

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.

NOTATION SYMBOLS:

- (00) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- (A) INDICATES ASSEMBLY TYPE, REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- (W) INDICATES WINDOW TYPE, REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- (D) INDICATES DOOR TYPE, REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- DETAIL NUMBER
- TITLE SCALE
- DETAIL REFERENCE PAGE

No.	DESCRIPTION	DATE
5	REVISED CONSULTANT COORDINATION	2021-06-03
4	FOR COORDINATION	2021-04-30
3	REVISED CONSULTANT COORDINATION	2021-04-07
2	REVISED PRELIMINARY COMMENTS	2021-02-25
1	ISSUED FOR COORDINATION	2021-02-03

ARCHITECT SEAL: ONTARIO ASSOCIATION OF ARCHITECTS, RODERICK L. LAHEY, LICENCE #375, SEAL DATE: STAMP DATE

CLIENT: CLARIDGE HOMES

ARCHITECT: rla/architecture, roderick lahey architect inc., 56 beech street, ottawa, ontario K1S 3J6, t.613.724.9932 f.613.724.1209 rlaarchitecture.ca

PROJECT TITLE: TERRY FOX ZEN

OTTAWA ONTARIO

SHEET TITLE: SITE PLAN (NORTH-WEST)

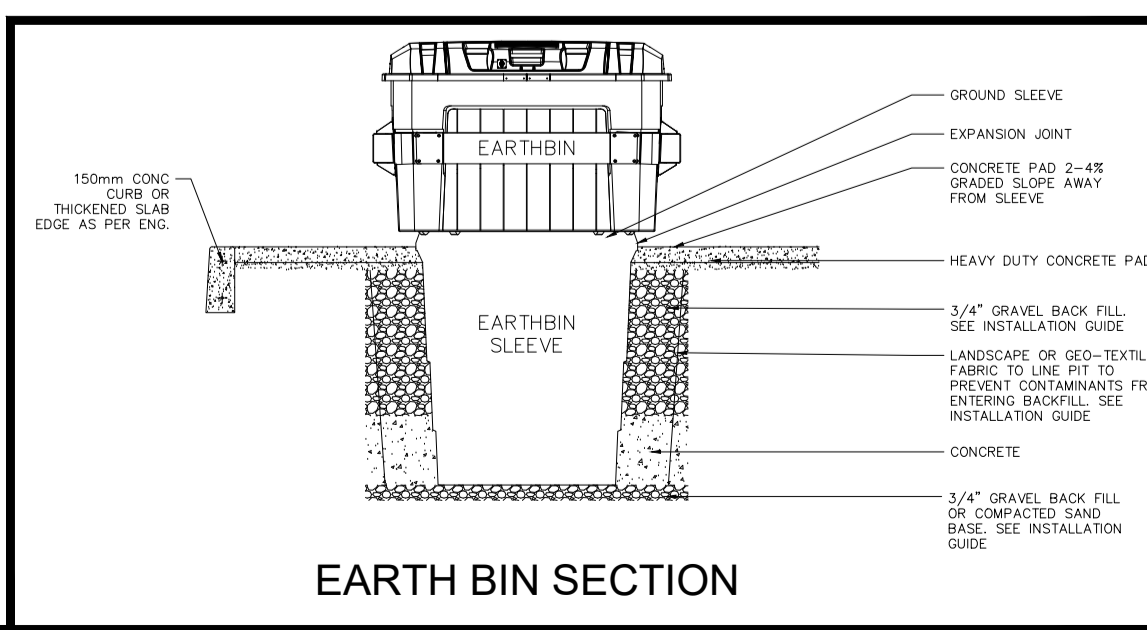
DRAWN: BIO, CHECKED: CM, SCALE: 1:300, SHEET No. SP-1, PROJECT No. 2101

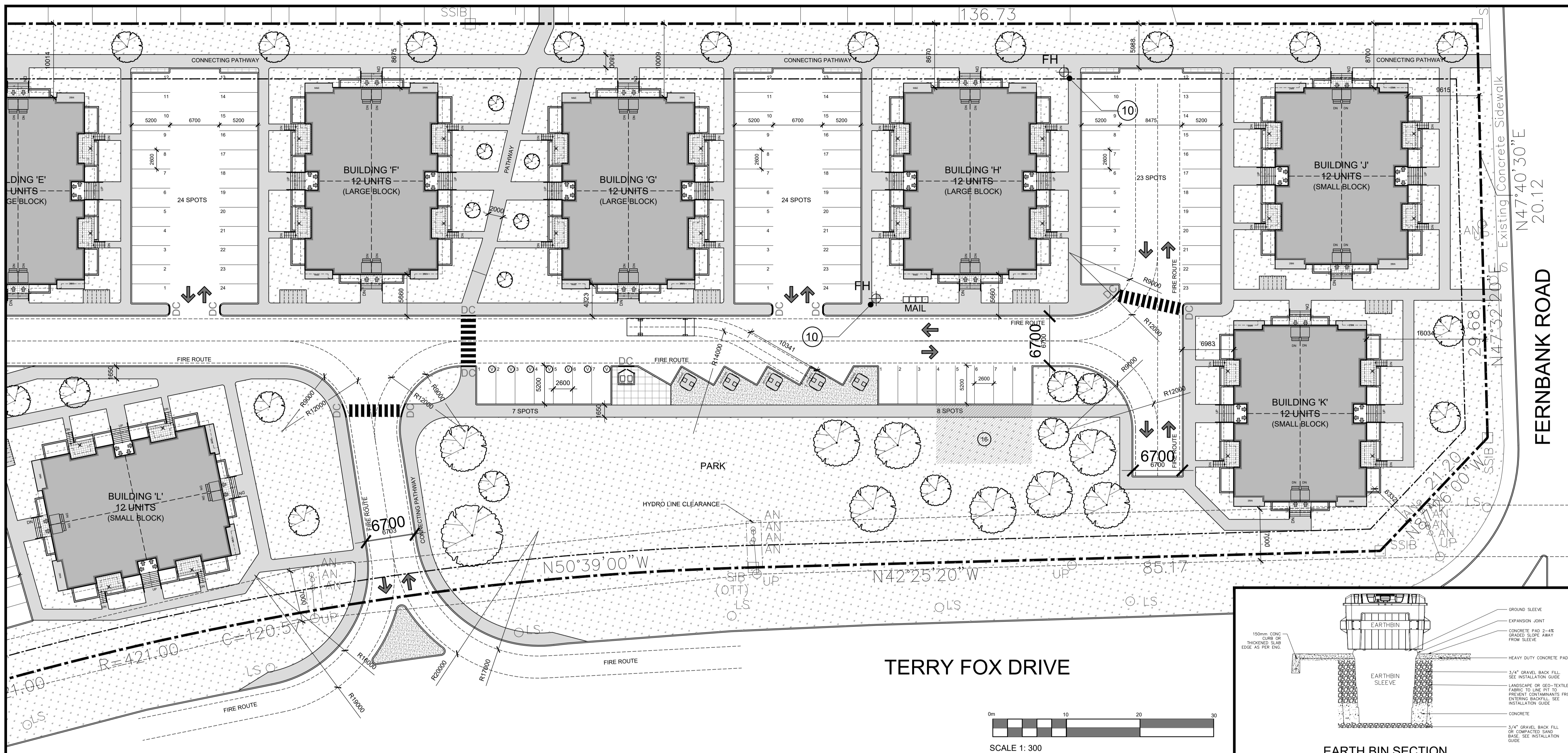
DRAWING NOTES

- 1 PROPERTY LINE
- 2 BUILDING SETBACKS
- 3 REQUIRED AMENITY AREA
- 4 PARKING SPACE: STANDARD SIZE 2.6 x 5.2 METRES
- 5 PROPOSED HYDRO TRANSFORMER
- 6 ASPHALT DRIVING SURFACE
- 7 DEPRESSED CURB / SIDEWALK TO CITY STANDARDS
- 8 1.8m WIDE CONCRETE SIDEWALK: TO CITY STANDARDS
- 9 BICYCLE PARKING SPACES WITH BOLLARD STYLE RACK
- 10 FIRE HYDRANT
- 11 EXISTING APARTMENT BUILDINGS
- 12 DEPRESSED CURB WITH TACTILE WALKING SURFACE INDICATORS AS SHOWN
- 13 NOT IN USE
- 14 CONCRETE WALK / PATH
- 15 EARTH BINS
- 16 TEMPORARY SNOW STORAGE
- 17 NOT IN USE
- 18 EXISTING BELL BOXES
- 19 NEW 2130 H. WOOD BOARD FENCE. SEE LANDSCAPE
- 20 TEMPORARY TREE PROTECTION FENCE. SEE LANDSCAPE
- 21 GUARD RAIL

SITE PLAN SYMBOLS

- [Grid Pattern] CONCRETE UNIT PAVERS SURFACE
- [Dotted Pattern] SOFT LANDSCAPING
- [Grey Fill] CONCRETE WALK / PATH
- [Square with X] HEAVY DUTY CONCRETE PAD
- [Dashed Line] BIKE RACK
- [Double Arrow] TWO WAY VEHICLE CIRCULATION
- [Single Arrow] MAIN ENTRANCE
- [Dashed Line] PROPERTY LINE
- [Dashed Line] ZONING SETBACKS
- [Rectangular] STANDARD PARKING SPACE
- [Circle with V] VISITOR PARKING SPACE
- [Circle with A] ACCESSIBLE PARKING SPACE
- [Rectangular with X] COMMUNITY MAIL BOXES
- [Circle with R] LANDSCAPE RISERS
- [Square with Utility Symbols] SITE UTILITIES (SEE COMPOSITE UTILITY PLAN)
- [Circle with Tree] PROPOSED TREE (SEE LANDSCAPE PLAN)





IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.

- NOTATION SYMBOLS:**
- ⊙ INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
 - ⊠ INDICATES ASSEMBLY TYPE, REFER TO TYPICAL ASSEMBLIES SCHEDULED.
 - ⊞ INDICATES WINDOW TYPE, REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
 - ⊞ INDICATES DOOR TYPE, REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
 - DETAIL NUMBER
 - TITLE SCALE
 - DETAIL REFERENCE PAGE

REVISIONS:

No.	DESCRIPTION	DATE
5	REVISED CONSULTANT COORDINATION	2021-06-03
4	FOR COORDINATION	2021-04-30
3	REVISED CONSULTANT COORDINATION	2021-04-07
2	REVISED PRELIMINARY COMMENTS	2021-02-25
1	ISSUED FOR COORDINATION	2021-02-03

ARCHITECT SEAL:

ONTARIO ASSOCIATION OF ARCHITECTS
RODERICK LAHEY
LICENCE 4375

SEAL DATE: STAMP DATE

CLIENT:

CLARIDGE HOMES

ARCHITECT:

rla/architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

TERRY FOX ZEN

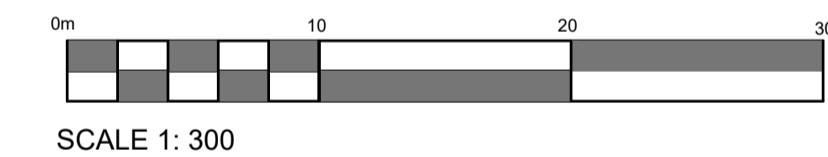
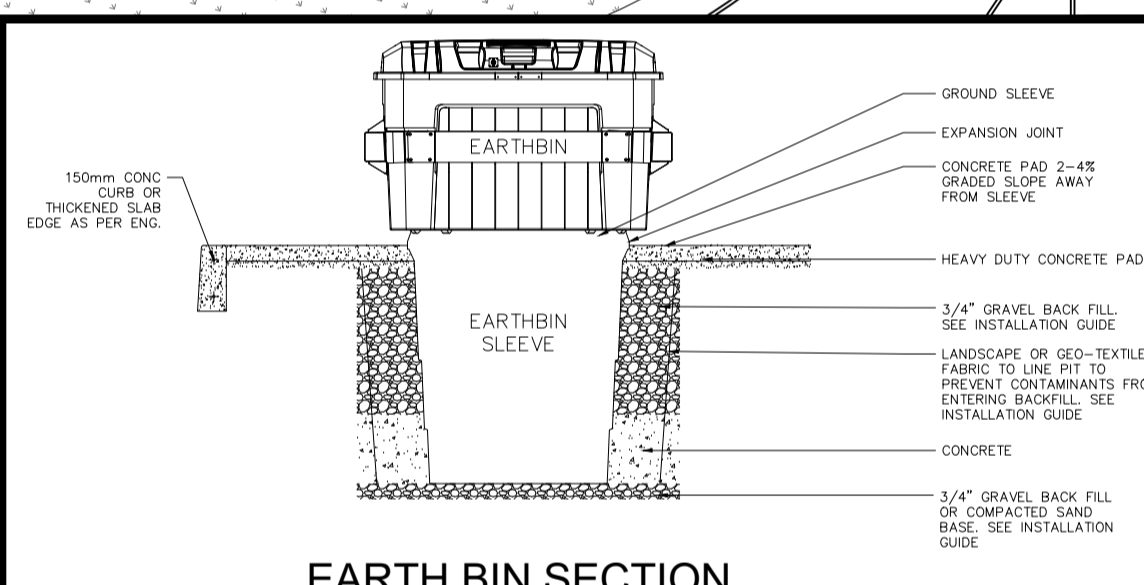
OTTAWA ONTARIO

SHEET TITLE:

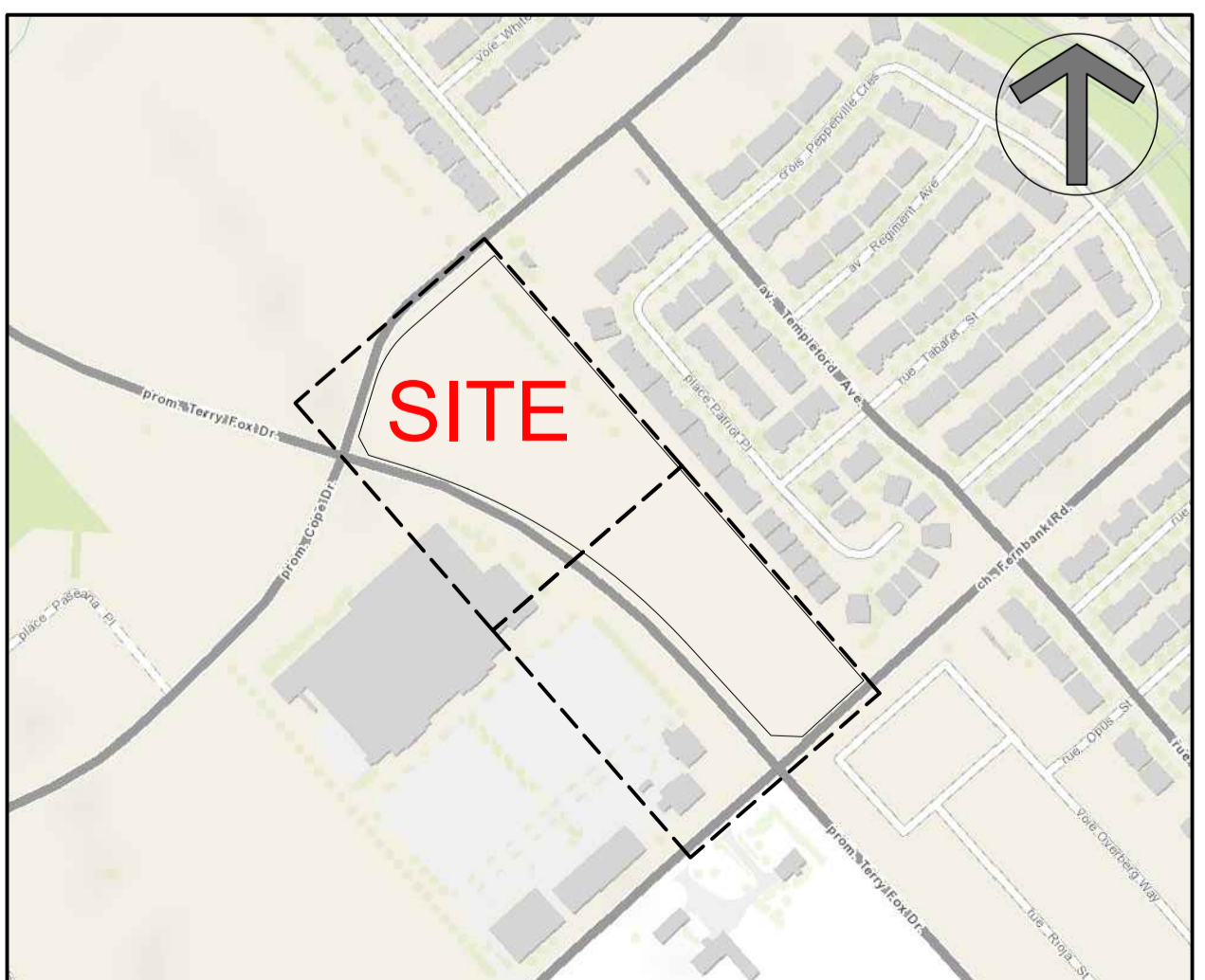
SITE PLAN (SOUTH-EAST)

DRAWN: BIO
SCALE: 1:300
PROJECT No.: 2101

CHECKED: CM
SHEET No.: SP-2



1 SITE PLAN
SP-2 SCALE = 1:300



- DRAWING NOTES**
- PROPERTY LINE
 - BUILDING SETBACKS
 - REQUIRED AMENITY AREA
 - PARKING SPACE: STANDARD SIZE 2.6 x 5.2 METRES
 - PROPOSED HYDRO TRANSFORMER
 - ASPHALT DRIVING SURFACE
 - DEPRESSED CURB / SIDEWALK TO CITY STANDARDS
 - 1.8m WIDE CONCRETE SIDEWALK TO CITY STANDARDS
 - BICYCLE PARKING SPACES WITH BOLLARD STYLE RACK
 - PROPOSED HYDRANT
 - EXISTING FIRE HYDRANT
 - DEPRESSED CURB WITH TACTILE WALKING SURFACE INDICATORS AS SHOWN
 - NOT IN USE
 - CONCRETE WALK / PATH
 - EARTH BINS
 - TEMPORARY SNOW STORAGE
 - NOT IN USE
 - EXISTING BELL BOXES
 - NEW 2130 ht. WOOD BOARD FENCE. SEE LANDSCAPE
 - TEMPORARY TREE PROTECTION FENCE. SEE LANDSCAPE
 - GUARD RAIL

- SITE PLAN SYMBOLS**
- CONCRETE UNIT PAVERS SURFACE
 - SOFT LANDSCAPING
 - CONCRETE WALK / PATH
 - HEAVY DUTY CONCRETE PAD
 - BIKE RACK
 - TWO WAY VEHICLE CIRCULATION
 - MAIN ENTRANCE
 - PROPERTY LINE
 - ZONING SETBACKS
 - STANDARD PARKING SPACE
 - VISITOR PARKING SPACE
 - ACCESSIBLE PARKING SPACE
 - COMMUNITY MAIL BOXES
 - LANDSCAPE RISERS
 - SITE UTILITIES (SEE COMPOSITE UTILITY PLAN)
 - PROPOSED TREE (SEE LANDSCAPE PLAN)

PROJECT DEVELOPER
Claridge Homes
2001 - 201 Gladstone Avenue
Ottawa ON,
Tel.: (613) 233-6030
E-Mail:

SURVEYOR
Annis O'Sullivan Vollebek Ltd.
Ontario Land Surveyors
14 Concourse Gate, Suite 500,
Nepean, Ontario K2E 7S6
Tel: (613) 727-0850
Fax: (613) 727-1079
E-Mail: EdL@aovltd.com

LEGAL DESCRIPTION
TOPOGRAPHICAL PLAN OF PART OF LOT 30 CONCESSION 10, GOULBOURN, PART 1 PLAN 4R17373, EXCEPT PART 4, PLAN 4R20112; OTTAWA. SUBJECT TO AN EASEMENT IN FAVOUR OF HYDRO OTTAWA LIMITED OVER PARTS 5, 6, 7, 8 AND 9 PLAN 4R20112 AS IN OC455206.

ROAD ALLOWANCE BETWEEN LOTS 30 AND 31 CONCESSION 10, GOULBOURN LYING BETWEEN PARTS 3 AND 4 ON 4R17373 AND PART 2 ON PLAN 4R20112, AS CLOSED BY N599928; OTTAWA

PART OF LOT 31, CONCESSION 10, GOULBOURN, PART 1 ON PLAN 4R19334 CITY OF OTTAWA

Prepared by Annis O'Sullivan, Vollebek Ltd.
Field Work Completed December 14, 2020

WASTE COLLECTION

GUIDELINES

	REQUIRED	PROVIDED
GARBAGE	- 0.231 CUBIC YARDS / UNIT	45 YARDS ³
RECYCLING (GMP)	- 0.018 CUBIC YARDS / UNIT	4 YARDS ³
RECYCLING (FIBRE)	- 0.062 CUBIC YARDS / UNIT	12 YARDS ³
ORGANICS	- 240L CONTAINER /50 UNITS	4x 240L
GARBAGE	7 EARTH BINS	7 EARTH BINS
RECYCLING (GMP)	1 EARTH BINS	2 EARTH BINS
RECYCLING (FIBRE)	2 EARTH BINS	2 EARTH BINS
ORGANICS	4x 240L BINS	4x 240L BINS

*EARTH BINS= (6.5 YARDS³)

PROJECT INFORMATION

CURRENT ZONING
Zoning By-Law 2017-113
GM(2411)

SITE AREA
36,789 sq. m. (395,995) sq. ft.

BUILDING HEIGHT
18.0 m

AMENITY AREA PER DWELLING UNIT
6.0 sq. m.

LANDSCAPE AREA
XX%

FRONT YARD SETBACK
3.0 M

REAR YARD SETBACK
3.0 M

INTERIOR SIDE YARD SETBACK
7.5 M

PROJECT STATISTICS

REQUIRED AMENITY SPACE	PROVIDED AMENITY SPACE
6 SQ. M. PER UNIT = 288 sq. m.	PRIVATE BALCONY / PATIOS = 361 sq. m.
50% COMMUNAL AMENITY AREA = 144 sq. m.	COMMUNAL EXTERIOR AREA = 200 sq. m.
	TOTAL = 561 sq. m.

SITE COVERAGE

	PERCENTAGE	AREA (sq. m.)
BUILDING FOOTPRINT	33.6%	2,278.43 sq. m.
DRIVING SURFACE	25.9%	1,751.40 sq. m.
LANDSCAPE AREA	40.5%	2,739.12 sq. m.
TOTAL	100.0%	6,768.95 sq. m.

CAR PARKING REQUIRED by ZONING BY-LAW

	RESIDENCE	TOTAL
RESIDENCE	- 1.2 PER UNIT (192 UNITS)	230
VISITOR	- 0.2 PER DWELLING UNIT	38
TOTAL		268

PROVIDED

	RESIDENCE	VISITOR	TOTAL
RESIDENCE	- 1.2 PER UNIT (192 UNITS)		230
VISITOR		- 0.2 PER DWELLING UNIT	38
TOTAL			268

BICYCLE PARKING

	RESIDENCE	PROVIDED EXTERIOR
RESIDENCE	- 0.5 PER UNIT (192 UNITS)	96
PROVIDED EXTERIOR		96

GROSS BUILDING - AREAS
(CITY OF OTTAWA'S DEFINITION)

PROPOSED BUILDING	AREA (sq. m.)	AREA (sq. ft.)
PROPOSED BUILDING 'A'	1,290.5	(13,890)
PROPOSED BUILDING 'B'	1,290.5	(13,890)
PROPOSED BUILDING 'C'	1,290.5	(13,890)
PROPOSED BUILDING 'D'	1,290.5	(13,890)
PROPOSED BUILDING 'E'	1,290.5	(13,890)
PROPOSED BUILDING 'F'	1,290.5	(13,890)
PROPOSED BUILDING 'G'	1,290.5	(13,890)
PROPOSED BUILDING 'H'	1,290.5	(13,890)
PROPOSED BUILDING 'J'	1,220.0	(13,130)
PROPOSED BUILDING 'K'	1,220.0	(13,130)
PROPOSED BUILDING 'L'	1,220.0	(13,130)
PROPOSED BUILDING 'M'	1,220.0	(13,130)
PROPOSED BUILDING 'N'	1,220.0	(13,130)
PROPOSED BUILDING 'P'	1,220.0	(13,130)
PROPOSED BUILDING 'Q'	1,220.0	(13,130)
PROPOSED BUILDING 'R'	1,220.0	(13,130)
TOTAL PROPOSED AREA	20,084.0	(216,182)

UNIT STATISTICS

UNIT TYPE	QUANTITY
2 BEDROOM UNIT	192

