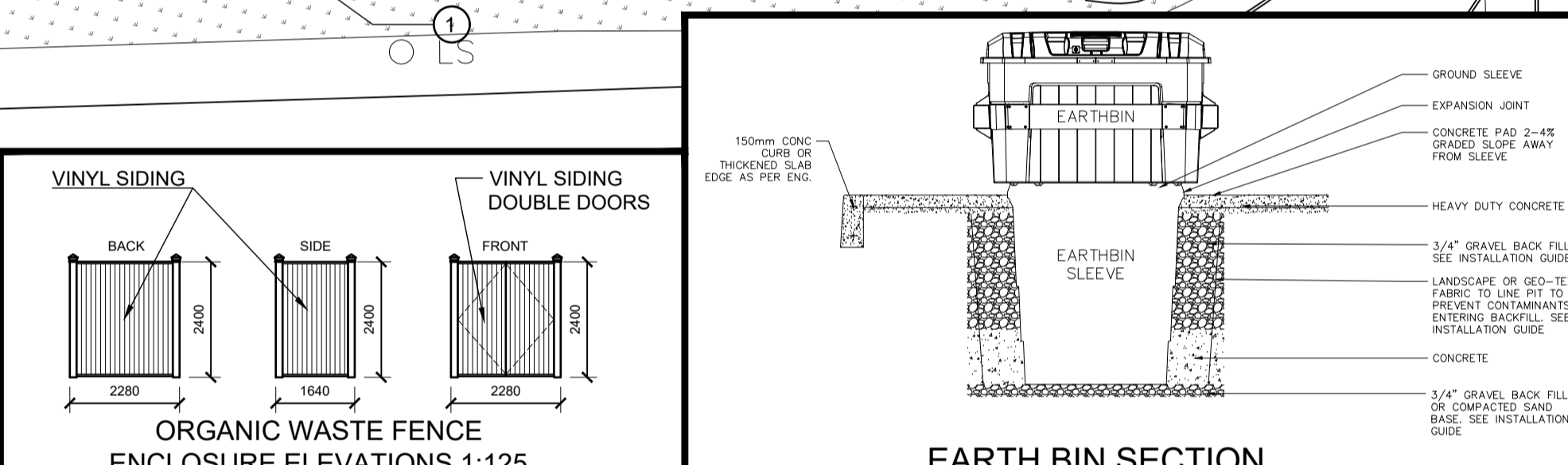


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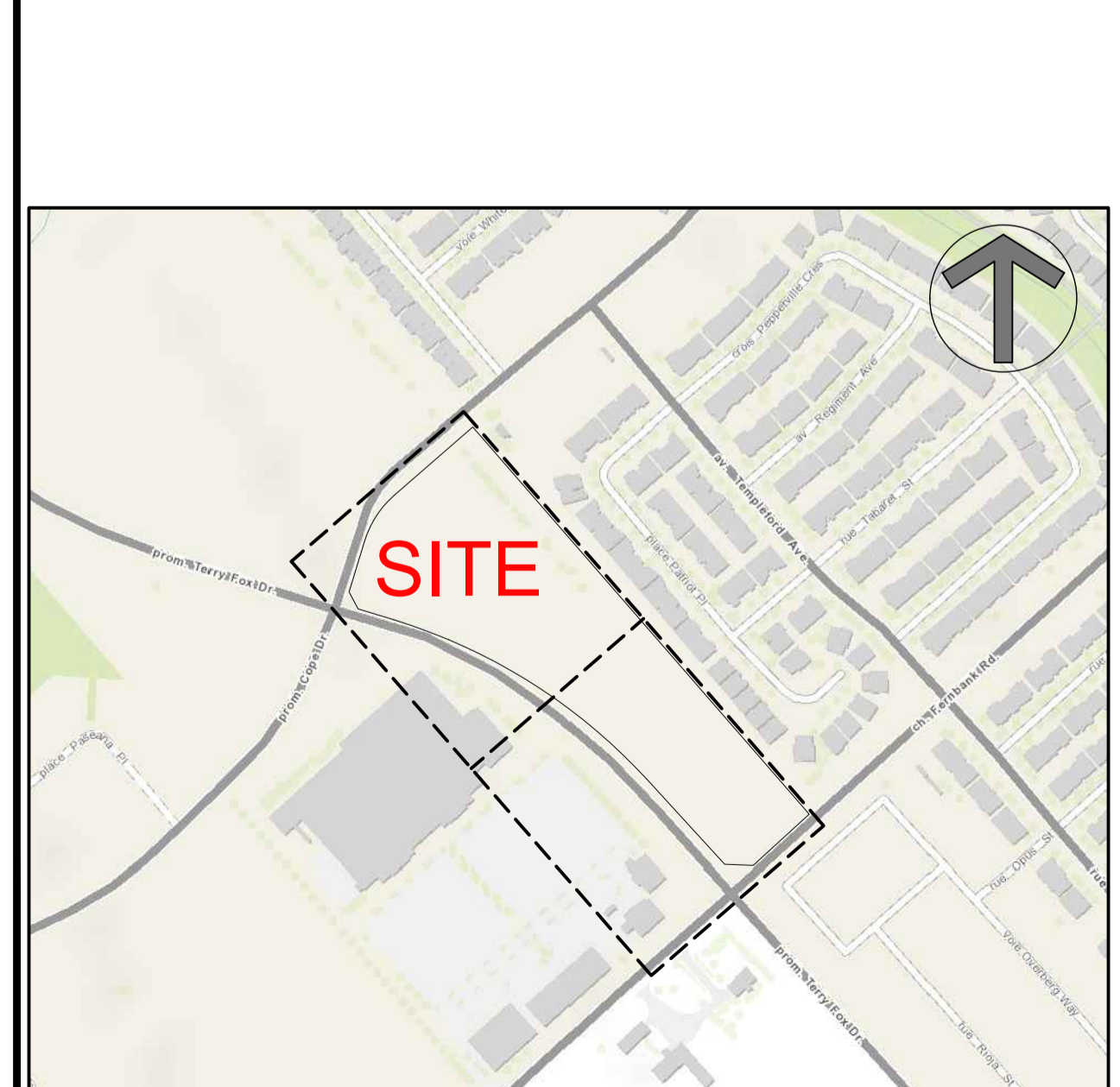
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No.	REVISIONS	DATE
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7	SITE PLAN COMMENT RESPONSE	2021-11-04
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2	REVISED PRELIMINARY COMMENTS	2021-02-25
1	ISSUED FOR COORDINATION	2021-02-03

ARCHITECT SEAL	NORTH ARROW



1 SITE PLAN
SP-2 SCALE = 1 : 300



- DRAWING NOTES**
- PROPERTY LINE
 - BUILDING SETBACKS
 - REQUIRED AMENITY AREA
 - PARKING SPACE: STANDARD SIZE 2.6 x 5.2 METRES
 - PROPOSED HYDRO TRANSFORMER
 - ASPHALT DRIVING SURFACE
 - EARTH BINS
 - ORGANIC WASTE SHED
 - BICYCLE PARKING SPACES
 - PROPOSED HYDRANT
 - EXISTING FIRE HYDRANT
 - TEMPORARY SNOW STORAGE
 - EXISTING BELL BOXES
 - RETAINING WALL, SEE CIVIL
 - PROPOSED CONCRETE BUS PAD
 - 1.2m x 1.2m EASEMENT FOR BUS PAD

- SITE PLAN SYMBOLS**
- CONCRETE UNIT PAVERS SURFACE
 - SOFT LANDSCAPING
 - CONCRETE WALK / PATH
 - HEAVY DUTY CONCRETE PAD
 - BIKE RACK / BIKE PARKING SPOT
 - TWO WAY VEHICLE CIRCULATION
 - MAIN ENTRANCE
 - PROPERTY LINE
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 - STANDARD PARKING SPACE
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 - PROPOSED FIRE ROUTE SIGNAGE

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PART OF LOT 31, CONCESSION 10, GOULBOURN, PART 1 ON PLAN 4R19334 CITY OF OTTAWA

Prepared by Annis O'Sullivan, Vollebek Ltd.
Field Work Completed December 14, 2020

WASTE COLLECTION

GUIDELINES

	REQUIRED	PROVIDED
GARBAGE	- 0.231 CUBIC YARDS / UNIT	45 YARDS ³
RECYCLING (GMP)	- 0.018 CUBIC YARDS / UNIT	4 YARDS ³
RECYCLING (FIBRE)	- 0.062 CUBIC YARDS / UNIT	12 YARDS ³
ORGANICS	- 240L CONTAINER /50 UNITS	4x 240L
GARBAGE	7 EARTH BINS	7 EARTH BINS
RECYCLING (GMP)	1 EARTH BINS	2 EARTH BINS
RECYCLING (FIBRE)	2 EARTH BINS	2 EARTH BINS
ORGANICS	4x 240L BINS	4x 240L BINS

*EARTH BINS= (6.5 YARDS³)

SNOW STORAGE
TEMPORARILY STORED AND TRUCKED OFF SITE

PROJECT INFORMATION

CURRENT ZONING
USE: PLANNED UNIT DEVELOPMENT GM(2411)

SITE AREA
36,789 sq. m. (395,995) sq. ft.

BUILDING HEIGHT
18.0 m

AMENITY AREA PER DWELLING UNIT
6.0 sq. m.

FRONT YARD SETBACK
3.0 M

REAR YARD SETBACK
3.0 M

INTERIOR SIDE YARD SETBACK
7.5 M

PROJECT STATISTICS

REQUIRED AMENITY SPACE	PROVIDED AMENITY SPACE
6 SQ. M. PER UNIT= 288 sq. m.	PRIVATE BALCONY / PATIOS = 361 sq. m.
50% COMMUNAL AMENITY AREA = 144 sq. m.	COMMUNAL EXTERIOR AREA= 200 sq. m.
	TOTAL = 561 sq. m.

SITE COVERAGE

	PERCENTAGE	AREA (SQ. M.)	AREA (SQ. FT.)
BUILDING FOOTPRINT	33.6%	2,278.43	24,743
DRIVING SURFACE	25.9%	1,751.40	18,840
LANDSCAPE AREA	40.5%	2,739.12	29,381
TOTAL	100.0%	6,768.95	72,964

CAR PARKING REQUIRED BY ZONING BY-LAW

RESIDENCE	PER UNIT	TOTAL
RESIDENCE	- 1.2 PER UNIT (192 UNITS)	230
VISITOR	- 0.2 PER DWELLING UNIT	38
TOTAL		268

PROVIDED

RESIDENCE	PER UNIT	TOTAL
RESIDENCE	- 1.2 PER UNIT (192 UNITS)	230
VISITOR	- 0.2 PER DWELLING UNIT	38
TOTAL		268

BICYCLE PARKING

RESIDENCE	PER UNIT	TOTAL
RESIDENCE	- 0.5 PER UNIT (192 UNITS)	96
PROVIDED EXTERIOR		96

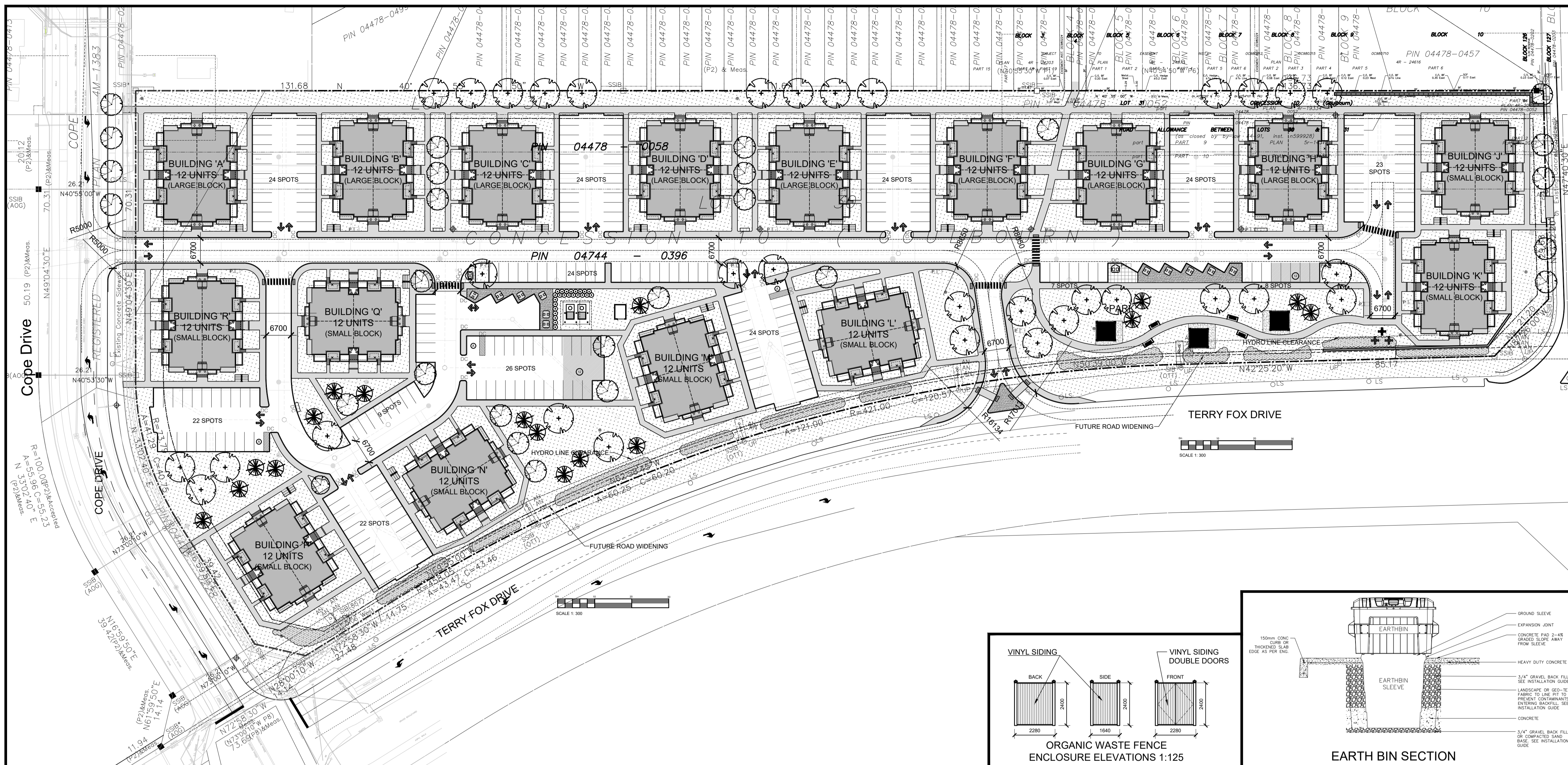
GROSS BUILDING - AREAS
(CITY OF OTTAWA'S DEFINITION)

PROPOSED BUILDING 'A'	PROPOSED BUILDING 'B'	PROPOSED BUILDING 'C'	PROPOSED BUILDING 'D'	PROPOSED BUILDING 'E'	PROPOSED BUILDING 'F'	PROPOSED BUILDING 'G'	PROPOSED BUILDING 'H'	PROPOSED BUILDING 'J'	PROPOSED BUILDING 'K'	PROPOSED BUILDING 'L'	PROPOSED BUILDING 'M'	PROPOSED BUILDING 'N'	PROPOSED BUILDING 'P'	PROPOSED BUILDING 'Q'	PROPOSED BUILDING 'R'	TOTAL PROPOSED AREA
1,290.5 sq. m. (13,890) sq. ft.	1,290.5 sq. m. (13,890) sq. ft.	1,290.5 sq. m. (13,890) sq. ft.	1,290.5 sq. m. (13,890) sq. ft.	1,290.5 sq. m. (13,890) sq. ft.	1,290.5 sq. m. (13,890) sq. ft.	1,290.5 sq. m. (13,890) sq. ft.	1,290.5 sq. m. (13,890) sq. ft.	1,220.0 sq. m. (13,130) sq. ft.	1,290.5 sq. m. (13,890) sq. ft.	1,220.0 sq. m. (13,130) sq. ft.	1,220.0 sq. m. (13,130) sq. ft.	1,220.0 sq. m. (13,130) sq. ft.	1,220.0 sq. m. (13,130) sq. ft.	1,220.0 sq. m. (13,130) sq. ft.	1,220.0 sq. m. (13,130) sq. ft.	20,084.0 sq. m. (216,182) sq. ft.

UNIT STATISTICS

2 BEDROOM UNIT	TOTAL
192	192

D07-12-21-0080



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NOTATION SYMBOLS:

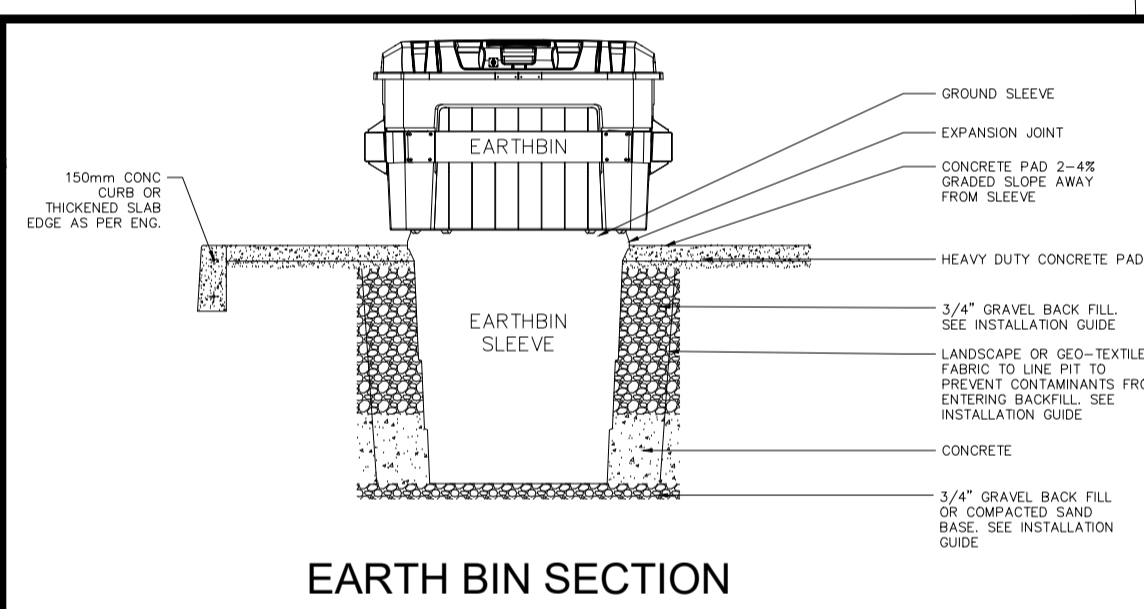
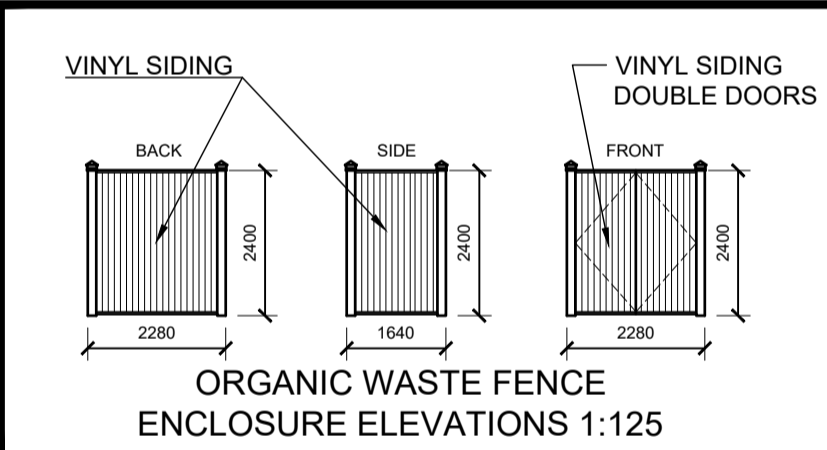
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REVISIONS:

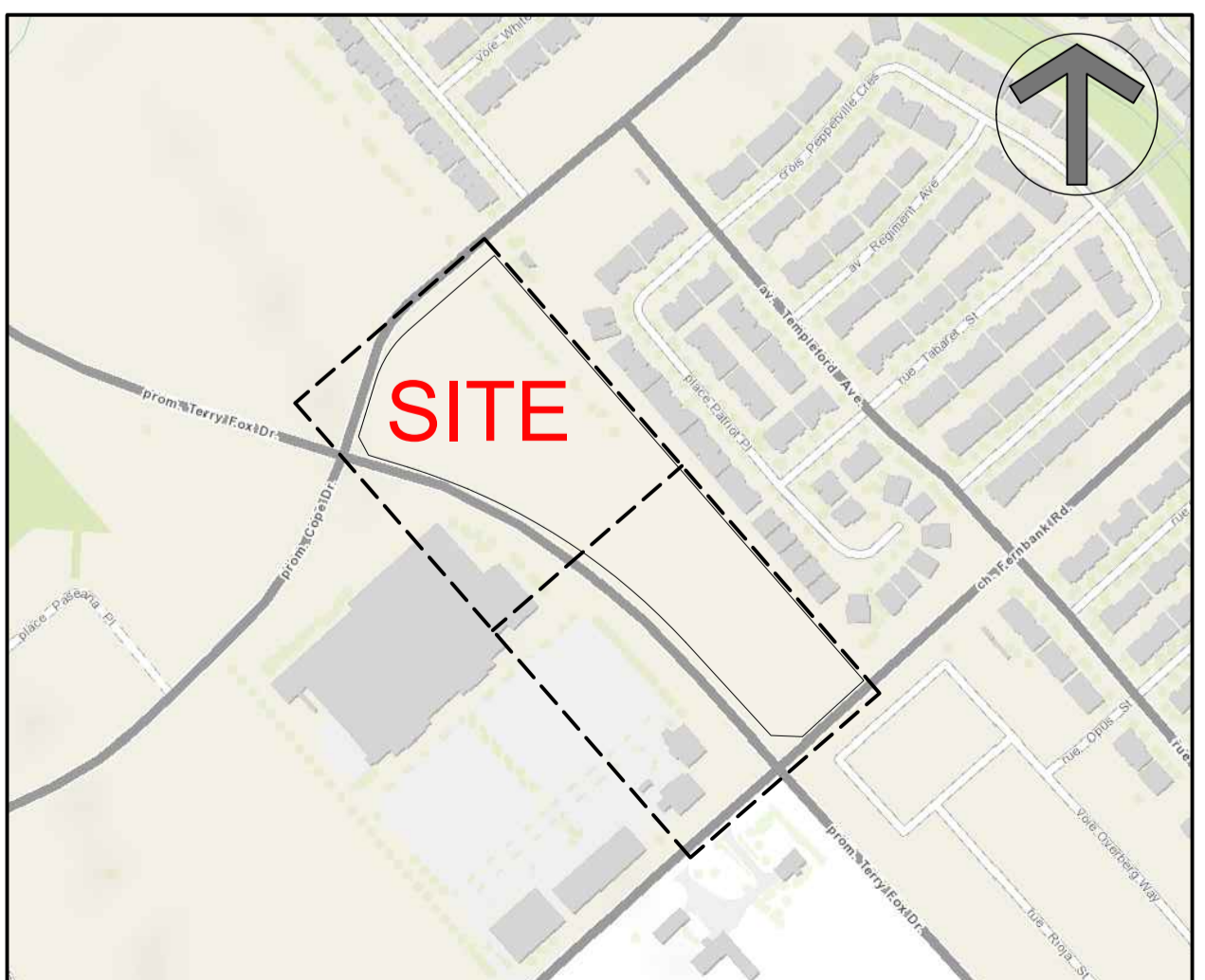
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4	FOR COORDINATION	2021-04-30

ARCHITECT SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**
 RODERICK LAHEY LICENCE 4375
 SEAL DATE: STAMP DATE

NORTH ARROW:



1 SITE PLAN
 SP-3 SCALE = 1 : 600



- DRAWING NOTES**
- PROPERTY LINE
 - BUILDING SETBACKS
 - REQUIRED AMENITY AREA
 - PARKING SPACE: STANDARD SIZE 2.6 x 5.2 METRES
 - PROPOSED HYDRO TRANSFORMER
 - ASPHALT DRIVING SURFACE
 - EARTH BINS
 - ORGANIC WASTE SHED
 - BICYCLE PARKING SPACES
 - PROPOSED HYDRANT
 - EXISTING FIRE HYDRANT
 - TEMPORARY SNOW STORAGE
 - EXISTING BELL BOXES
 - RETAINING WALL, SEE CIVIL
 - PROPOSED CONCRETE BUS PAD
 - 1.2m x 1.2m EASEMENT FOR BUS PAD

- SITE PLAN SYMBOLS**
- CONCRETE UNIT PAVERS SURFACE
 - SOFT LANDSCAPING
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 - PROPERTY LINE
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 - VISITOR PARKING SPACE
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 - COMMUNITY MAIL BOXES
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 - SITE UTILITIES (SEE COMPOSITE UTILITY PLAN)
 - PROPOSED TREE (SEE LANDSCAPE PLAN)
 - PROPOSED FIRE ROUTE SIGNAGE

PROJECT DEVELOPER
 Claridge Homes
 2001 - 201 Gladstone Avenue
 Ottawa, ON
 Tel: (613) 233-6030
 E-Mail: [redacted]

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PART OF LOT 31, CONCESSION 10, GOULBOURN, PART 1 ON PLAN 4R19334 CITY OF OTTAWA

Prepared by Annis O'Sullivan, Vollebek Ltd.
 Field Work Completed December 14, 2020

WASTE COLLECTION

GUIDELINES

	REQUIRED	PROVIDED
GARBAGE	- 0.231 CUBIC YARDS / UNIT	45 YARDS ³
RECYCLING (GMP)	- 0.018 CUBIC YARDS / UNIT	4 YARDS ³
RECYCLING (FIBRE)	- 0.062 CUBIC YARDS / UNIT	12 YARDS ³
ORGANICS	- 240L CONTAINER /50 UNITS	4x 240L
GARBAGE	7 EARTH BINS	7 EARTH BINS
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SNOW STORAGE
 TEMPORARILY STORED AND TRUCKED OFF SITE

PROJECT INFORMATION

CURRENT ZONING
 USE: GM(2411)
 PLANNED UNIT DEVELOPMENT

SITE AREA
 36,789 sq. m. (395,995) sq. ft.

BUILDING HEIGHT
 18.0 m

AMENITY AREA PER DWELLING UNIT
 6.0 sq. m.

FRONT YARD SETBACK
 3.0 M

REAR YARD SETBACK
 3.0 M

INTERIOR SIDE YARD SETBACK
 7.5 M

PROJECT STATISTICS

REQUIRED AMENITY SPACE	PROVIDED AMENITY SPACE
6 SQ. M. PER UNIT= 288 sq. m.	PRIVATE BALCONY / PATIOS = 361 sq. m.
50% COMMUNAL AMENITY AREA = 144 sq. m.	COMMUNAL EXTERIOR AREA= 200 sq. m.
TOTAL = 432 sq. m.	TOTAL = 561 sq. m.

SITE COVERAGE

	PERCENTAGE	AREA (sq. m.)
BUILDING FOOTPRINT	33.6%	2,278.43 sq. m.
DRIVING SURFACE	25.9%	1,751.40 sq. m.
LANDSCAPE AREA	40.5%	2,739.12 sq. m.
TOTAL	100.0%	6,768.95 sq. m.

CAR PARKING REQUIRED by ZONING BY-LAW

	RESIDENCE	TOTAL
RESIDENCE	- 1.2 PER UNIT (192 UNITS)	230
VISITOR	- 0.2 PER DWELLING UNIT	38
TOTAL		268

PROVIDED

	RESIDENCE	TOTAL
RESIDENCE	- 1.2 PER UNIT (192 UNITS)	230
VISITOR	- 0.2 PER DWELLING UNIT	38
TOTAL		268

BICYCLE PARKING

	RESIDENCE	TOTAL
RESIDENCE	- 0.5 PER UNIT (192 UNITS)	96
PROVIDED EXTERIOR		96

GROSS BUILDING - AREAS
 (CITY OF OTTAWA'S DEFINITION)

PROPOSED BUILDING	AREA (sq. m.)	AREA (sq. ft.)
PROPOSED BUILDING 'A'	1,290.5	(13,890)
PROPOSED BUILDING 'B'	1,290.5	(13,890)
PROPOSED BUILDING 'C'	1,290.5	(13,890)
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PROPOSED BUILDING 'J'	1,220.0	(13,130)
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PROPOSED BUILDING 'M'	1,220.0	(13,130)
PROPOSED BUILDING 'N'	1,220.0	(13,130)
PROPOSED BUILDING 'P'	1,220.0	(13,130)
PROPOSED BUILDING 'Q'	1,220.0	(13,130)
PROPOSED BUILDING 'R'	1,220.0	(13,130)
TOTAL PROPOSED AREA	20,084.0	(216,182)

UNIT STATISTICS

UNIT TYPE	COUNT
2 BEDROOM UNIT	192

CLIENT:
 CLARIDGE HOMES

ARCHITECT:
 rla / architecture
 roderick lahey architect inc.
 56 beech street, ottawa, ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 rlaarchitecture.ca

PROJECT TITLE:
TERRY FOX ZEN
 5331 FERNBANK STREET
 OTTAWA ONTARIO

SHEET TITLE:
SITE PLAN (OVERALL)

DRAWN: BIO
CHECKED: CM

SCALE: 1:600
SHEET No.: SP-3

PROJECT No.: 2101