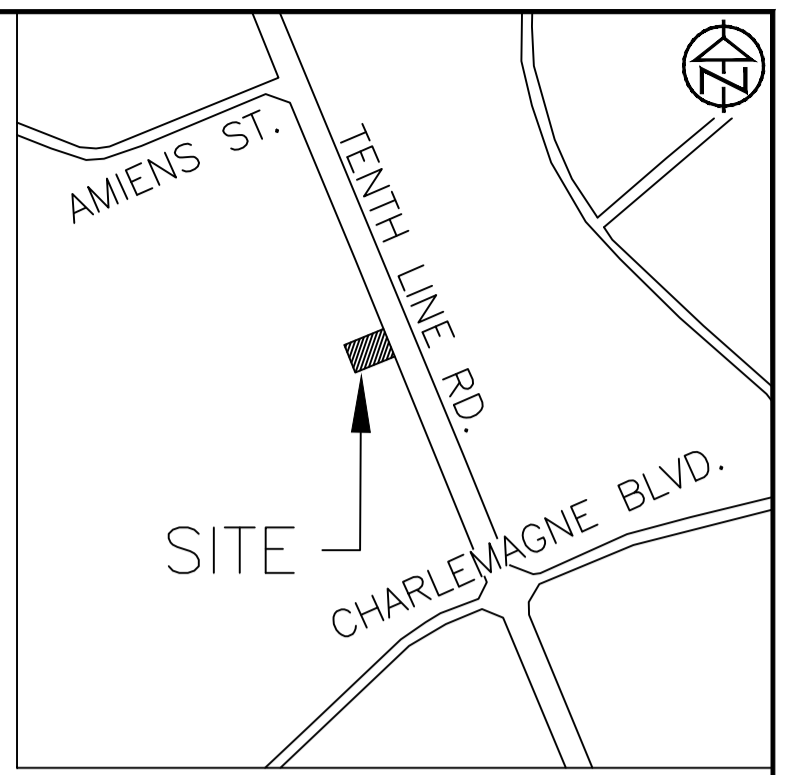
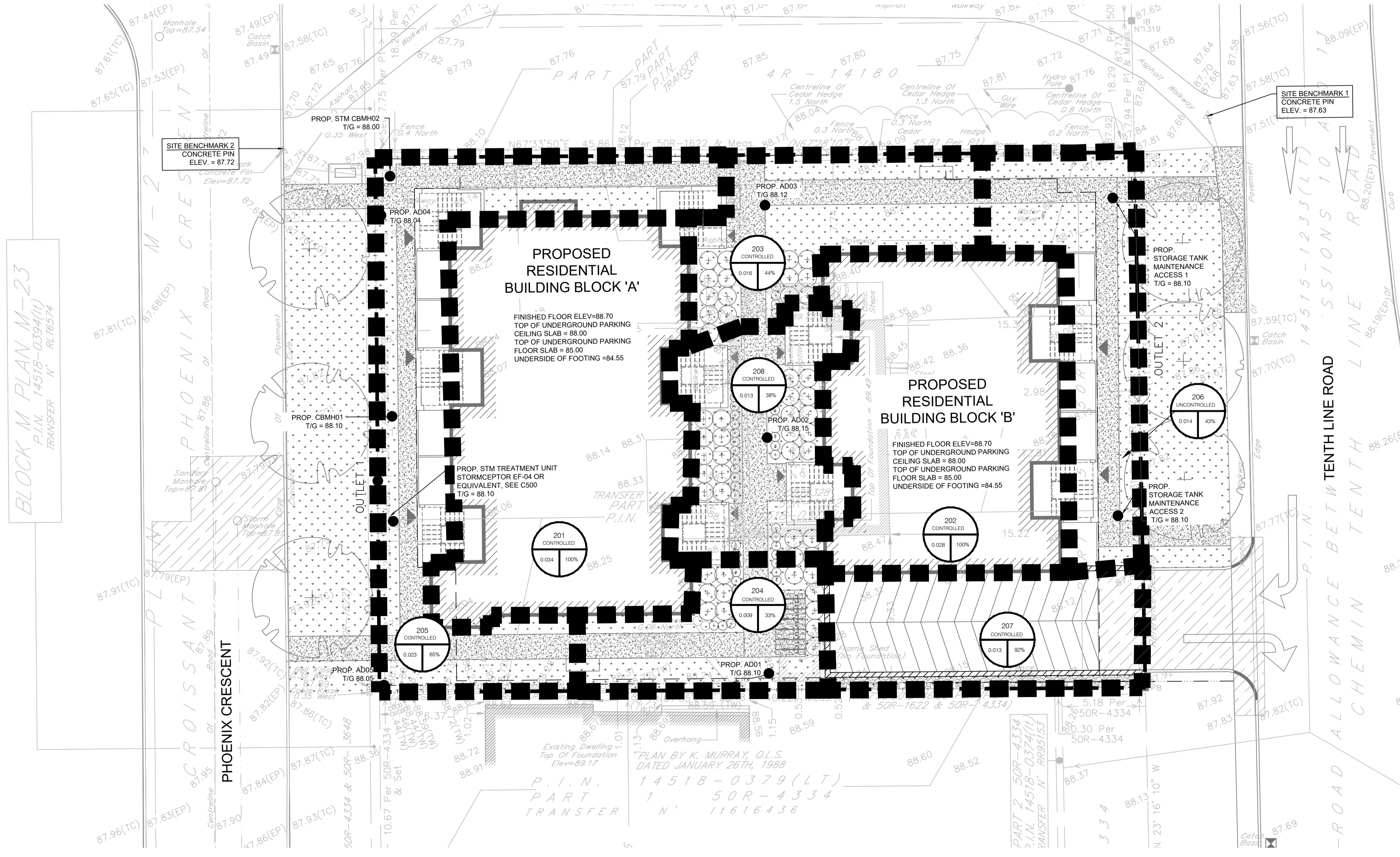
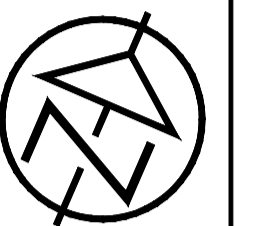


LEGEND:

- — — — — EXISTING PROPERTY LINE TO REMAIN
- +50.00 PROPOSED ELEVATION
- +50.00 (SW) SWALE ELEVATION
- +50.00 (BW) PROPOSED BOTTOM OF WALL ELEVATION
- +50.00 (TW) PROPOSED TOP OF WALL ELEVATION
- +50.00 (BC) PROPOSED BOTTOM OF CURB ELEVATION
- +50.00 (TC) PROPOSED TOP OF CURB ELEVATION
- +50.00 (ME) PROPOSED ELEVATION MATCH INTO EXISTING ELEVATION
- +70.19 EXISTING ELEVATION
- ▨ PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- ▨ PROPOSED SILT FENCE AS PER OPSD 219.110
- — — — — PROPOSED 200mm ϕ PERFORATED SUBDRAIN
- — — — — PROPOSED STORM SEWER
- — — — — PROPOSED 250mm ϕ PERFORATED SUBDRAIN
- — — — — PROPOSED SANITARY SEWER
- — — — — PROPOSED WATERMAIN
- — — — — EXISTING SANITARY SEWER
- — — — — EXISTING WATERMAIN
- PROPOSED CATCH BASIN/MANHOLE/AREA DR.
- PROPOSED WATER VALVE
- PROPOSED PIPE INSULATION
- — — — — PROPOSED 100 YEAR HIGH WATER LEVEL
- ▭ STORM WATERSHED EXTENT
- WS-X01 WATERSHED NAME
- % IMPERVIOUS
- AREA IN HECTARES
- PROPOSED GRASS AREA. REFER TO LANDSCAPING
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED GRAVEL AREA
- PROPOSED RIP RAP AS PER OPSD 810.010
- PROPOSED WATER METER
- ➔ PROPOSED MAJOR OVERLAND FLOW ROUTE
- ➔ PROPOSED ROOF DRAIN OUTLET



KEY PLAN - N.T.S.



BLOCK M PLAN M-23
P.I.N. 14518-0394(U)
TRANSFER N' RL76574

PROPOSED RESIDENTIAL BUILDING BLOCK 'A'
FINISHED FLOOR ELEV=88.70
TOP OF UNDERGROUND PARKING CEILING SLAB = 88.00
TOP OF UNDERGROUND PARKING FLOOR SLAB = 85.00
UNDERSIDE OF FOOTING =84.55

PROPOSED RESIDENTIAL BUILDING BLOCK 'B'
FINISHED FLOOR ELEV=88.70
TOP OF UNDERGROUND PARKING CEILING SLAB = 88.00
TOP OF UNDERGROUND PARKING FLOOR SLAB = 85.00
UNDERSIDE OF FOOTING =84.55

PROP. STM TREATMENT UNIT STORMCEPTOR EF-04 OR EQUIVALENT, SEE C500
TIG = 88.10

PROP. STORAGE TANK MAINTENANCE ACCESS 2
TIG = 88.10

PLAN BY K. MURRAY, O.L.S.
DATED JANUARY 26TH, 1988
P.I.N. 14518-0379(LT)
PART 1 50R-4334
TRANSFER N' 11616436

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LEGAL AND TOPOGRAPHIC SURVEY COMPLETED BY ARPEPAGE DUTRISAC SURVEYING INC.
BENCHMARK1: CONCRETE PIN LOCATED ON NORTH EAST CORNER OF THE SITE, ELEVATION: 87.63
BENCHMARK2: CONCRETE PIN LOCATED ON NORTH WEST CORNER OF THE SITE, ELEVATION: 87.72

No.	REVISION DESCRIPTION	DATE	ENGINEER STAMP
1.	ISSUED FOR SPA	DEC. 2022	
2.	AS PER ARCHITECT'S COMMENTS	DEC. 2022	
3.	RE-ISSUED FOR SPA	JUN. 2023	

BRIDOR DEVELOPMENTS
1592 TENTH LINE ROAD
CITY OF OTTAWA

POST DEVELOPMENT
DRAINAGE PLAN

TATHAM ENGINEERING
DESIGN: HY/GC FILE: 522677 DWG:
DRAWN: HY DATE: NOV 2022 **C401**
CHECK: GC SCALE: 1:150

D07-12-21-0084