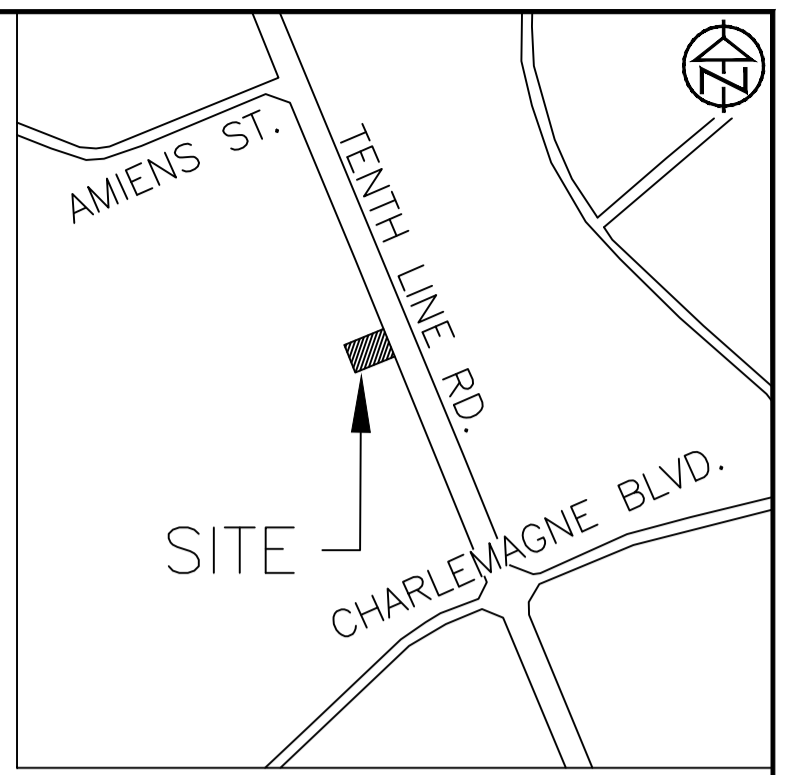
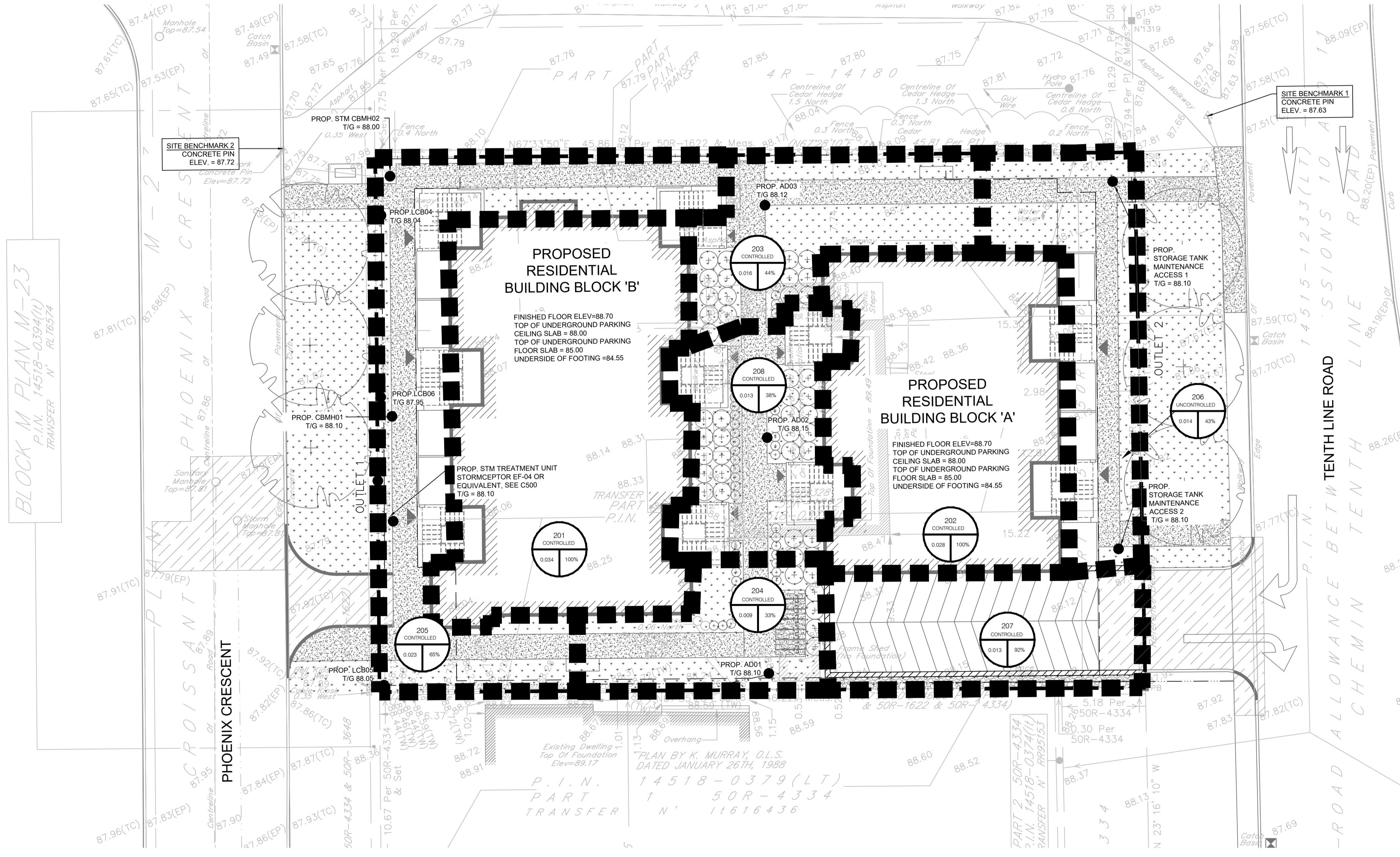
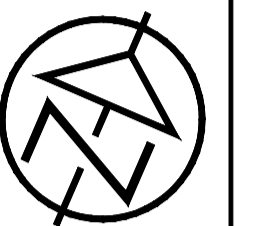


LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- +50.00 PROPOSED ELEVATION
- +50.00 (SW) SWALE ELEVATION
- +50.00 (BW) PROPOSED BOTTOM OF WALL ELEVATION
- +50.00 (TW) PROPOSED TOP OF WALL ELEVATION
- +50.00 (BC) PROPOSED BOTTOM OF CURB ELEVATION
- +50.00 (TC) PROPOSED TOP OF CURB ELEVATION
- +50.00 (ME) PROPOSED ELEVATION MATCH INTO EXISTING ELEVATION
- +70.19 EXISTING ELEVATION
- ▨ PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- ▨ PROPOSED SILT FENCE AS PER OPSD 219.110
- ▨ PROPOSED 200mmØ PERFORATED SUBDRAIN
- STM — PROPOSED STORM SEWER
- SWS — PROPOSED 250mmØ PERFORATED SUBDRAIN
- SWS — PROPOSED SANITARY SEWER
- SWS — PROPOSED WATERMAIN
- SWS — EXISTING SANITARY SEWER
- SWS — EXISTING WATERMAIN
- PROPOSED CATCH BASIN/MANHOLE/AREA DR.
- PROPOSED WATER VALVE
- PROPOSED PIPE INSULATION
- PROPOSED 100 YEAR HIGH WATER LEVEL
- ▨ STORM WATERSHED EXTENT
- WS-X1 WATERSHED NAME
- % IMPERVIOUS AREA
- AREA IN HECTARES
- PROPOSED GRASS AREA. REFER TO LANDSCAPING
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED GRAVEL AREA
- PROPOSED RIP RAP AS PER OPSD 810.010
- PROPOSED WATER METER
- ➔ PROPOSED MAJOR OVERLAND FLOW ROUTE
- ➔ PROPOSED ROOF DRAIN OUTLET



KEY PLAN - N.T.S.



BLOCK M PLAN M-23
P.I.N. 14518-0394(U)
TRANSFER N' RL16574

PROPOSED RESIDENTIAL BUILDING BLOCK 'B'

FINISHED FLOOR ELEV=88.70
TOP OF UNDERGROUND PARKING CEILING SLAB = 88.00
TOP OF UNDERGROUND PARKING FLOOR SLAB = 85.00
UNDERSIDE OF FOOTING =84.55

PROPOSED RESIDENTIAL BUILDING BLOCK 'A'

FINISHED FLOOR ELEV=88.70
TOP OF UNDERGROUND PARKING CEILING SLAB = 88.00
TOP OF UNDERGROUND PARKING FLOOR SLAB = 85.00
UNDERSIDE OF FOOTING =84.55

201 CONTROLLED
0.034 100%

203 CONTROLLED
0.016 44%

206 CONTROLLED
0.013 38%

206 UNCONTROLLED
0.014 43%

205 CONTROLLED
0.023 69%

204 CONTROLLED
0.009 33%

207 CONTROLLED
0.013 90%

PLAN BY K. MURRAY, O.L.S.
DATED JANUARY 26TH, 1988

P.I.N. 14518-0379(LT)
PART 1 50R-4334
TRANSFER N' 11616436

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LEGAL AND TOPOGRAPHIC SURVEY COMPLETED BY ARPEPAGE DUTRISAC SURVEYING INC.

BENCHMARK1: CONCRETE PIN LOCATED ON NORTH EAST CORNER OF THE SITE, ELEVATION: 87.63

BENCHMARK2: CONCRETE PIN LOCATED ON NORTH WEST CORNER OF THE SITE, ELEVATION: 87.72

No.	REVISION DESCRIPTION	DATE	ENGINEER STAMP
1.	ISSUED FOR SPA	DEC. 2022	
2.	AS PER ARCHITECT'S COMMENTS	DEC. 2022	
3.	RE-ISSUED FOR SPA	JUN. 2023	
4.	RE-ISSUED FOR SPA	DEC. 2023	
5.	RE-ISSUED FOR SPA	MAR. 2024	

BRIDOR DEVELOPMENTS
1592 TENTH LINE ROAD
CITY OF OTTAWA

POST DEVELOPMENT
DRAINAGE PLAN



DESIGN: HY/GC	FILE: 522677	DWG:
DRAWN: HY	DATE: NOV 2022	C401
CHECK: GC	SCALE: 1:150	

D07-12-21-0084