

PLAN OF SURVEY
INFORMATION SHOWN HAS BEEN TAKEN FROM
Storke Geomatics Ltd.
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Ottawa, ON
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TOPOGRAPHIC PLAN OF SURVEY
PART OF LOT 11
CONCESSION 3 (OTTAWA FRONT)
GEOGRAPHIC TOWNSHIP OF GLEADOLICES
CITY OF OTTAWA

ELEVATION NOTE
1. ELEVATIONS ARE GEODETIC.
2. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE JOB BENCHMARK HAS NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN IN THE ABOVE REFERENCED SURVEY.

- LEGEND:**
- P — PROPERTY LINE
 - - - - - PROPERTY SETBACK
 - OHW — OVERHEAD WIRES
 - - - - - EXISTING BUILDING
 - - - - - BUILDING ENTRANCE
 - ◀ S.C. SIAMSESE CONNECTION
 - ◻ W.P. WALL MOUNTED LIGHT
 - H.P. HYDRO POLE
 - ◊ F.H. FIRE HYDRANT
 - M.H. MANHOLE
 - ◻ C.B. CATCH BASIN
 - RETAINING WALL
 - D.C. DEPRESSED CURB
 - x 100.00 EXISTING GRADE
 - x 100.00 PROPOSED GRADE
 - ◻ PROPOSED CONCRETE
 - ◻ DESIGNATED FIRE ROUTE
 - ◻ AIR WELL

No.	REVISIONS	BY	DATE
15	FOR REVIEW	JP	JAN 30 2023
14	FOR REVIEW	JP	NOV 24 2022
13	FOR REVIEW	PE	NOV 11 2022
12	FOR REVIEW	PE	OCT 31 2022
11	FOR REVIEW	JP	OCT. 13 2022
10	FOR REVIEW	PE	SEPT 30 2022
09	FOR REVIEW	JP	JUL. 20 2022
08	FOR REVIEW	PE	MAR. 18 2022
07	FOR REVIEW	PE	JAN. 18 2022
06	FOR REVIEW	PE	DEC. 22 2021
05	FOR REVIEW	PE	NOV. 11 2021
04	FOR REVIEW	PE	APR. 15 2021
03	FOR REVIEW	PE	APR. 08 2021
02	FOR REVIEW	PE	DEC. 15 2020
01	FOR REVIEW	PE	NOV. 18 2020

NOT AUTHENTIC UNLESS SIGNED AND DATED

P² concepts
CONSULTING ENGINEERS

STRUCTURAL
MECHANICAL
ELECTRICAL

TATHAM
ENGINEERING
5335 Conotek Road, Unit 103,
Ottawa, Ontario K1J 9L4
613-747-3636
info@tathameng.com

DESIGNED BY: P.E. DRAWN BY: P.E. APPROVED BY: P.E.

**2380 and 2396
CLEROUX CRESCENT
OTTAWA**

DRAWING TITLE

SITE PLAN

PROJECT NO. 0403
DATE NOV 11, 2022

SP-01

PLAN # 18569

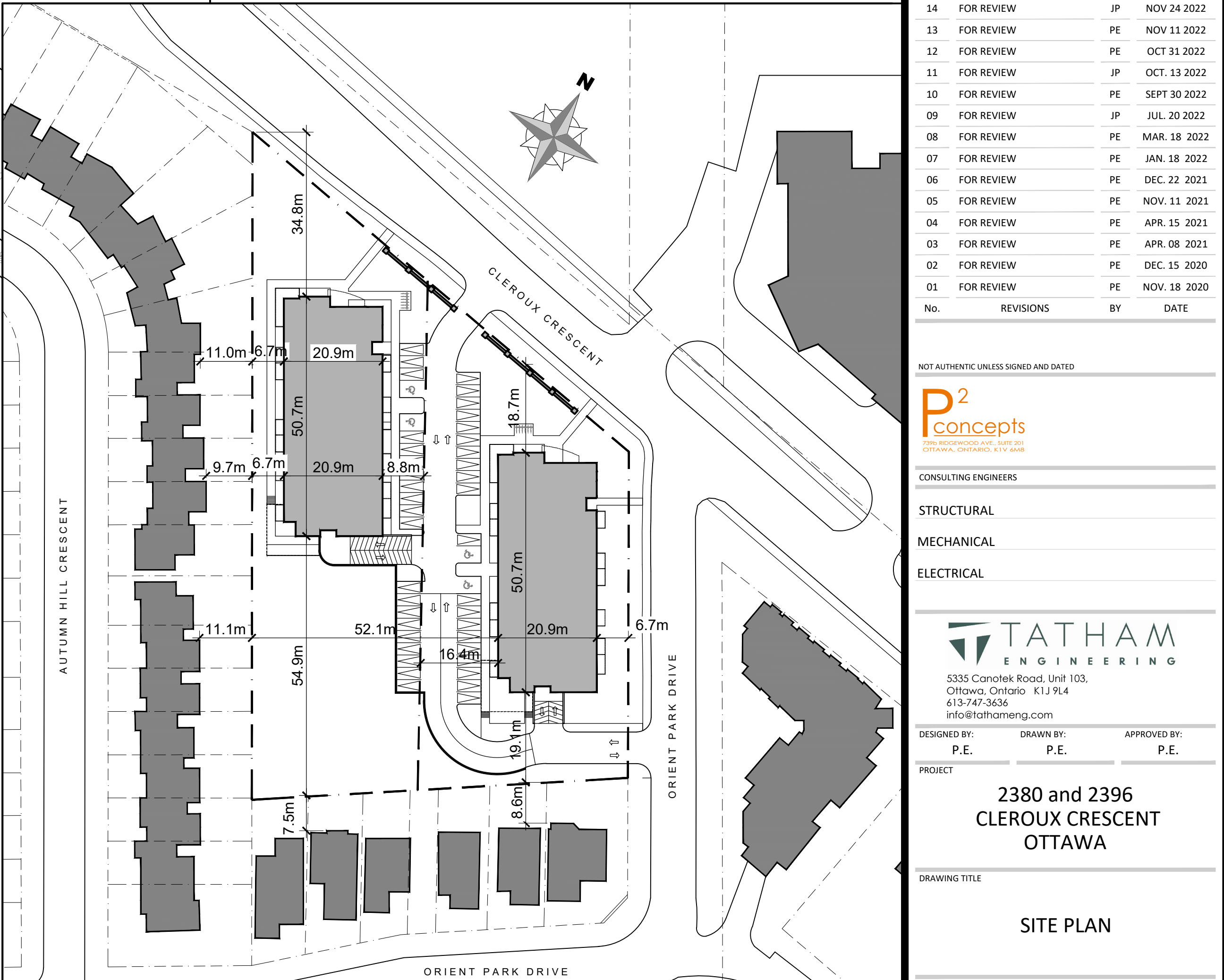
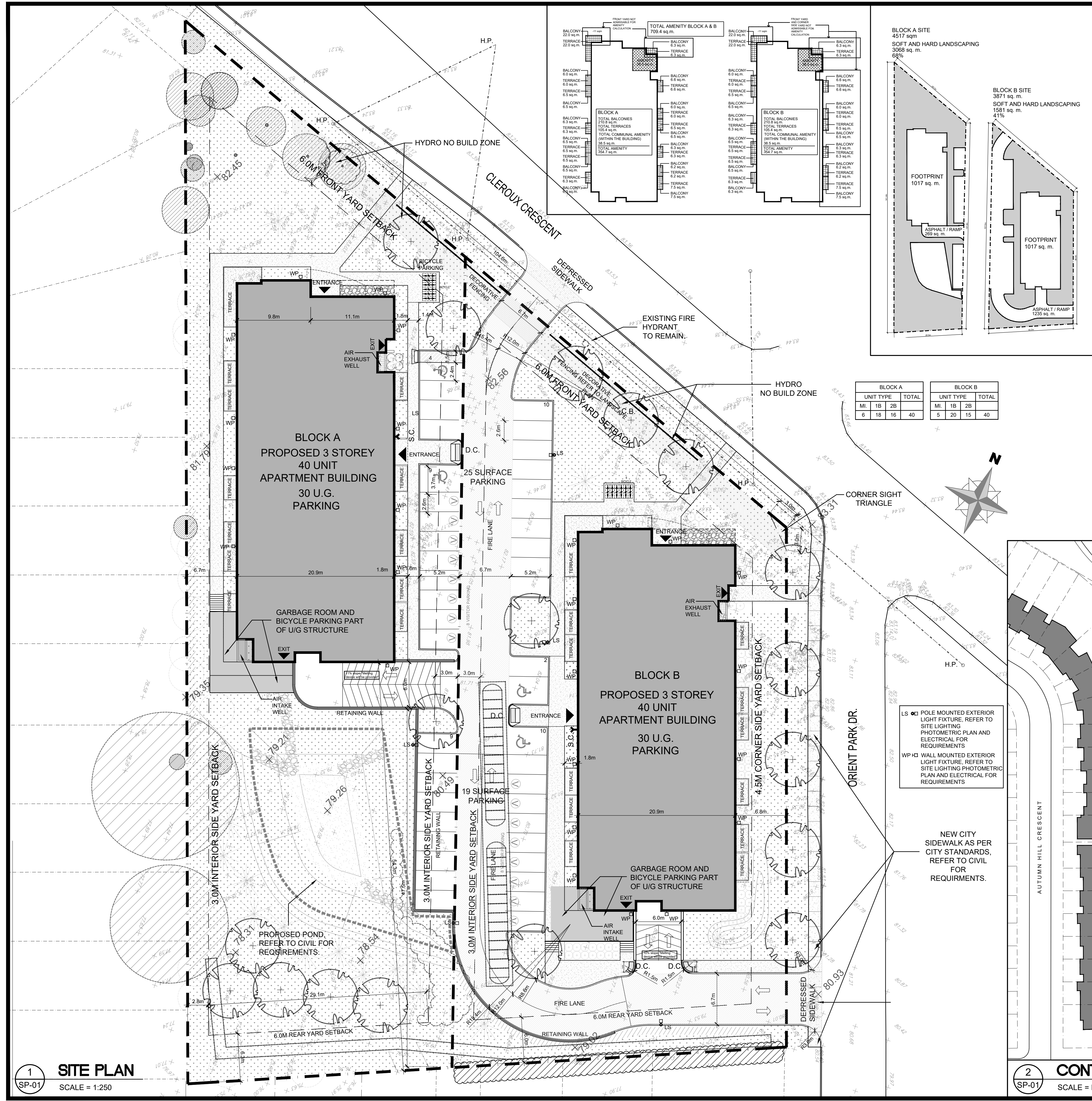
BLOCK A SITE STATISTICS		BLOCK B SITE STATISTICS	
ZONING	RSA H(22)	ZONING	RSA H(22)
MIN. LOT WIDTH	REQUIRED: 18 M PROVIDED: 37.1 M	MIN. LOT WIDTH	REQUIRED: 18 M PROVIDED: 43.3 M
MIN. LOT AREA	REQUIRED: 540 SQ.M PROVIDED: 4517 SQ.M	MIN. LOT AREA	REQUIRED: 540 SQ.M PROVIDED: 3871 SQ.M
SETBACK REQUIREMENTS		SETBACK REQUIREMENTS	
FRONT YARD SETBACK	REQUIRED: 6.0 M PROVIDED: 10.4 M	FRONT YARD SETBACK	REQUIRED: 6.0 M PROVIDED: 6.2 M
INTERIOR SIDE SETBACK: (ABUTTING R3Y ZONE)	REQUIRED: 3.0 M PROVIDED: 7.5 M	INTERIOR SIDE SETBACK: (ABUTTING RSA ZONE)	REQUIRED: 3.0 M PROVIDED: 15.6 M
REAR YARD SETBACK:	REQUIRED: 6.0 M PROVIDED: 54.1 M	CORNER SIDE YARD SETBACK:	REQUIRED: 4.5 M PROVIDED: 6.7 M
HEIGHT LIMITATIONS:	REQUIRED: 22.0 M PROVIDED: 9.5 M	REAR YARD SETBACK:	REQUIRED: 6.0 M PROVIDED: 18.5 M
BUILDING FOOTPRINT:	1017 sq. m.	HEIGHT LIMITATIONS:	REQUIRED: 22.0 M PROVIDED: 9.5 M
BUILDING GFA	3051 sq. m.	BUILDING FOOTPRINT:	1017 sq. m.
LANDSCAPE	3068 sq. m. (68%)	BUILDING GFA	3051 sq. m.
RESIDENTIAL UNIT COUNT	40 UNITS	LANDSCAPE	1581 sq. m. (41%)
ASPHALT AREA AND RAMPS	269 sq. m.	RESIDENTIAL UNIT COUNT	40 UNITS
AMENITY AREA	REQUIRED: 15M ² x 8 units + 6M ² /unit=8 units 8 units x 15.0 = 120 sq. m. 32 units x 6.0 = 192 sq. m. TOTAL = 312 sq. m.	ASPHALT AREA AND RAMPS	1235 sq. m.
TOTAL BALCONIES	210.8 sq. m.	AMENITY AREA	REQUIRED: 15M ² x 8 units + 6M ² /unit=8 units 8 units x 15.0 = 120 sq. m. 32 units x 6.0 = 192 sq. m. TOTAL = 312 sq. m.
TOTAL TERRACES	105.4 sq. m.	TOTAL BALCONIES	210.8 sq. m.
TOTAL COMMUNAL AMENITY	1160.1 sq. m.	TOTAL TERRACES	105.4 sq. m.
TOTAL AMENITY	1476.3 sq. m.	TOTAL COMMUNAL AMENITY	1160.1 sq. m.
		TOTAL AMENITY	400.5 sq. m.
		TOTAL AMENITY	716.4 sq. m.
PARKING STATISTICS		PARKING STATISTICS	
REQUIRED: 1.2 PER UNIT (48 TOTAL) + 0.2 VISITOR PER UNIT (8 TOTAL)	40 UNITS X 1.4 = 56 PARKING SPACES	REQUIRED: 1.2 PER UNIT (48 TOTAL) + 0.2 VISITOR PER UNIT (8 TOTAL)	40 UNITS X 1.4 = 56 PARKING SPACES
PROVIDED:	1.1 PER UNIT- 44 TOTAL RESIDENT SPACES (MV) 0.2 PER UNIT- 8 TOTAL VISITOR SPACES (2 HANDICAP PARKING SPACES INCLUDED)	PROVIDED:	1.1 PER UNIT- 44 TOTAL RESIDENT SPACES (MV) 0.2 PER UNIT- 8 TOTAL VISITOR SPACES (2 HANDICAP PARKING SPACES INCLUDED)
UNDERGROUND	30 SPACES	UNDERGROUND	30 SPACES
SURFACE	22 SPACES	SURFACE	22 SPACES
TOTAL	52 SPACES	TOTAL	52 SPACES
BICYCLE PARKING		BICYCLE PARKING	
REQUIRED: 0.5 SPACES PER UNIT; 0.5 x 40 UNITS = 20 SPACES	PROVIDED: INTERIOR :17 SPACES EXTERIOR : 6 SPACES TOTAL: 23 SPACES	REQUIRED: 0.5 SPACES PER UNIT; 0.5 x 40 UNITS = 20 SPACES	PROVIDED: INTERIOR :17 SPACES EXTERIOR : 6 SPACES TOTAL: 23 SPACES

BLOCK A			BLOCK B		
UNIT TYPE	MI.	TOTAL	UNIT TYPE	MI.	TOTAL
1B	16	40	1B	20	40
2B	16	40	2B	15	40

LS ○ POLE MOUNTED EXTERIOR LIGHT FIXTURE. REFER TO SITE LIGHTING PHOTOMETRIC PLAN AND ELECTRICAL FOR REQUIREMENTS

WP-H □ WALL MOUNTED EXTERIOR LIGHT FIXTURE. REFER TO SITE LIGHTING PHOTOMETRIC PLAN AND ELECTRICAL FOR REQUIREMENTS

NEW CITY SIDEWALK AS PER CITY STANDARDS, REFER TO CIVIL FOR REQUIREMENTS.



1 SITE PLAN
SCALE = 1:250

2 CONTEXT PLAN
SCALE = N.T.S.

D07-12-21-0081