

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.

- NOTATION SYMBOLS:**
- (00) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
 - (A) INDICATES ASSEMBLY TYPE, REFER TO TYPICAL ASSEMBLIES SCHEDULE.
 - (W) INDICATES WINDOW TYPE, REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
 - (D) INDICATES DOOR TYPE, REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
 - DETAIL NUMBER
 - TITLE SCALE
 - DETAIL REFERENCE PAGE

No.	DESCRIPTION	DATE
7	SITE PLAN COMMENT RESPONSE	2021-11-04
6	REVISED CONSULTANT COORDINATION	2021-07-12
5	REVISED CONSULTANT COORDINATION	2021-06-03
4	FOR COORDINATION	2021-04-30
3	REVISED CONSULTANT COORDINATION	2021-04-07
2	REVISED PRELIMINARY COMMENTS	2021-02-25
1	ISSUED FOR COORDINATION	2021-02-03

ARCHITECT SEAL: **RODERICK LOHEY ARCHITECTS** (Professional Seal)
 CLIENT: **CLARIDGE HOMES**
 SEAL DATE: STAMP DATE

CLARIDGE HOMES
 PROJECT DEVELOPER
 Claridge Homes
 2001 - 201 Gladstone Avenue
 Ottawa, ON
 Tel.: (613) 233-6030
 E-Mail:

rla / architecture
 roderick lohey architect inc.
 56 beech street, ottawa, ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 rlaarchitecture.ca

PROJECT TITLE:
TERRY FOX ZEN
 5331 FERNBANK STREET
 OTTAWA ONTARIO

SHEET TITLE:
SITE PLAN (NORTH-WEST)

DRAWN: BIO	CHECKED: CM
SCALE: 1:300	SHEET No. SP-1
PROJECT No. 2101	

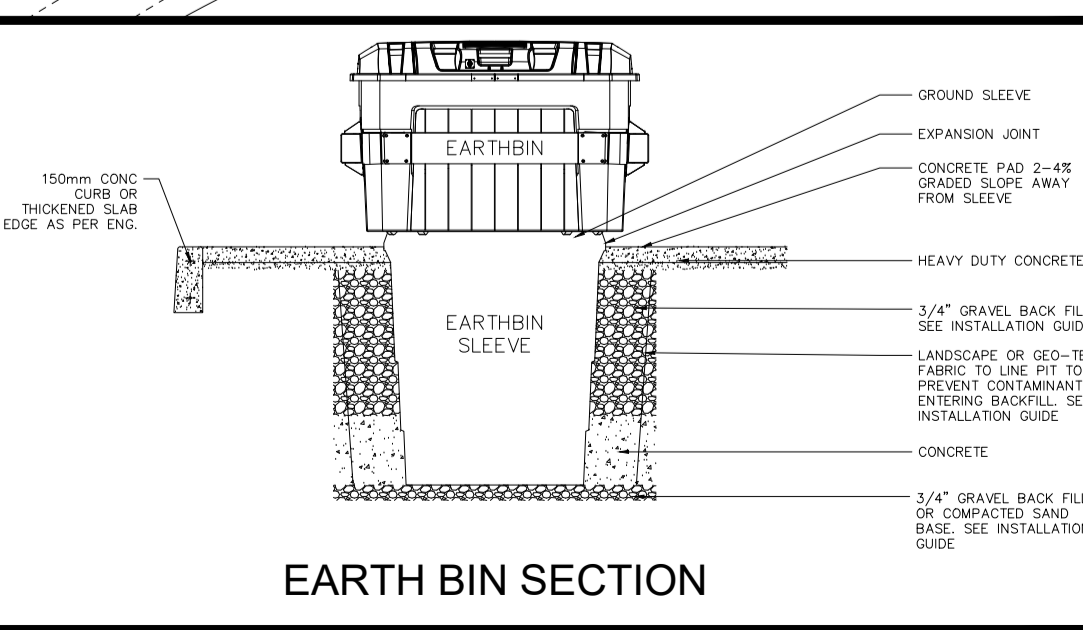
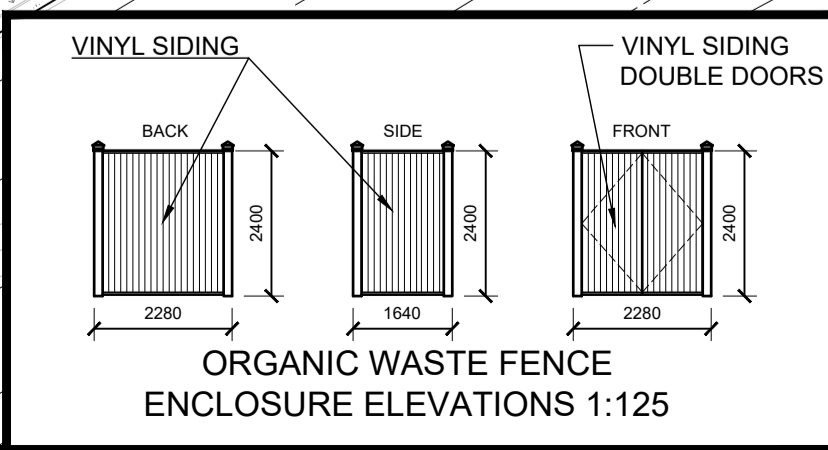
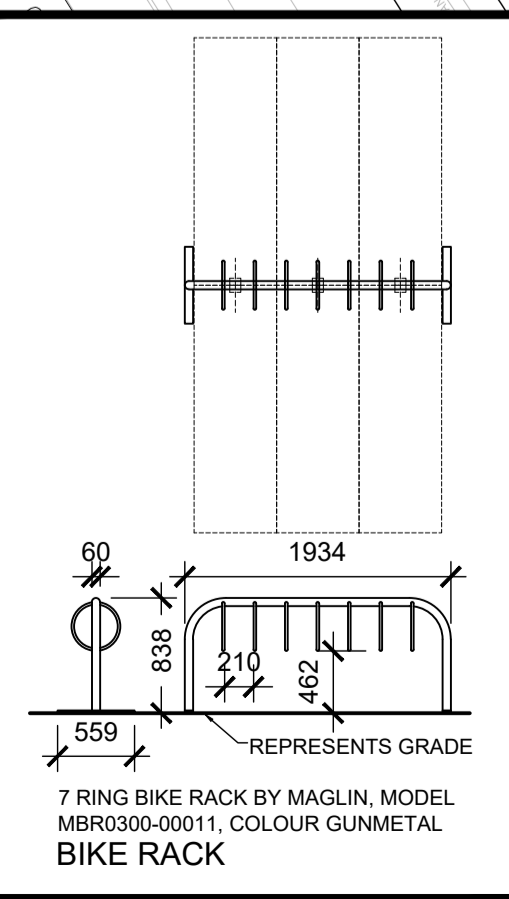
- SITE PLAN SYMBOLS**
- [Grid Pattern] CONCRETE UNIT PAVERS SURFACE
 - [Dotted Pattern] SOFT LANDSCAPING
 - [Solid Grey] CONCRETE WALK / PATH
 - [Stippled] HEAVY DUTY CONCRETE PAD
 - [Dashed Line] BIKE RACK / BIKE PARKING SPOT
 - [Double Arrow] TWO WAY VEHICLE CIRCULATION
 - [Single Arrow] MAIN ENTRANCE
 - [Dashed Line] PROPERTY LINE
 - [Dashed Line] ZONING SETBACKS
 - [Empty Box] STANDARD PARKING SPACE
 - [Circle with V] VISITOR PARKING SPACE
 - [Circle with A] ACCESSIBLE PARKING SPACE
 - [DC] DEPRESSED CURB w/ TWSI CONSTRUCTED TO CITY STANDARDS
 - [Mail Box] COMMUNITY MAIL BOXES
 - [Landscape] LANDSCAPE RISERS
 - [GLB|A|V] SITE UTILITIES (SEE COMPOSITE UTILITY PLAN)
 - [Tree Symbol] PROPOSED TREE (SEE LANDSCAPE PLAN)
 - [Square with P] PROPOSED FIRE ROUTE SIGNAGE

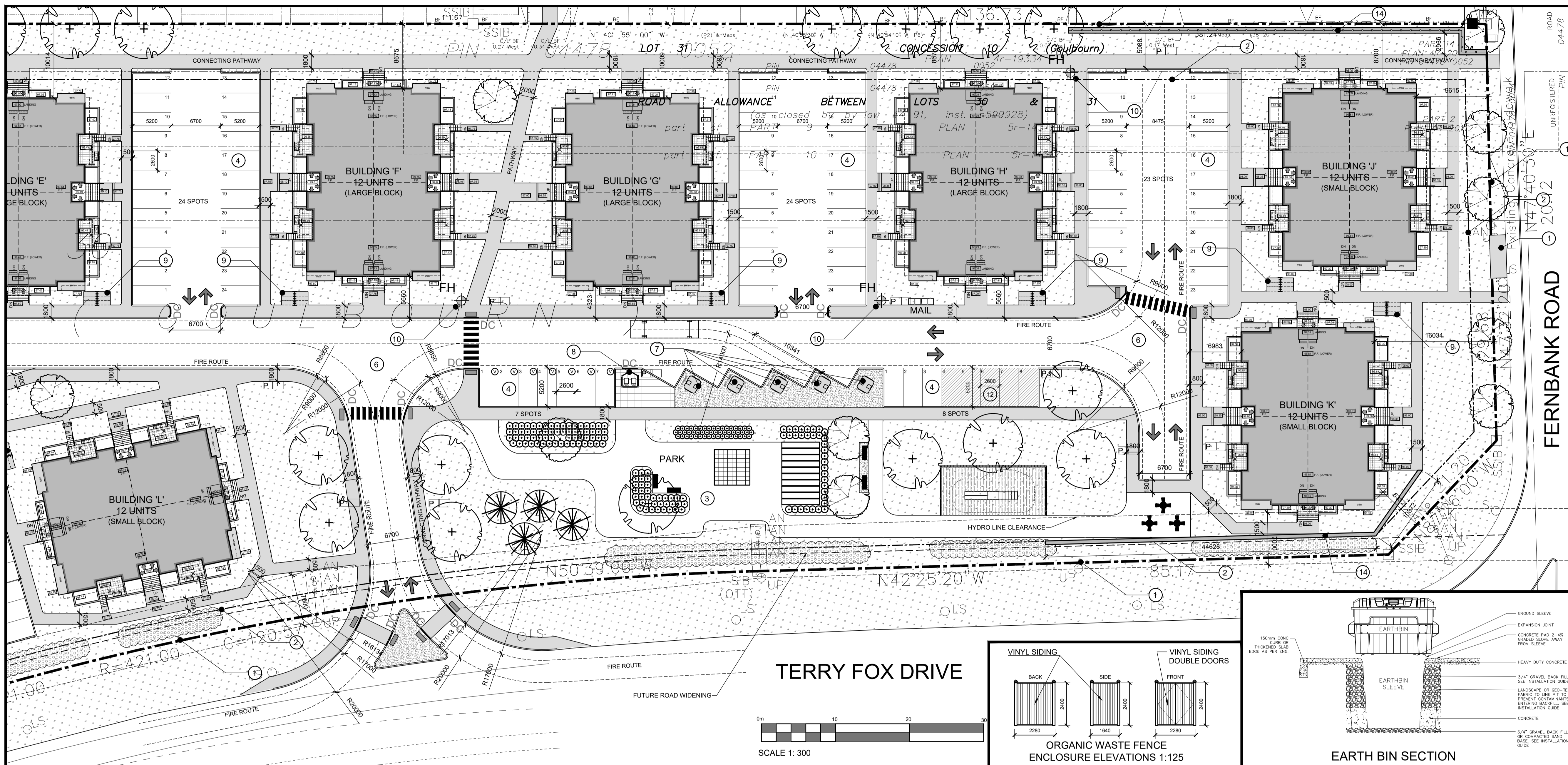
SURVEYOR
 Annis O'Sullivan Vollebek Ltd.
 Ontario Land Surveyors
 14 Concourse Gate, Suite 500,
 Nepean, Ontario K2E 7S6
 Tel: (613) 727-0850
 Fax: (613) 727-1079
 E-Mail: Edl@aovltd.com

LEGAL DESCRIPTION
 TOPOGRAPHICAL PLAN OF
 PART OF LOT 30 CONCESSION 10,
 GOULBOURN,
 PART 1 PLAN 4R17373, EXCEPT PART 4,
 PLAN 4R20112;
 OTTAWA.
 SUBJECT TO AN EASEMENT IN FAVOUR
 OF HYDRO OTTAWA LIMITED OVER
 PARTS 5, 6, 7, 8 AND 9 PLAN 4R20112 AS
 IN OC455206.

**ROAD ALLOWANCE BETWEEN LOTS 30
 AND 31 CONCESSION 10,
 GOULBOURN
 LYING BETWEEN PARTS 3 AND 4 ON
 4R17373 AND PART 2 ON PLAN 4R20112,
 AS CLOSED BY N599928;
 OTTAWA**

Prepared by Annis, O'Sullivan, Vollebek Ltd.
 Field Work Completed December 14, 2020



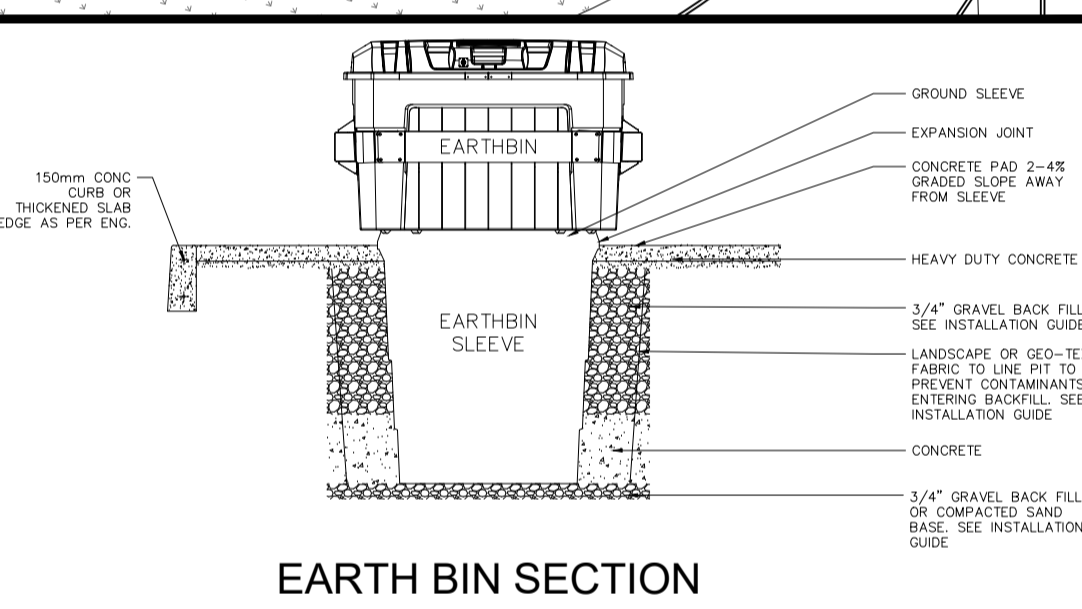
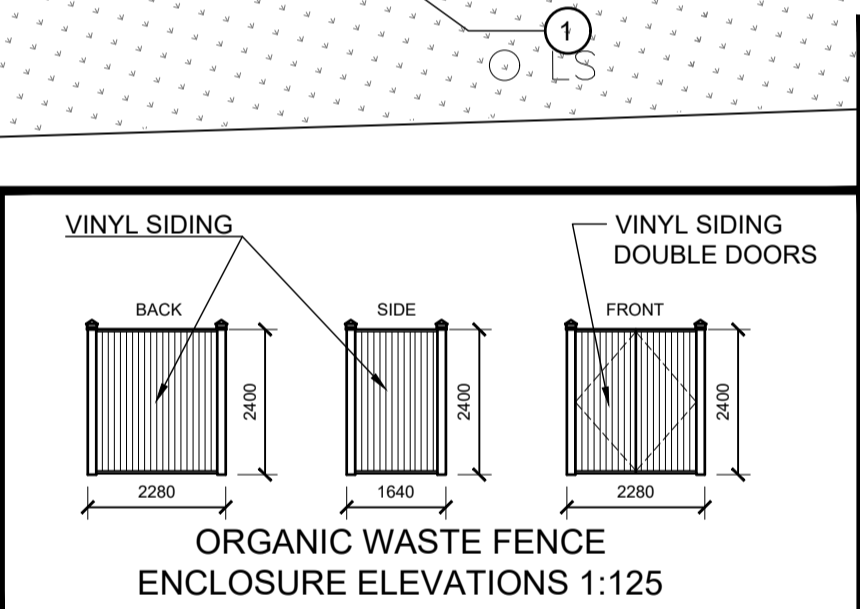


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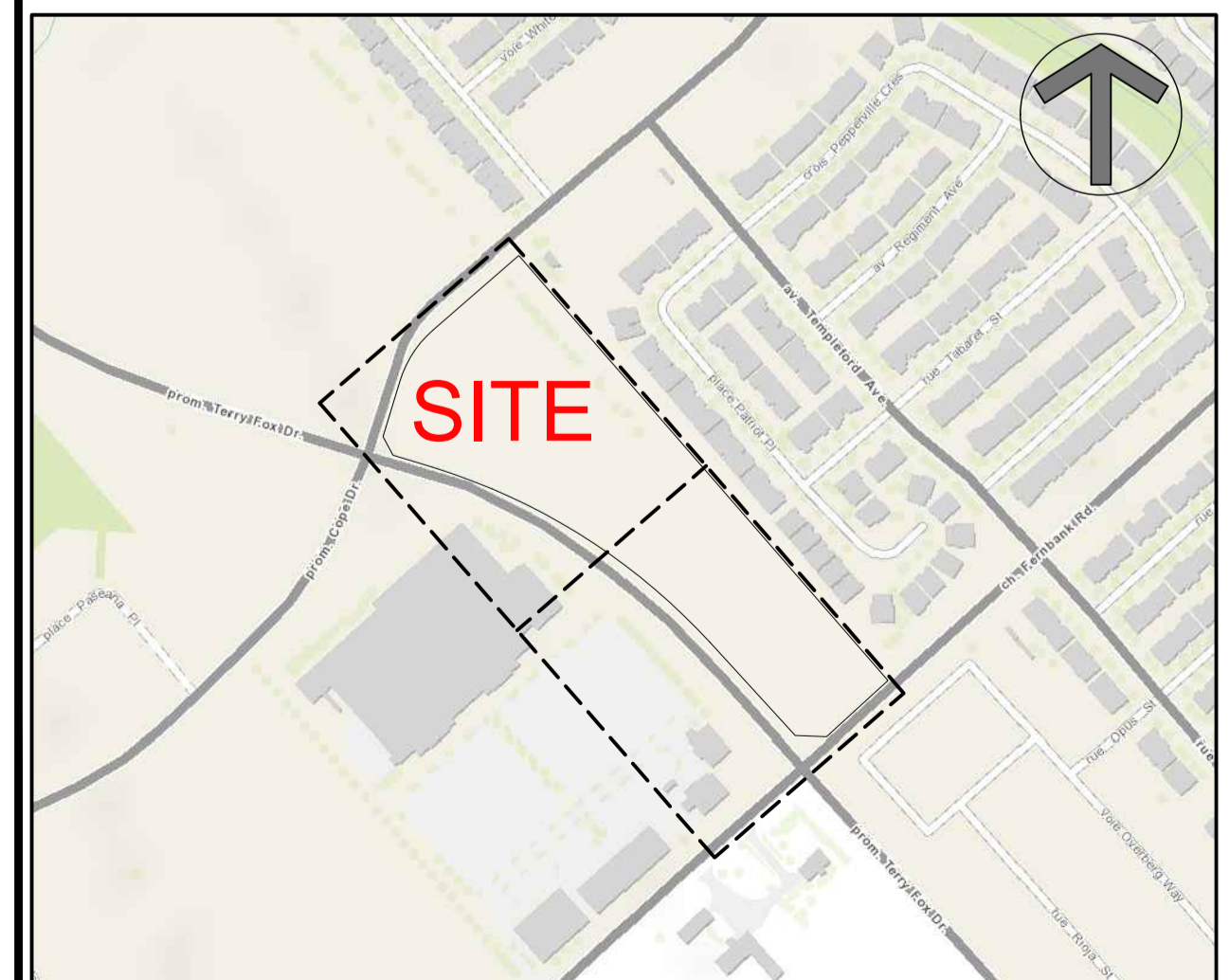
NOTATION SYMBOLS:

- ① INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
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- ①-⑩ DETAIL NUMBER
- ①-⑩ TITLE SCALE
- ①-⑩ DETAIL REFERENCE PAGE

No.	REVISION	DATE
7	SITE PLAN COMMENT RESPONSE	2021-11-04
6	REVISED CONSULTANT COORDINATION	2021-07-12
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2	REVISED PRELIMINARY COMMENTS	2021-02-25
1	ISSUED FOR COORDINATION	2021-02-03



1 SITE PLAN
SP-2 SCALE = 1 : 300



- DRAWING NOTES**
- PROPERTY LINE
 - BUILDING SETBACKS
 - REQUIRED AMENITY AREA
 - PARKING SPACE: STANDARD SIZE 2.6 x 5.2 METRES
 - PROPOSED HYDRO TRANSFORMER
 - ASPHALT DRIVING SURFACE
 - EARTH BINS
 - ORGANIC WASTE SHED
 - BICYCLE PARKING SPACES
 - PROPOSED HYDRANT
 - EXISTING FIRE HYDRANT
 - TEMPORARY SNOW STORAGE
 - EXISTING BELL BOXES
 - RETAINING WALL, SEE CIVIL
 - PROPOSED CONCRETE BUS PAD

- SITE PLAN SYMBOLS**
- CONCRETE UNIT PAVERS SURFACE
 - SOFT LANDSCAPING
 - CONCRETE WALK / PATH
 - HEAVY DUTY CONCRETE PAD
 - BIKE RACK / BIKE PARKING SPOT
 - TWO WAY VEHICLE CIRCULATION
 - MAIN ENTRANCE
 - PROPERTY LINE
 - ZONING SETBACKS
 - STANDARD PARKING SPACE
 - VISITOR PARKING SPACE
 - ACCESSIBLE PARKING SPACE
 - DEPRESSED CURB w/ TWSI CONSTRUCTED TO CITY STANDARDS
 - COMMUNITY MAIL BOXES
 - LANDSCAPE RISERS
 - SITE UTILITIES (SEE COMPOSITE UTILITY PLAN)
 - PROPOSED TREE (SEE LANDSCAPE PLAN)
 - PROPOSED FIRE ROUTE SIGNAGE

PROJECT DEVELOPER
Claridge Homes
2001 - 201 Gladstone Avenue
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14 Concourse Gate, Suite 500,
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LEGAL DESCRIPTION
TOPOGRAPHICAL PLAN OF PART OF LOT 30 CONCESSION 10, GOULBOURN, PART 1 PLAN 4R17373, EXCEPT PART 4, PLAN 4R20112; OTTAWA. SUBJECT TO AN EASEMENT IN FAVOUR OF HYDRO OTTAWA LIMITED OVER PARTS 5, 6, 7, 8 AND 9 PLAN 4R20112 AS IN OC455206.

ROAD ALLOWANCE BETWEEN LOTS 30 AND 31 CONCESSION 10, GOULBOURN LYING BETWEEN PARTS 3 AND 4 ON 4R17373 AND PART 2 ON PLAN 4R20112, AS CLOSED BY N599928; OTTAWA

PART OF LOT 31, CONCESSION 10, GOULBOURN, PART 1 ON PLAN 4R19334 CITY OF OTTAWA

Prepared by Annis O'Sullivan, Vollebek Ltd.
Field Work Completed December 14, 2020

WASTE COLLECTION

GUIDELINES

GARBAGE	- 0.231 CUBIC YARDS / UNIT	45 YARDS ³
RECYCLING (GMP)	- 0.018 CUBIC YARDS / UNIT	4 YARDS ³
RECYCLING (FIBRE)	- 0.062 CUBIC YARDS / UNIT	12 YARDS ³
ORGANICS	- 240L CONTAINER /50 UNITS	4x 240L

GARBAGE	7 EARTH BINS	7 EARTH BINS
RECYCLING (GMP)	1 EARTH BINS	2 EARTH BINS
RECYCLING (FIBRE)	2 EARTH BINS	2 EARTH BINS
ORGANICS	4x 240L BINS	4x 240L BINS

*EARTH BINS= (6.5 YARDS³)

SNOW STORAGE
TEMPORARILY STORED AND TRUCKED OFF SITE

PROJECT INFORMATION

CURRENT ZONING
USE: PLANNED UNIT DEVELOPMENT GM(2411)

SITE AREA
36,789 sq. m. (395,995) sq. ft.

BUILDING HEIGHT
18.0 m

AMENITY AREA PER DWELLING UNIT
6.0 sq. m

FRONT YARD SETBACK
3.0 M

REAR YARD SETBACK
3.0 M

INTERIOR SIDE YARD SETBACK
7.5 M

PROJECT STATISTICS

BUILDING HEIGHT	11.0 M
REQUIRED AMENITY SPACE	6 SQ. M. PER UNIT= 288 sq. m. 50% COMMUNAL AMENITY AREA = 144 sq. m.
PROVIDED AMENITY SPACE	PRIVATE BALCONY / PATIOS = 361 sq. m. COMMUNAL EXTERIOR AREA= 200 sq. m. TOTAL = 561 sq. m.

SITE COVERAGE

BUILDING FOOTPRINT	= 33.6%	2,278.43 sq. m.
DRIVING SURFACE	= 25.9%	1,751.40 sq. m.
LANDSCAPE AREA	= 40.5%	2,739.12 sq. m.
TOTAL	= 100.0%	6,768.95 sq. m.

CAR PARKING REQUIRED by ZONING BY-LAW

RESIDENCE	- 1.2 PER UNIT (192 UNITS)	230
VISITOR	- 0.2 PER DWELLING UNIT	38
TOTAL		268

PROVIDED

RESIDENCE	- 1.2 PER UNIT (192 UNITS)	230
VISITOR	- 0.2 PER DWELLING UNIT	38
TOTAL		268

BICYCLE PARKING

REQUIRED	RESIDENCE - 0.5 PER UNIT (192 UNITS)	96
PROVIDED	EXTERIOR	96

GROSS BUILDING - AREAS
(CITY OF OTTAWA'S DEFINITION)

PROPOSED BUILDING 'A'	1,290.5 sq. m. (13,890) sq. ft.
PROPOSED BUILDING 'B'	1,290.5 sq. m. (13,890) sq. ft.
PROPOSED BUILDING 'C'	1,290.5 sq. m. (13,890) sq. ft.
PROPOSED BUILDING 'D'	1,290.5 sq. m. (13,890) sq. ft.
PROPOSED BUILDING 'E'	1,290.5 sq. m. (13,890) sq. ft.
PROPOSED BUILDING 'F'	1,290.5 sq. m. (13,890) sq. ft.
PROPOSED BUILDING 'G'	1,290.5 sq. m. (13,890) sq. ft.
PROPOSED BUILDING 'H'	1,290.5 sq. m. (13,890) sq. ft.
PROPOSED BUILDING 'J'	1,220.0 sq. m. (13,130) sq. ft.
PROPOSED BUILDING 'K'	1,220.0 sq. m. (13,130) sq. ft.
PROPOSED BUILDING 'L'	1,220.0 sq. m. (13,130) sq. ft.
PROPOSED BUILDING 'M'	1,220.0 sq. m. (13,130) sq. ft.
PROPOSED BUILDING 'N'	1,220.0 sq. m. (13,130) sq. ft.
PROPOSED BUILDING 'P'	1,220.0 sq. m. (13,130) sq. ft.
PROPOSED BUILDING 'Q'	1,220.0 sq. m. (13,130) sq. ft.
PROPOSED BUILDING 'R'	1,220.0 sq. m. (13,130) sq. ft.
TOTAL PROPOSED AREA	20,084.0 sq. m. (216,182) sq. ft.

UNIT STATISTICS

2 BEDROOM UNIT	192
----------------	-----

ARCHITECT SEAL: **RODERICK LAHEY ARCHITECTS** ARCHITECTS
4375
RODERICK LAHEY LICENCE

CLIENT: **CLARIDGE HOMES**

ARCHITECT: **rla / architecture**
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t.613.724.9932 f.613.724.1209 rlaarchitecture.ca

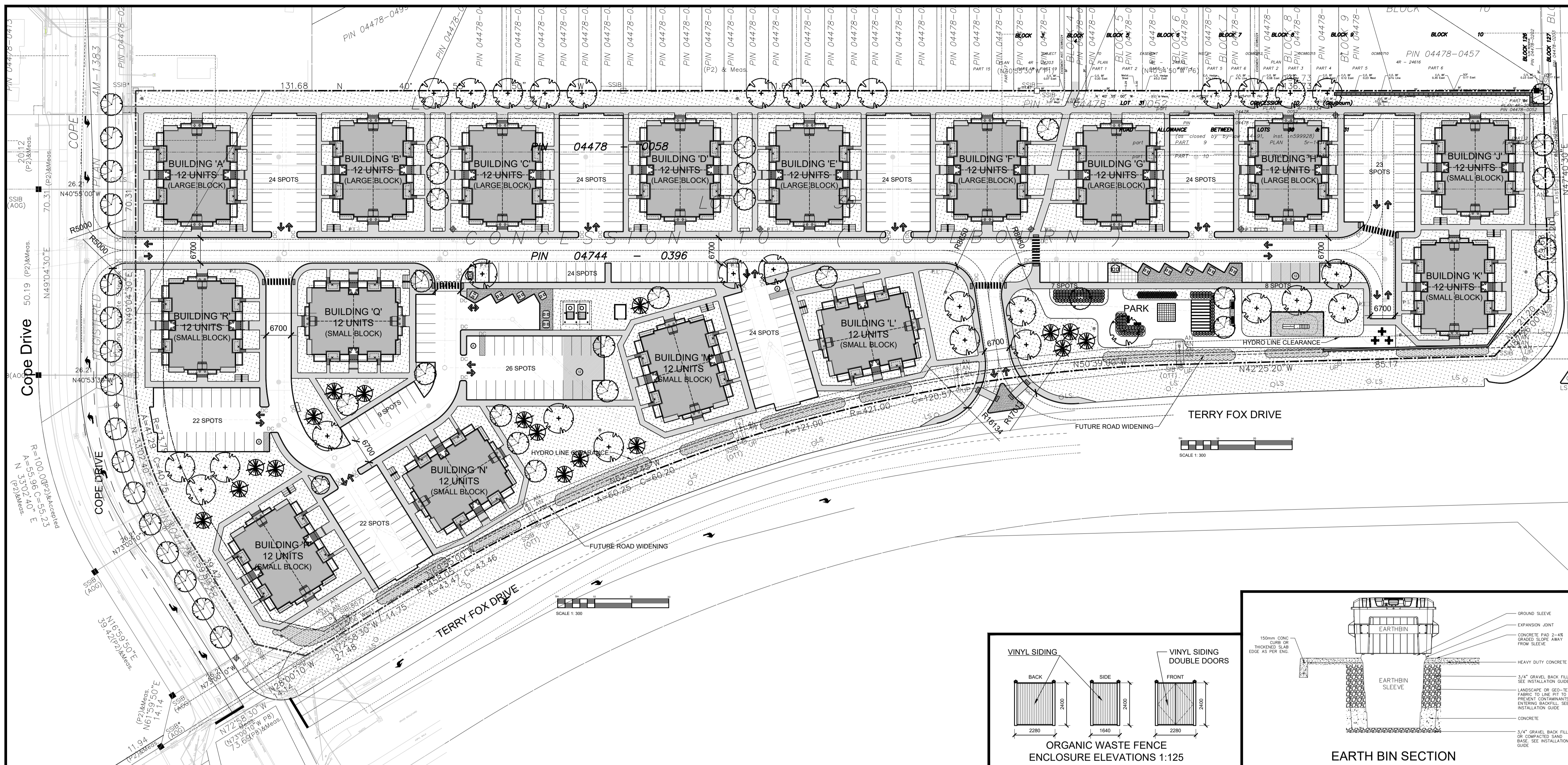
PROJECT TITLE: **TERRY FOX ZEN**
5331 FERNBANK STREET
OTTAWA ONTARIO

SHEET TITLE: **SITE PLAN (SOUTH-EAST)**

DRAWN: **BIO** CHECKED: **CM**

SCALE: **1:300** SHEET No: **SP-2**

PROJECT No: **2101**



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- ①-⑩ DETAIL NUMBER
- ①-⑩ TITLE SCALE
- ①-⑩ DETAIL REFERENCE PAGE

1 SITE PLAN
SP-3 SCALE = 1 : 600



KEY PLAN

DRAWING NOTES

- PROPERTY LINE
- BUILDING SETBACKS
- REQUIRED AMENITY AREA
- PARKING SPACE: STANDARD SIZE 2.6 x 5.2 METRES
- PROPOSED HYDRO TRANSFORMER
- ASPHALT DRIVING SURFACE
- EARTH BINS
- ORGANIC WASTE SHED
- BICYCLE PARKING SPACES
- PROPOSED HYDRANT
- EXISTING FIRE HYDRANT
- TEMPORARY SNOW STORAGE
- EXISTING BELL BOXES
- RETAINING WALL, SEE CIVIL
- PROPOSED CONCRETE BUS PAD

SITE PLAN SYMBOLS

- CONCRETE UNIT PAVERS SURFACE
- SOFT LANDSCAPING
- CONCRETE WALK / PATH
- HEAVY DUTY CONCRETE PAD
- BIKE RACK / BIKE PARKING SPOT
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- MAIN ENTRANCE
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- STANDARD PARKING SPACE
- VISITOR PARKING SPACE
- ACCESSIBLE PARKING SPACE
- DEPRESSED CURB w/ TWSI CONSTRUCTED TO CITY STANDARDS
- COMMUNITY MAIL BOXES
- LANDSCAPE RISERS
- SITE UTILITIES (SEE COMPOSITE UTILITY PLAN)
- PROPOSED TREE (SEE LANDSCAPE PLAN)
- PROPOSED FIRE ROUTE SIGNAGE

PROJECT DEVELOPER

Claridge Homes
2001 - 201 Gladstone Avenue
Ottawa ON,
Tel: (613) 233-6030
E-Mail:

SURVEYOR

Annis O'Sullivan Vollebakk Ltd.
Ontario Land Surveyors
14 Concourse Gate, Suite 500,
Nepean, Ontario K2E 7S6
Tel: (613) 727-0850
Fax: (613) 727-1079
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LEGAL DESCRIPTION

TOPOGRAPHICAL PLAN OF PART OF LOT 30 CONCESSION 10, GOULBOURN, PART 1 PLAN 4R17373, EXCEPT PART 4, PLAN 4R20112; OTTAWA. SUBJECT TO AN EASEMENT IN FAVOUR OF HYDRO OTTAWA LIMITED OVER PARTS 5, 6, 7, 8 AND 9 PLAN 4R20112 AS IN OC455206.

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PART OF LOT 31, CONCESSION 10, GOULBOURN, PART 1 ON PLAN 4R19334 CITY OF OTTAWA

Prepared by Annis O'Sullivan, Vollebakk Ltd.
Field Work Completed December 14, 2020

WASTE COLLECTION

GUIDELINES

GARBAGE	- 0.231 CUBIC YARDS / UNIT	45 YARDS ³
RECYCLING (GMP)	- 0.018 CUBIC YARDS / UNIT	4 YARDS ³
RECYCLING (FIBRE)	- 0.062 CUBIC YARDS / UNIT	12 YARDS ³
ORGANICS	- 240L CONTAINER /50 UNITS	4x 240L

	REQUIRED	PROVIDED
GARBAGE	7 EARTH BINS	7 EARTH BINS
RECYCLING (GMP)	1 EARTH BINS	2 EARTH BINS
RECYCLING (FIBRE)	2 EARTH BINS	2 EARTH BINS
ORGANICS	4x 240L BINS	4x 240L BINS

*EARTH BINS= (6.5 YARDS³)

SNOW STORAGE

TEMPORARILY STORED AND TRUCKED OFF SITE

PROJECT INFORMATION

CURRENT ZONING	GM(2411)
USE	PLANNED UNIT DEVELOPMENT
SITE AREA	36,789 sq. m. (395,995) sq. ft.
BUILDING HEIGHT	18.0 M
AMENITY AREA PER DWELLING UNIT	6.0 sq. m.
FRONT YARD SETBACK	3.0 M
REAR YARD SETBACK	3.0 M
INTERIOR SIDE YARD SETBACK	7.5 M

PROJECT STATISTICS

BUILDING HEIGHT	11.0 M
REQUIRED AMENITY SPACE	6 SQ. M. PER UNIT= 288 sq. m. (13,130) sq. ft.
50% COMMUNAL AMENITY AREA =	144 sq. m. (13,130) sq. ft.
PROVIDED AMENITY SPACE	PRIVATE BALCONY / PATIOS = 361 sq. m. (13,130) sq. ft.
COMMUNAL EXTERIOR AREA=	200 sq. m. (13,130) sq. ft.
TOTAL =	561 sq. m. (13,130) sq. ft.

CAR PARKING REQUIRED BY ZONING BY-LAW

RESIDENCE	- 1.2 PER UNIT (192 UNITS)	230
VISITOR	- 0.2 PER DWELLING UNIT	38
TOTAL		268
PROVIDED		
RESIDENCE	- 1.2 PER UNIT (192 UNITS)	230
VISITOR	- 0.2 PER DWELLING UNIT	38
TOTAL		268
BICYCLE PARKING		
REQUIRED		
RESIDENCE	- 0.5 PER UNIT (192 UNITS)	96
PROVIDED		96
EXTERIOR		

GROSS BUILDING - AREAS

PROPOSED BUILDING	AREA (SQ. M.)	AREA (SQ. FT.)
PROPOSED BUILDING 'A'	1,290.5	(13,890)
PROPOSED BUILDING 'B'	1,290.5	(13,890)
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UNIT STATISTICS

2 BEDROOM UNIT	192
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ARCHITECT SEAL:
ONTARIO ASSOCIATION OF ARCHITECTS
RODERICK LAHEY
LICENCE 4375
SEAL DATE: STAMP DATE

NORTH ARROW:

CLIENT:
CLARIDGE HOMES

ARCHITECT:
rla / architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t.613.724.9932 f.613.724.1209 rlaarchitecture.ca

PROJECT TITLE:
TERRY FOX ZEN
5331 FERNBANK STREET
OTTAWA ONTARIO

SHEET TITLE:
SITE PLAN (OVERALL)

DRAWN:	BIO	CHECKED:	CM
SCALE:	1:600	SHEET No:	SP-3
PROJECT No:	2101		

D07-12-21-0080