

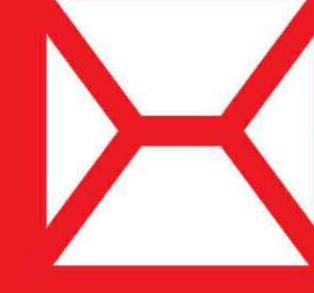


NEUF
ARCHITECT(E)S



PAGE	SHEET NAME	REVISION
A000	TITLE PAGE	For Approved SPA Revision
A001	GLOBAL PERSPECTIVES	For Approved SPA Revision
A002	ISOMETRIC VIEWS	For Approved SPA Revision
A003	PERSPECTIVES	For Approved SPA Revision
A004	PERSPECTIVES	For Approved SPA Revision
A005	ROOF CANOPY PERSPECTIVES	For Approved SPA Revision
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A201.4	BASEMENT 2 - TOWER 4	For Approved SPA Revision
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A300.4	LONGITUDINAL BUILDING SECTION	For Approved SPA Revision
A301.4	TRANSVERSE BUILDING SECTION	For Approved SPA Revision
A400	SOUTH ELEVATION	For Approved SPA Revision
A401	NORTH ELEVATION	For Approved SPA Revision
A402	EAST ELEVATION	For Approved SPA Revision
A403	WEST ELEVATION	For Approved SPA Revision

**PETRIE'S LANDING I -
TOWER 4**
ORLEANS, ON
CLIENT : BRIGIL



NEUF
ARCHITECT(E)S

For Approved SPA Revision
PERMIS Permit
SOUSSION Tender
REVISION GENERALE General revision
CONSTRUCTION Construction
FIN DES TRAVAUX Record Drawings

01/28/2022



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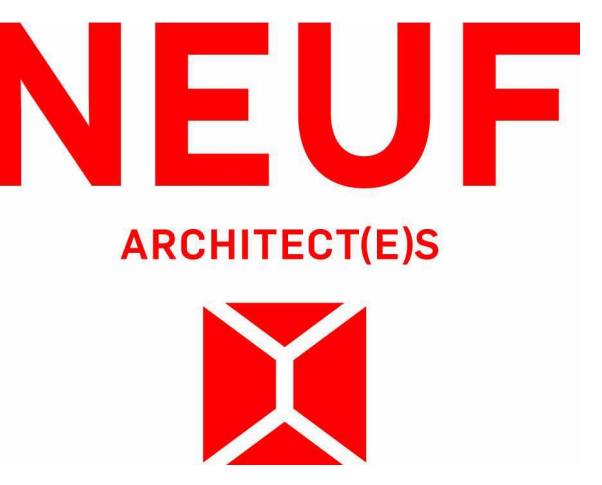
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OUVRAGE / Project
PETRIE'S LANDING I - TOWER 4

EMPLACEMENT / Location
ORLEANS, ON

NO PROJET No.
12190.00

NO	REVISION	DATE (aa-mm-jj)
1	For Coordination	2018-10-15
2	30% ISSUE	2020-09-31
3	80% ISSUE	2020-04-30
4	ISSUES FOR INTERNAL REVIEW - ARCHITECT	2021-04-03
5	80% ISSUE	2021-09-10
6	Issue for SPA Review	2021-12-10
7	ISSUES FOR BRIGIL REVIEW	2021-11-01
8	80% DRAFT ISSUE	2021-12-01
9	ISSUES FOR PERMIT	2021-12-15
10	For Approval SPA Review	2022-01-28

DESSINÉ PAR / Drawn by
MU/RR

DATE (aa-mm-jj)
10/15/2019

TITRE DU DESSIN / Drawing Title
GLOBAL PERSPECTIVES

VERIFIÉ PAR / Checked by
MU

ÉCHELLE / Scale

REVISION / Revision
10

NO. DESSIN / Day Number
A001

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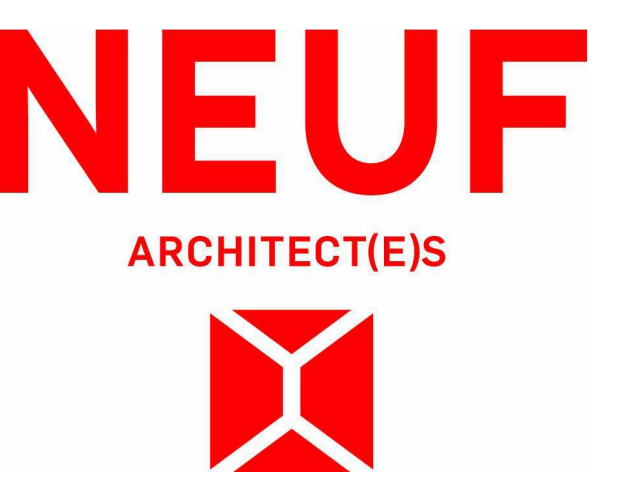
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PETRIE'S LANDING I - TOWER 4

EMPLACEMENT / Location NO PROJET / No.
ORLEANS, ON 12190.00

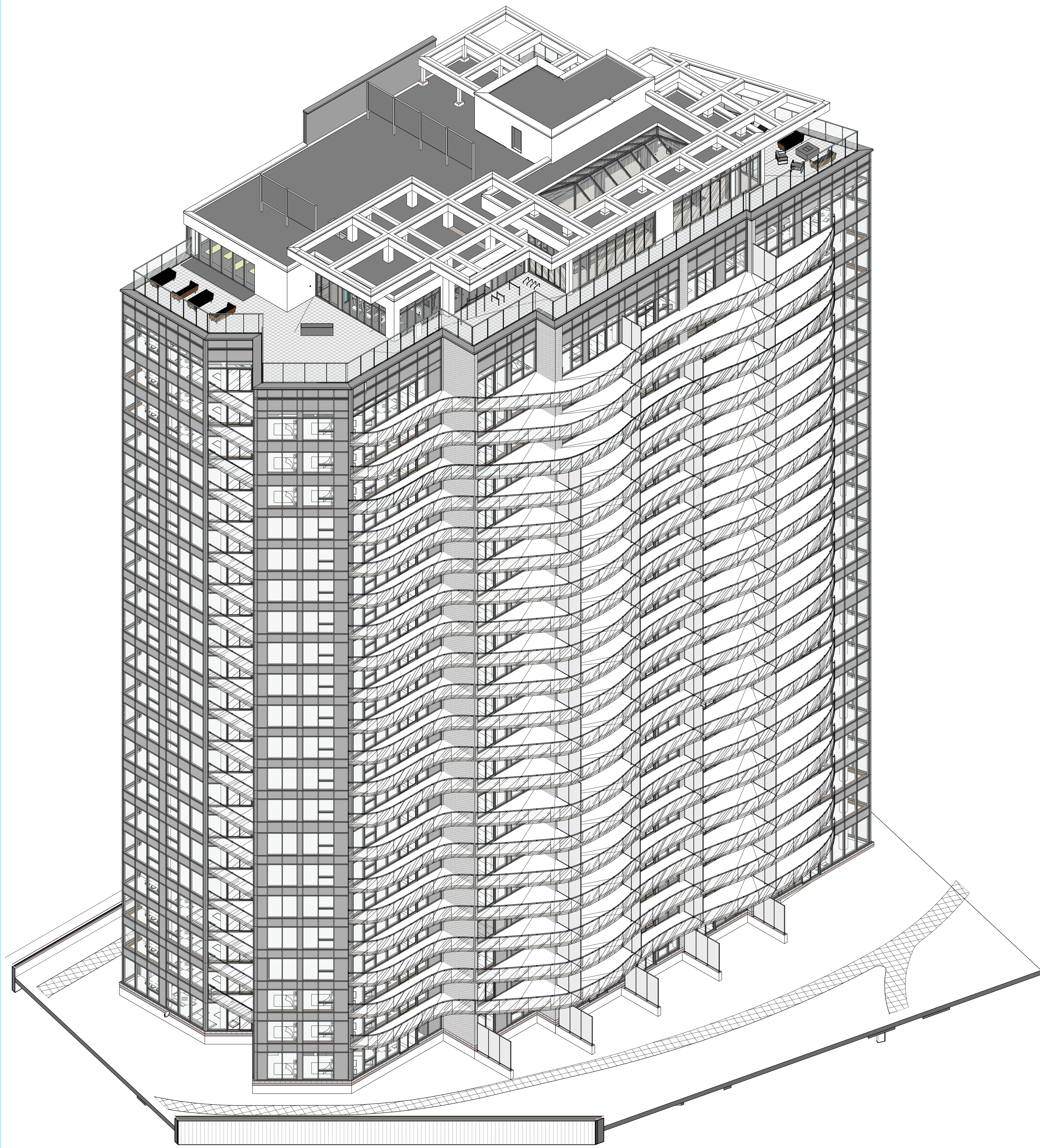
NO	RÉVISION	DATE (aa-mm-jj)
1	For Coordination	2019-10-16
2	For Coordination	2019-11-06
3	30% ISSUE	2020-03-31
4	60% ISSUE	2020-04-28
5	ISSUED FOR INTERNAL REVIEW ARCHITECT	2021-08-03
6	60% ISSUE	2021-09-10
7	ISSUED FOR BRIGIL REVIEW	2021-10-10
8	ISSUED FOR BRIGIL REVIEW (70%)	2021-11-01
9	80% FINAL ISSUE	2021-12-01
10	ISSUED FOR PERMIT	2021-12-15
11	For Approved OPA Review	2022-01-28

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DATE (aa-mm-jj) ÉCHELLE / Scale
10/15/2019

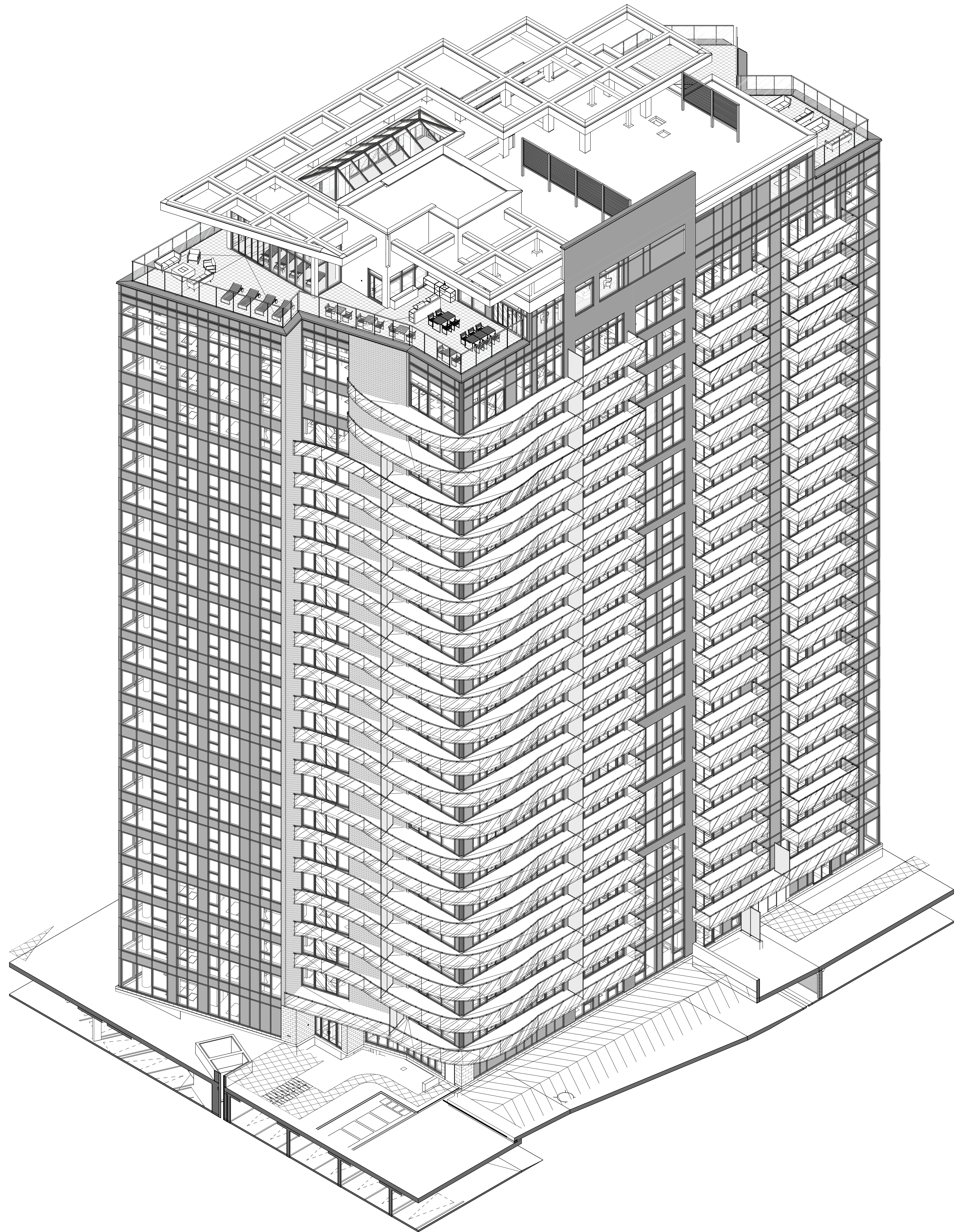
TITRE DU DESSIN / Drawing Title
ISOMETRIC VIEWS

RÉVISION / Revision NO. DESSIN / Drawing Number
11 A002



ISOMETRIC VIEW NORTH-WEST

1
A002



ISOMETRIC VIEW SOUTH-WEST

2
A002

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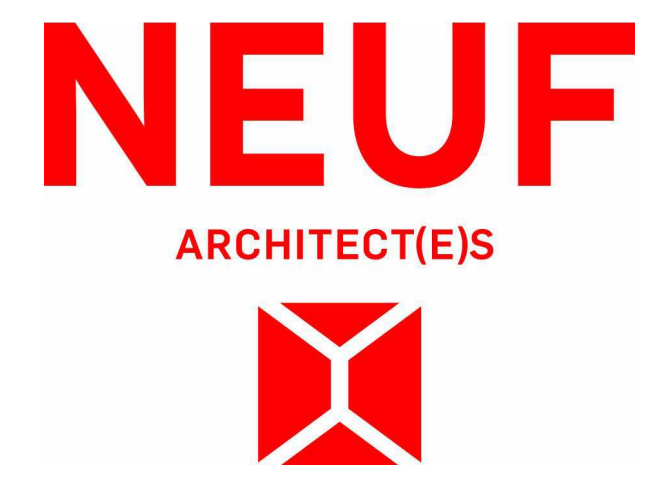
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OUVRAGE / Project
PETRIE'S LANDING I - TOWER 4

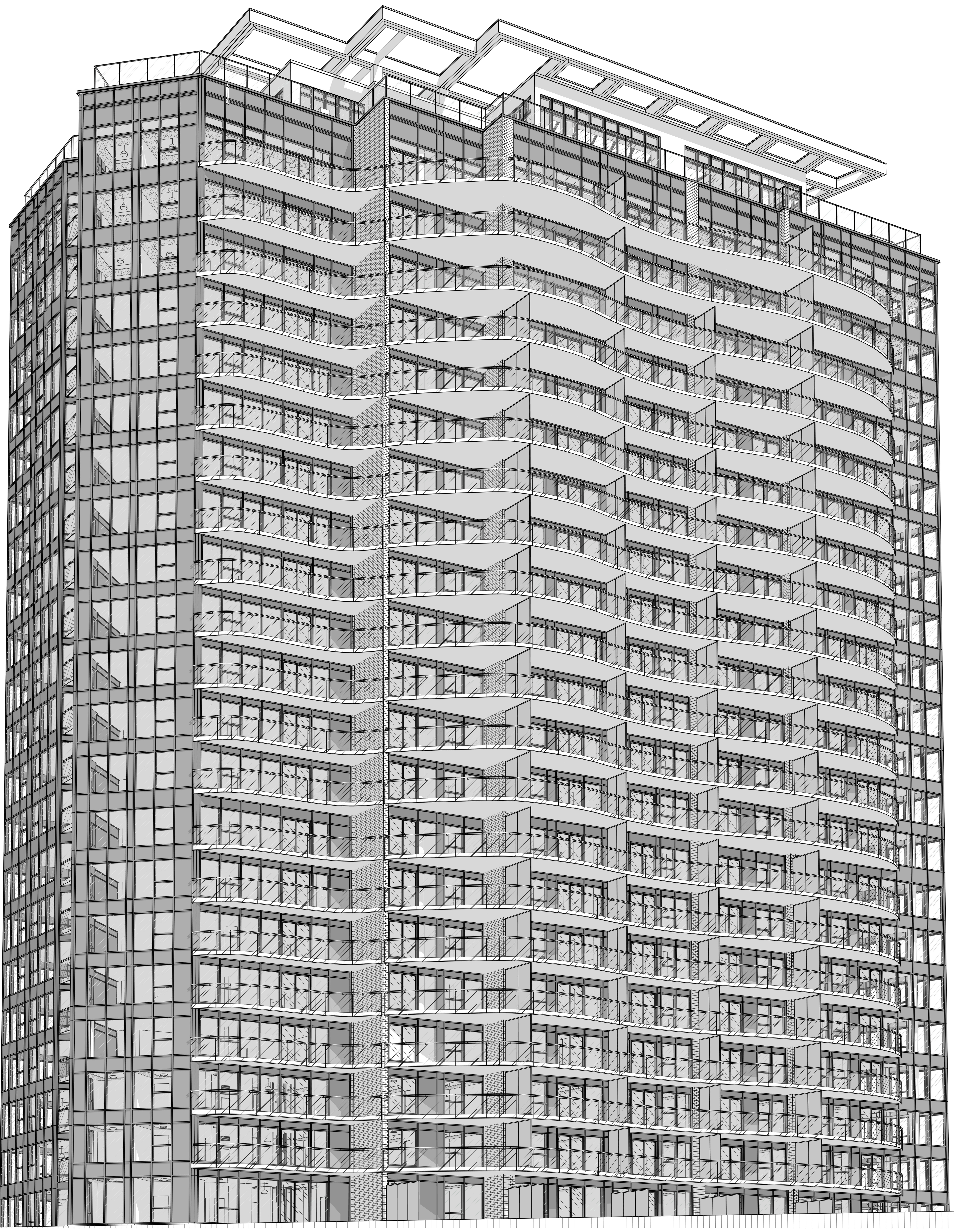
EMPLACEMENT / Location
ORLEANS, ON NO PROJET No. **12190.00**

NO	RÉVISION	DATE (aa-mm-jj)
1	For Coordination	2019-10-16
2	For Coordination	2019-11-06
3	30% ISSUE	2020-03-31
4	60% ISSUE	2020-06-26
5	ISSUED FOR INTERNAL REVIEW ARCHITECT	2021-08-03
6	60% ISSUE	2021-09-10
7	ISSUED FOR PERMIT REVIEW (70%)	2021-10-13
8	ISSUED FOR PERMIT REVIEW (70%)	2021-11-01
9	60% DRAFT ISSUE	2021-12-01
10	ISSUED FOR PERMIT	2021-12-10
11	For Approval (50%)	2022-01-28

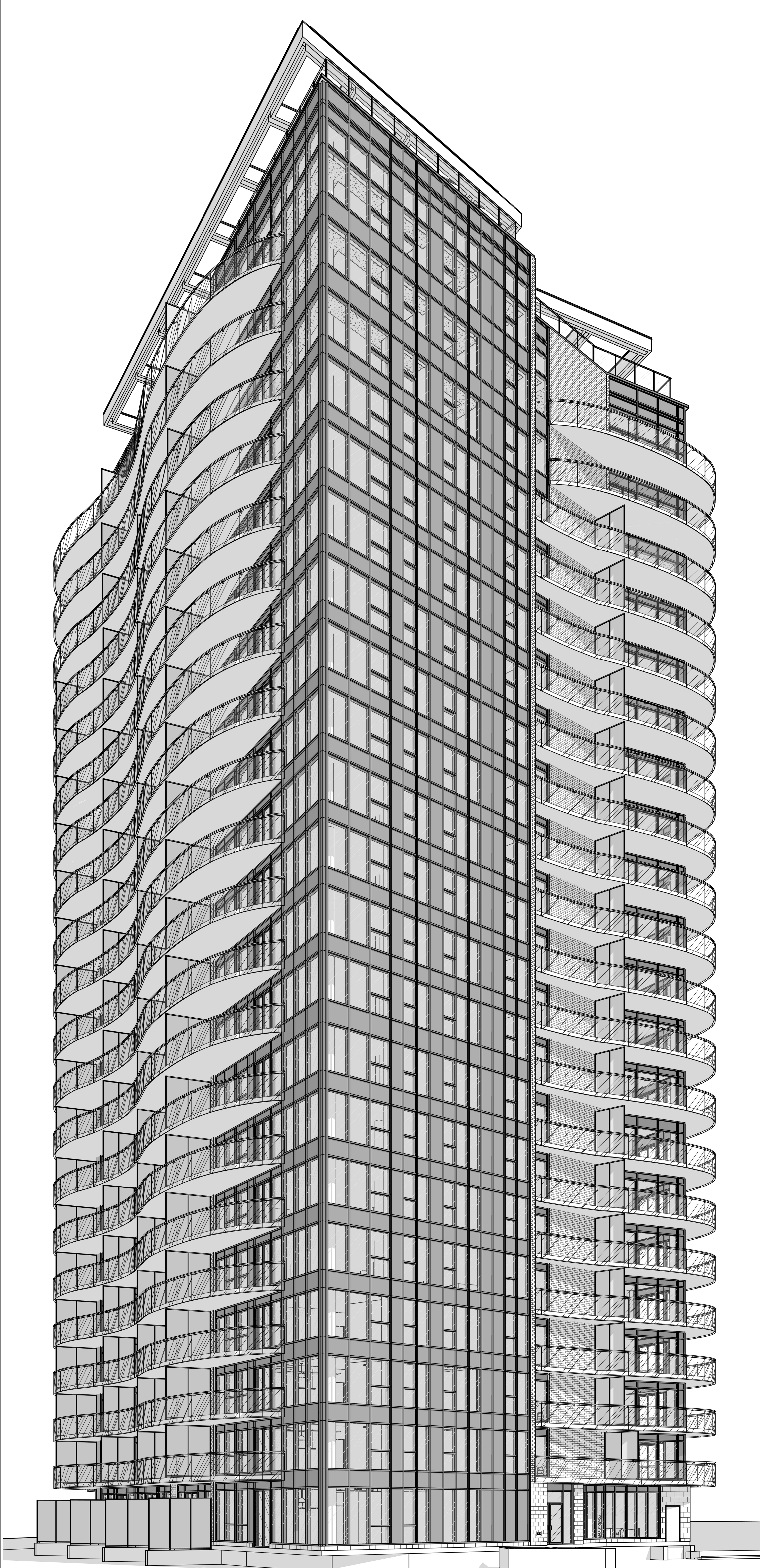
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MU
 DATE (aa-mm-jj) / ECHELLE / Scale
10/09/2019

TITRE DU DESSIN / Drawing Title
PERSPECTIVES

RÉVISION / Revision NO. DESSIN / Drawing Number
11 A003



NORTH-EAST PERSPECTIVE 1 / A003



NORTH-WEST PERSPECTIVE 2 / A003

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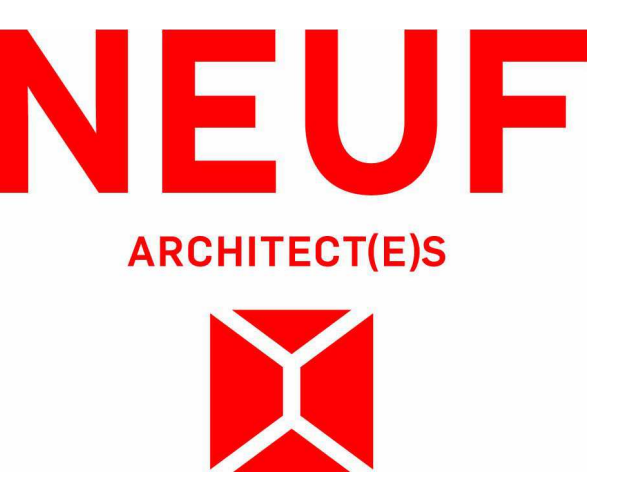
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OUVRAGE / Project
PETRIE'S LANDING I - TOWER 4

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NO	RÉVISION	DATE (aa-mm-jj)
1	For Coordination	2019-10-15
2	30% ISSUE	2020-08-31
3	ISSUED FOR INTERNAL REVIEW ARCHITECT	2021-08-03
4	60% ISSUE	2021-09-10
5	ISSUE FOR SPA Review	2021-10-10
6	ISSUED FOR BRIGIL REVIEW (FINAL)	2021-11-01
7	FOR LIAISON BRIGIL	2021-12-01
8	ISSUED FOR PERMITS	2021-12-15
9	For Approvals SPA Review	2022-01-28

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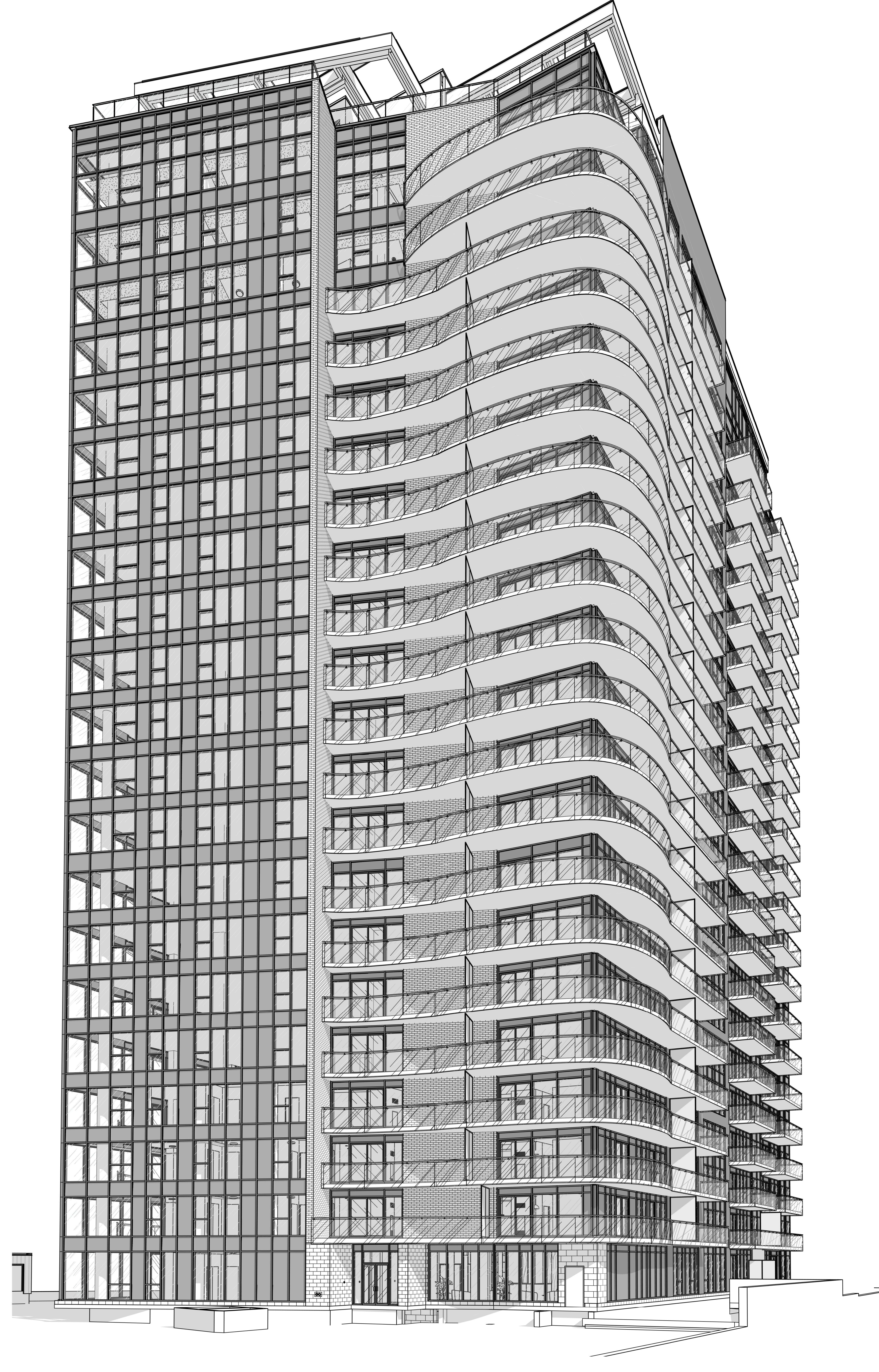
TITRE DU DESSIN / Drawing Title
PERSPECTIVES

RÉVISION / Revision
9 NO. DESSIN / Drawing Number
A004



SOUTH-EAST PERSPECTIVE

1
A004



SOUTH-WEST PERSPECTIVE

2
A004

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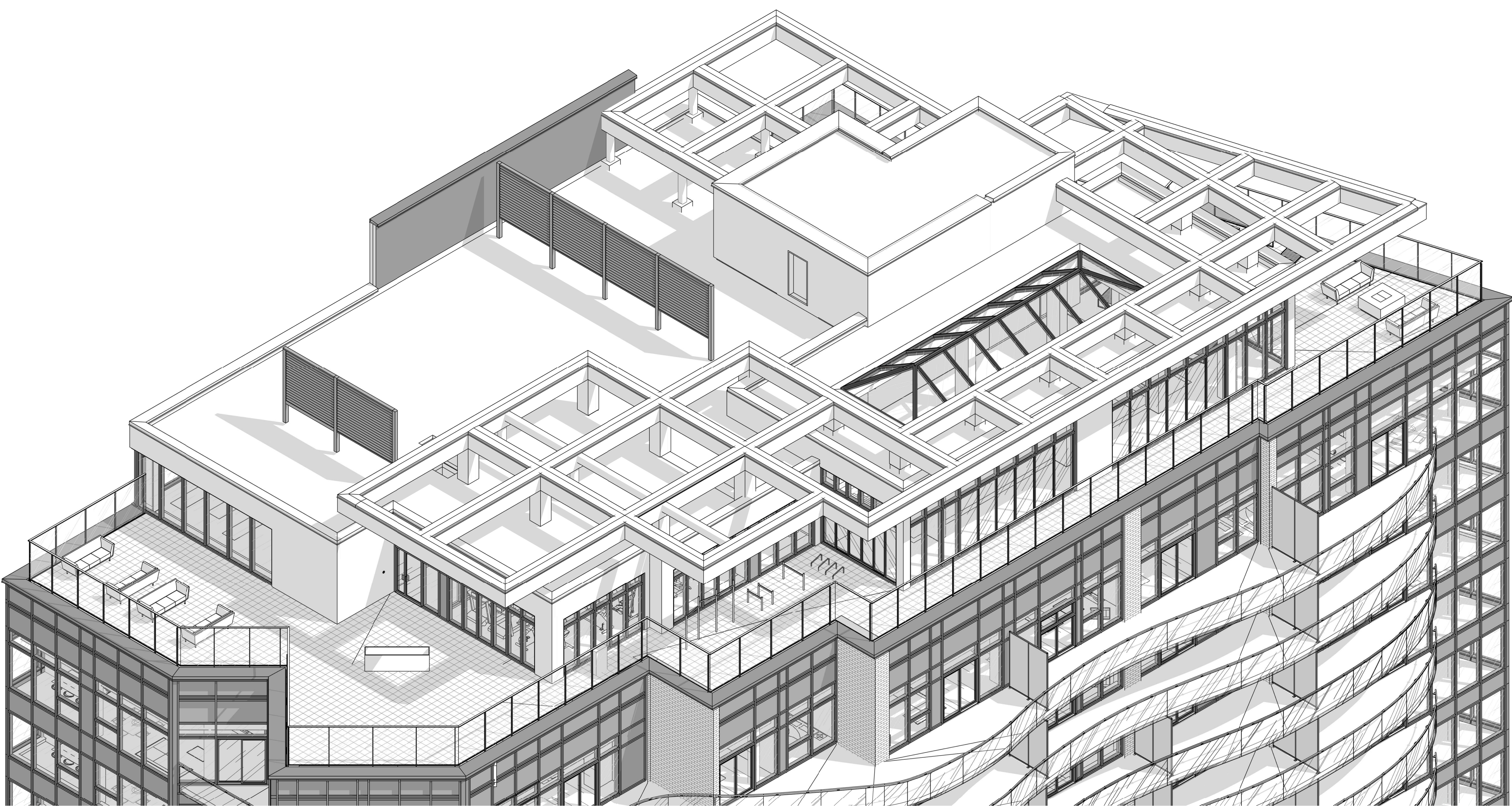
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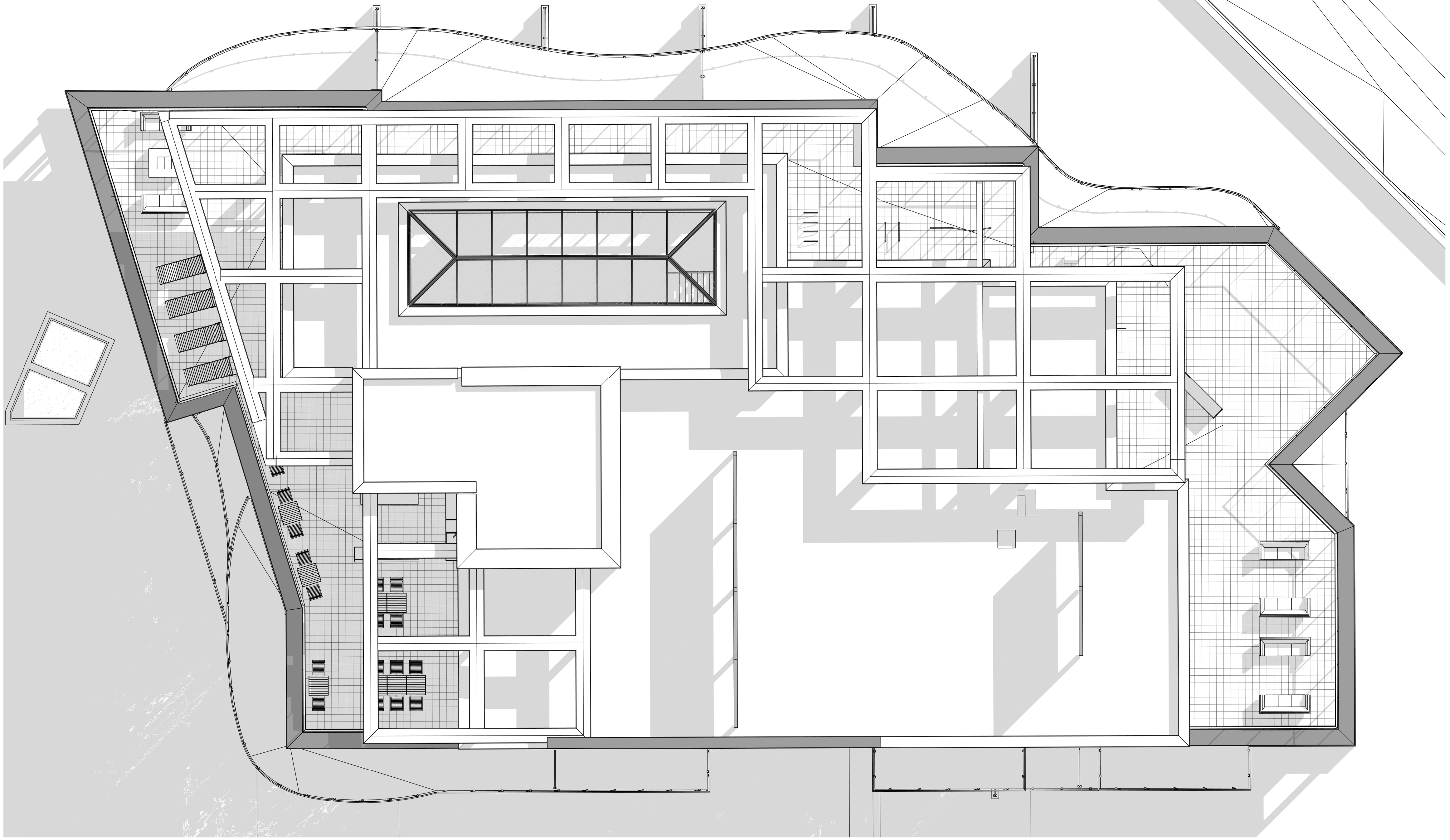
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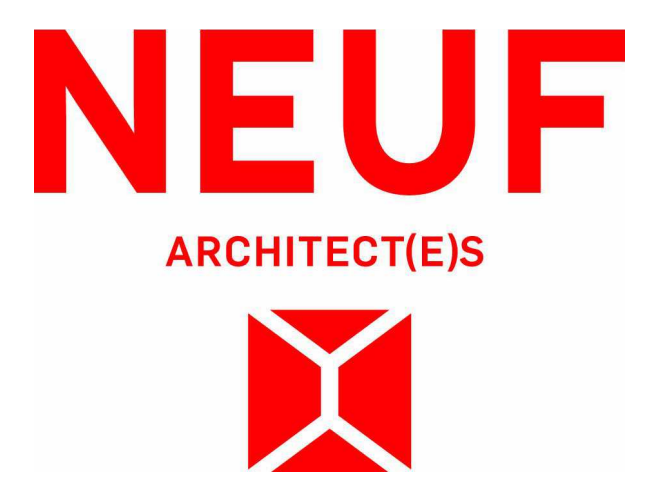
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ROOF CANOPY PERSPECTIVE 2
 A005



ROOF CANOPY AERIAL PLAN 1
 A005



OUVRAGE - Project
PETRIE'S LANDING I - TOWER 4

EMPLACEMENT - Location
ORLEANS, ON NO PROJET No. **12190.00**

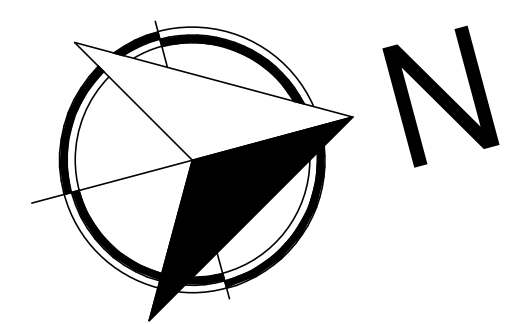
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1	60% ISSUE	2021-09-10
2	Issue for SPA Rev 6	2021-10-10
3	ISSUED FOR BRIGIL REVIEW (07/1)	2021-11-01
4	ISSUED FOR PERMIT	2021-12-01
5	ISSUED FOR PERMIT	2021-12-15
6	For Approval SPA Review	2022-01-28

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DESSINÉ PAR - Drawn by
Author VÉRIFIÉ PAR - Checked by
Checker
 DATE (aa-mm-jj) 09/01/21
 ÉCHELLE - Scale

TITRE DU DESSIN - Drawing Title
ROOF CANOPY PERSPECTIVES

RÉVISION - Revision NO. DESSIN - Draw Number
6 A005

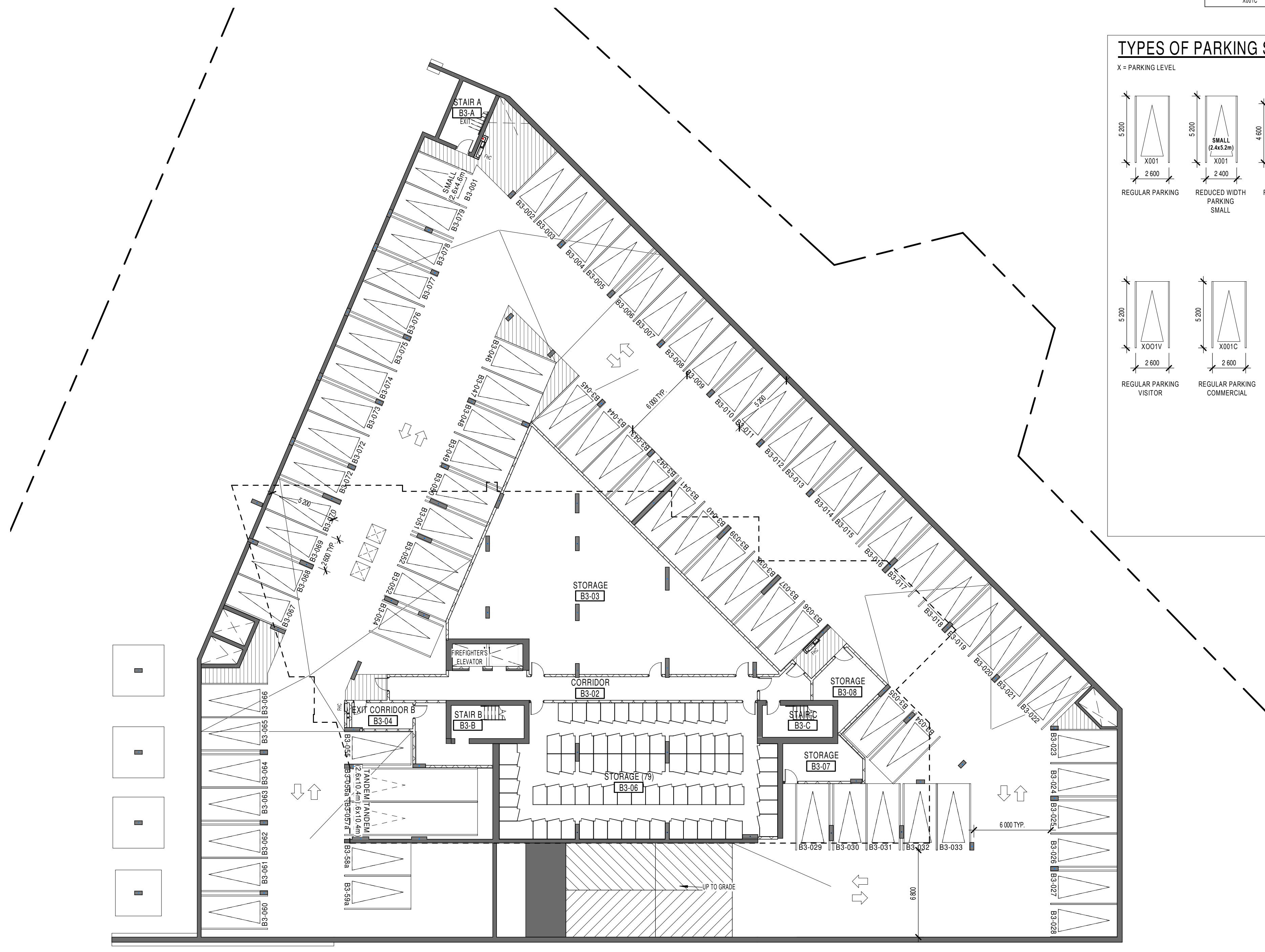
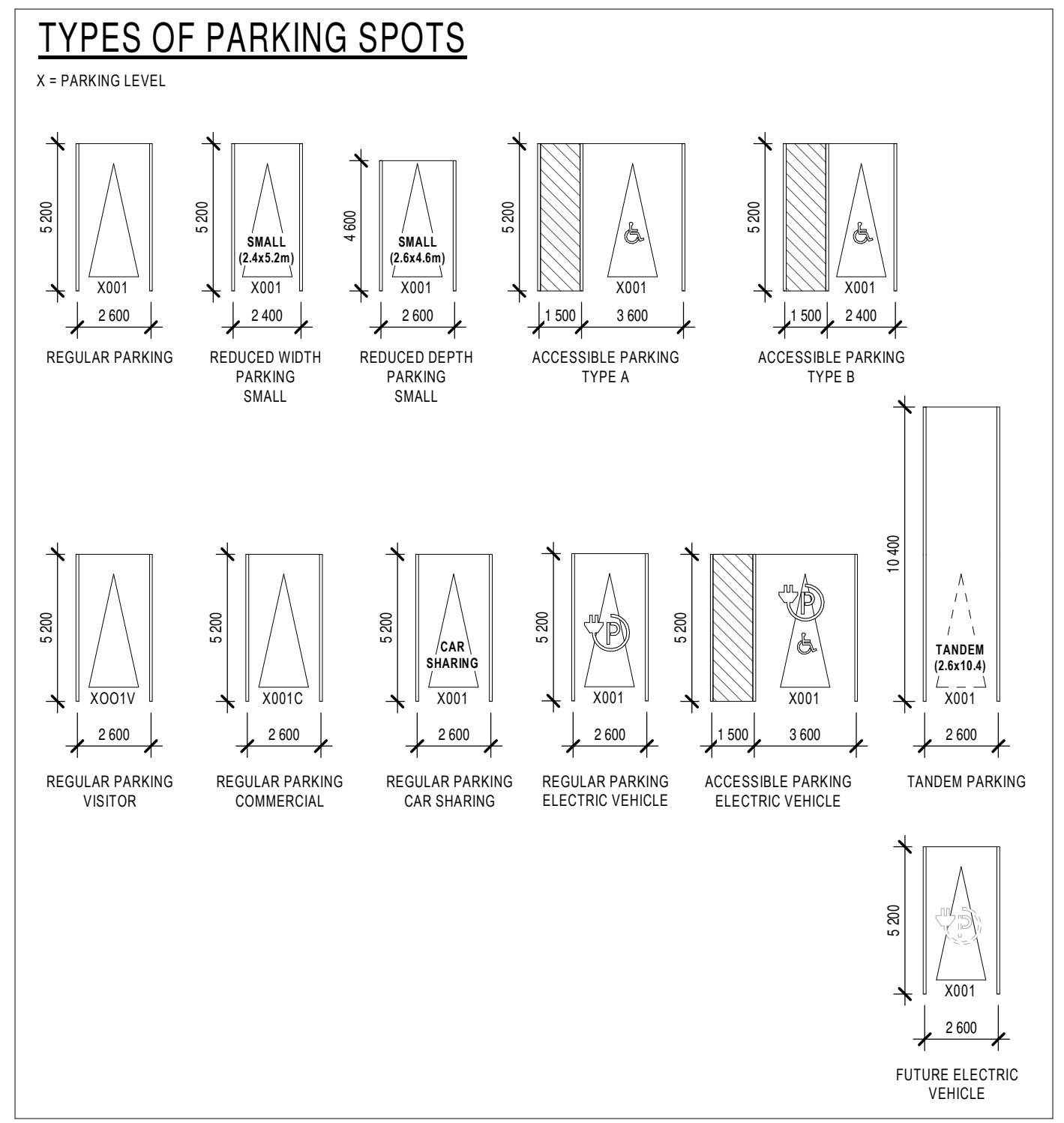


PARKING LEGEND

	PEDESTRIAN AREA
	2100mm MIN VERTICAL CLEARANCE AREA
	6m DRIVING AISLE
	VEHICLE ACCESS RAMP
	LOW POINT
	HIGH POINT
	FLOOR DRAIN
	DRAINING SLOPE
	SPRINKLERS
	COUNTERSLOPE
	TOWER 3 VISITOR PARKING
	TOWER 4 (FUTURE PHASE) VISITOR PARKING
	UNIVERSAL ACCESSIBILITY PARKING
	ELECTRICAL VEHICLE CHARGING STATION
	FUTURE ELECTRICAL VEHICLE PARKING
	SMALL CAR PARKING DESIGNATION STALL PAINTING WITH ADDITIONAL WALL MOUNTED SIGNAGE
SMALL (2.4x5.2m)	
TANDEM (2.6x10.4m)	TANDEM PARKING
X00V	VISITOR PARKING
X00C	COMMERCIAL PARKING

A200 - TABLE - PARKING SPACES

DESCRIPTION	QUANTITY
SMALL (2.4x5.2m)	76
SMALL (2.6x10.4m)	2
TANDEM (2.6x10.4m)	2
BASEMENT #3 (45.39) 79	
SMALL (2.4x5.2m)	119
SMALL (2.4x5.2m)	3
SMALL (2.6x10.4m)	2
TANDEM (2.6x10.4m)	2
BASEMENT - LEVEL 2: 126	
3400mmx5200mm plus aisle HANDICAP	5
3600mmx5200mm HANDICAP	3
SMALL (2.4x5.2m)	103
SMALL (2.4x5.2m)	3
SMALL (2.6x10.4m)	4
BASEMENT - LEVEL 1: 120	
GENERAL TOTAL: 325	



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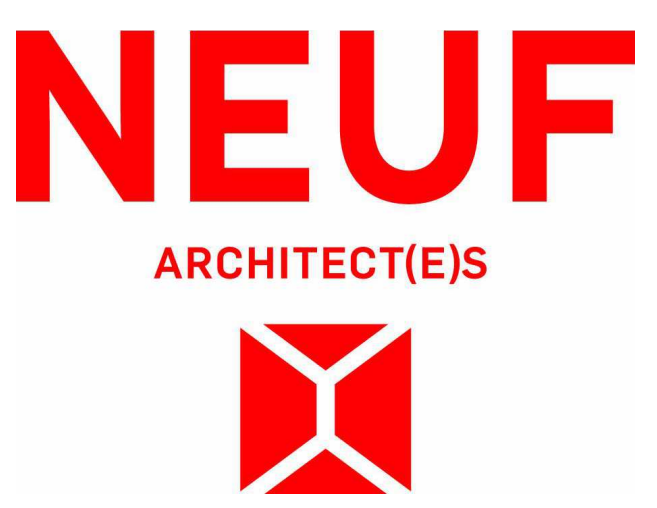
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OUVRAGE Project
PETRIE'S LANDING I - TOWER 4
 ORLEANS, ON NO. PROJET No. 12190.00

NO.	RÉVISION	DATE (aa-mm-ii)
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BASEMENT 3 - TOWER 4

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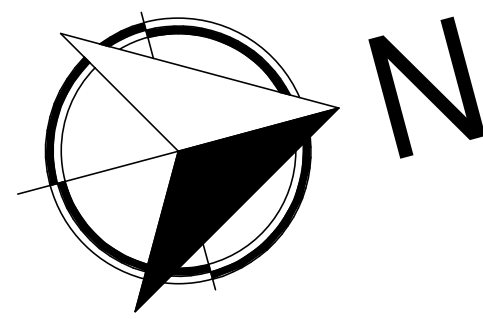
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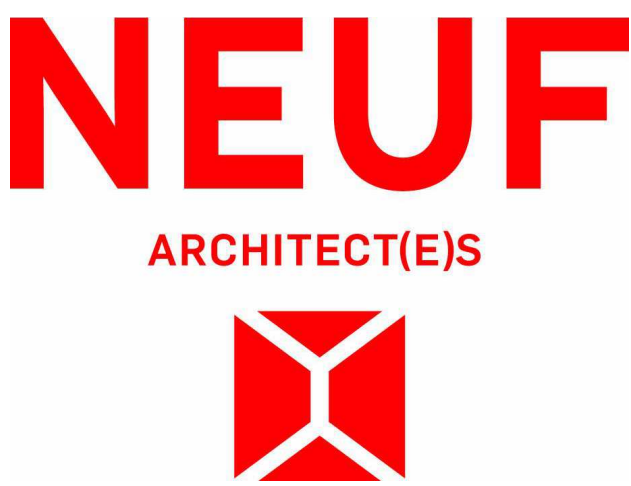
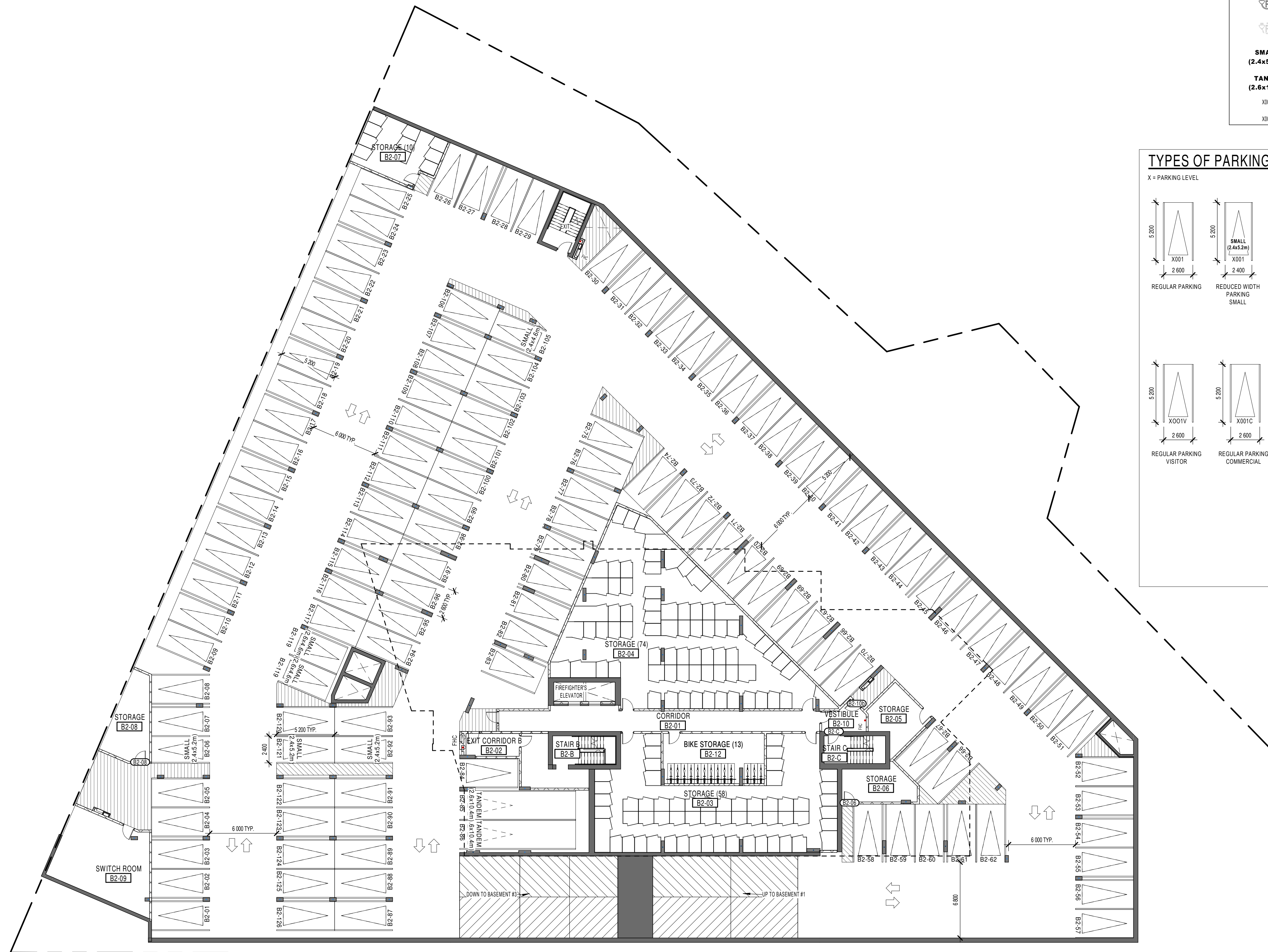
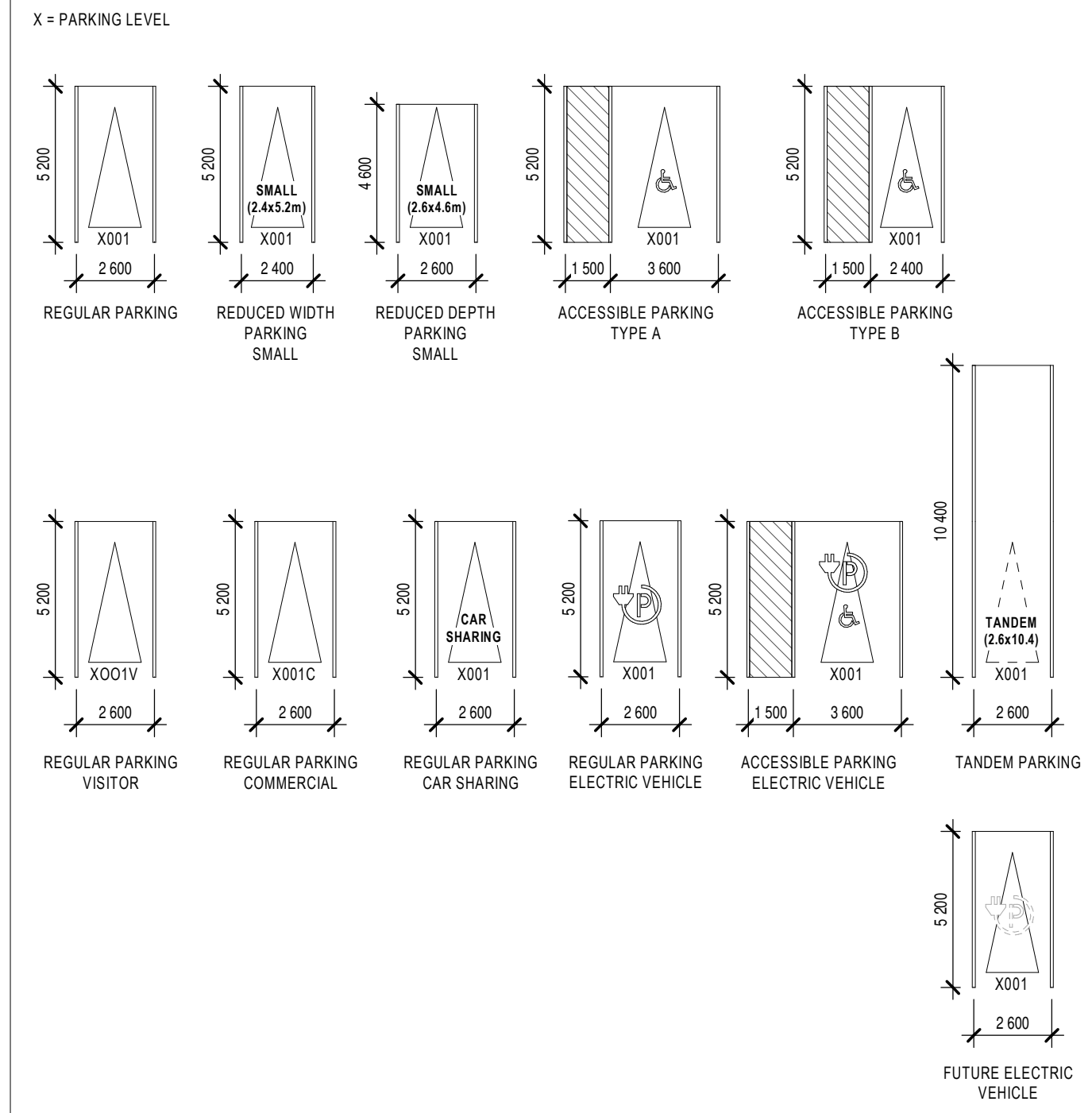
PARKING LEGEND

	PEDESTRIAN AREA
	2100mm MIN VERTICAL CLEARANCE AREA
	6m DRIVING AISLE
	VEHICLE ACCESS RAMP
L.P.	LOW POINT
H.P.	HIGH POINT
FD	FLOOR DRAIN
	DRAINING SLOPE
	SPRINKLERS
	COUNTERSLOPE
T3 VISITOR	TOWER 3 VISITOR PARKING
T4 VISITOR	TOWER 4 (FUTURE PHASE) VISITOR PARKING
	UNIVERSAL ACCESSIBILITY PARKING
	ELECTRICAL VEHICLE CHARGING STATION
	FUTURE ELECTRIC VEHICLE PARKING
	SMALL CAR PARKING DESIGNATION STALL PAINTING WITH ADDITIONAL WALL MOUNTED SIGNAGE
SMALL (2.4x5.2m)	TANDEM PARKING
TANDEM (2.6x10.4m)	TANDEM PARKING
X001V	VISITOR PARKING
X001C	COMMERCIAL PARKING

A200 - TABLE - PARKING SPACES

DESCRIPTION	QUANTITY
SMALL (2.4x5.2m)	76
SMALL (2.6x4.6m)	2
TANDEM (2.6x10.4m)	2
BASEMENT #3 (45.39) 79	0
SMALL (2.4x5.2m)	3
SMALL (2.4x5.2m)	2
SMALL (2.4x5.2m)	3
SMALL (2.4x5.2m)	2
TANDEM (2.6x10.4m)	2
BASEMENT - LEVEL 2: 126	0
3400mmx5200mm plus aisle HANDICAP	5
3600mmx5200mm HANDICAP	3
SMALL (2.4x5.2m)	103
SMALL (2.4x5.2m)	3
SMALL (2.6x4.6m)	4
TANDEM (2.6x10.4m)	4
BASEMENT - LEVEL 1: 120	0
GENERAL TOTAL: 325	

TYPES OF PARKING SPOTS



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OUVRAGE Project

PETRIE'S LANDING I - TOWER 4

ORLEANS, ON NO. PROJET No. 12190.00

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BASEMENT 2 - TOWER 4

RÉVISION Revision

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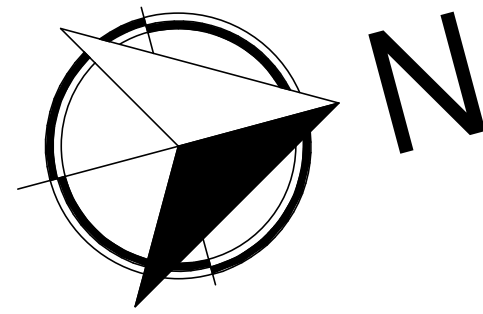
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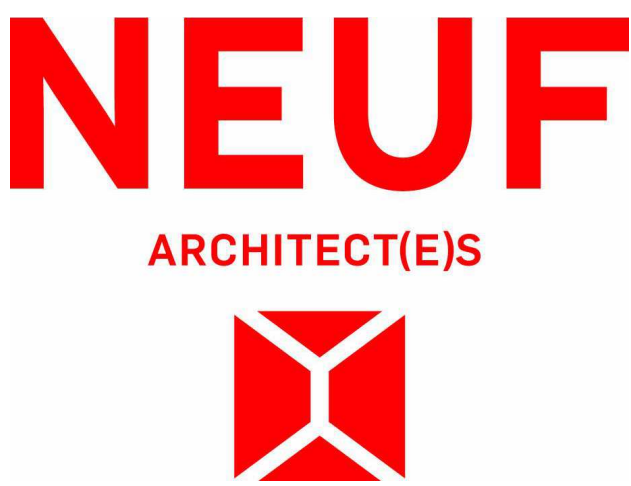
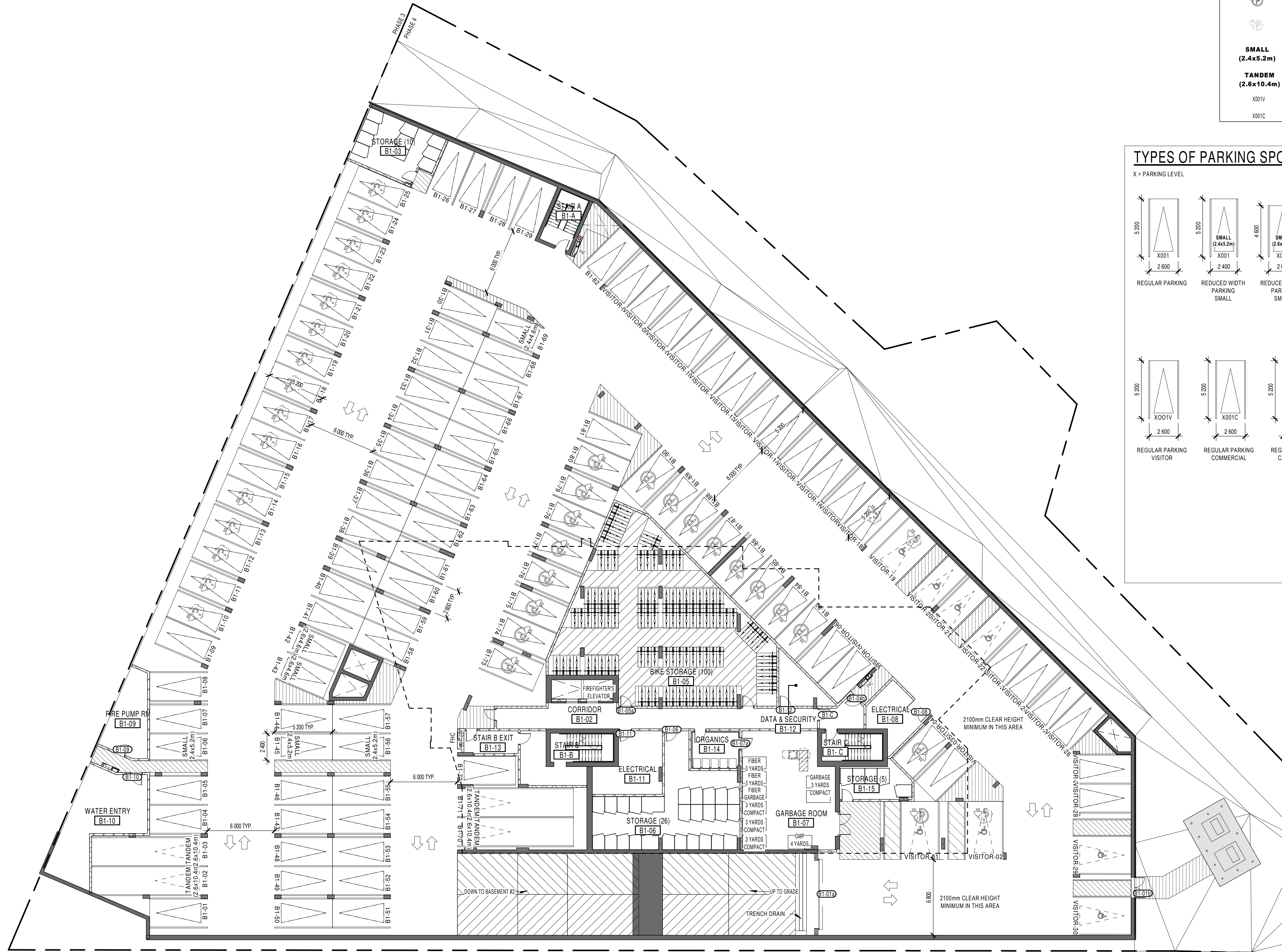
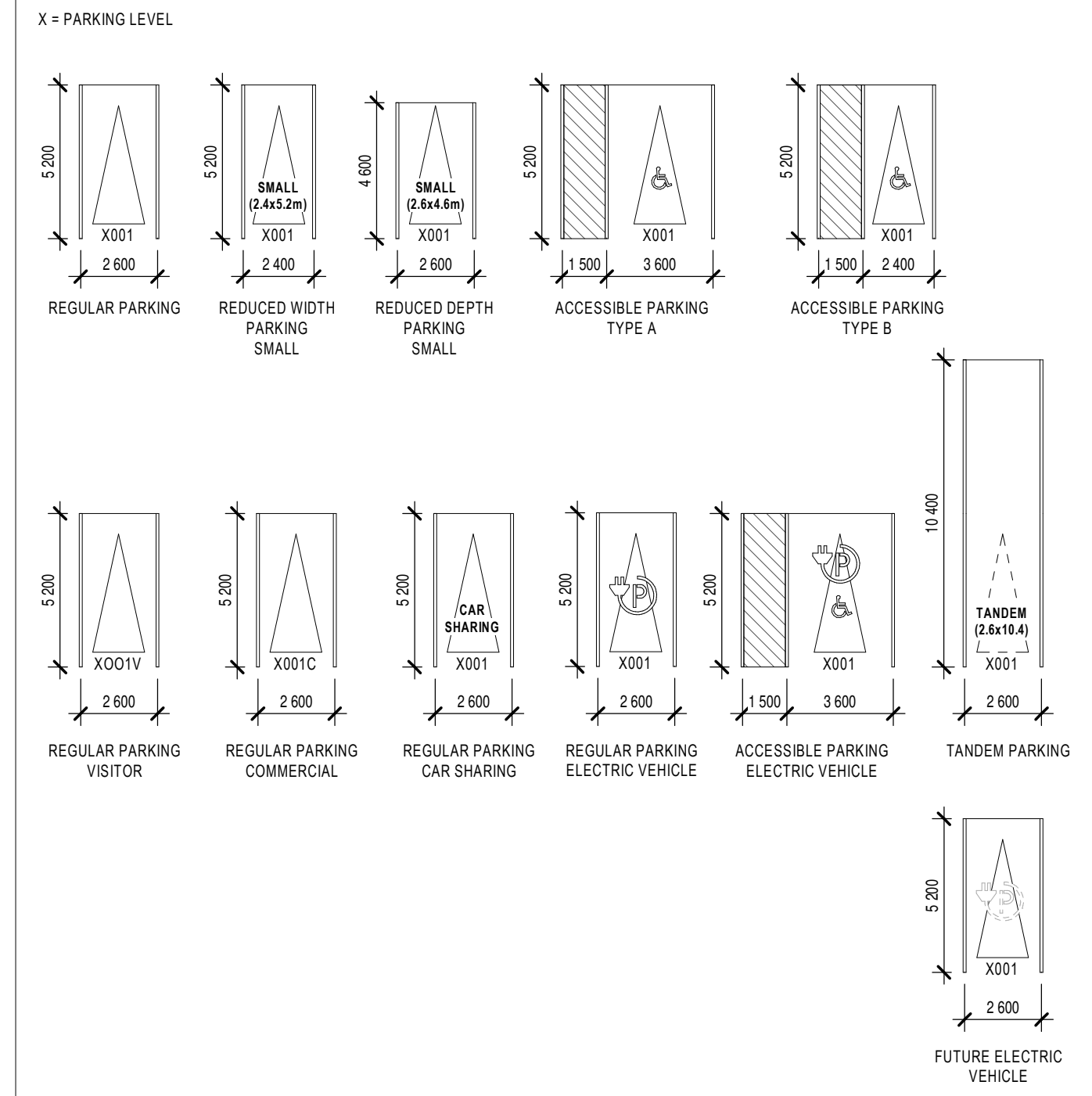
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A200 - TABLE - PARKING SPACES

DESCRIPTION	QUANTITY
SMALL (2.4x5.2m)	76
SMALL (2.6x4.6m)	119
TANDEM (2.6x10.4m)	2
BASEMENT #3 (45.39) 79	2
SMALL (2.4x5.2m)	3
SMALL (2.4x5.2m)	3
SMALL (2.4x5.2m)	2
TANDEM (2.6x10.4m)	2
BASEMENT - LEVEL 2: 126	5
3400mmx5200mm plus aisle HANDICAP	3
3690mmx5200mm HANDICAP	3
SMALL (2.4x5.2m)	103
SMALL (2.4x5.2m)	3
SMALL (2.4x5.2m)	3
TANDEM (2.6x10.4m)	4
BASEMENT - LEVEL 1: 120	4
GENERAL TOTAL: 325	

TYPES OF PARKING SPOTS



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OUVRAGE / Project

PETRIE'S LANDING I - TOWER 4

EMPLACEMENT / Location NO. PROJET / No.
ORLEANS, ON 12190.00

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DATE (aa.mm.ii)

06/04/21

ÉCHELLE / Scale

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TITRE DU DESSIN / Drawing Title

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BASEMENT 1 - TOWER 4

RÉVISION / Revision

4

NO. DESSIN / Dwg Number

A202.4

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INFORMATION SUR LE PROJET - PROJECT INFORMATION		127/2022	
11467 Petrie's Landing I		Tour 4 / Tower 4	
Dernière Révision/Last Revised: 9/4/2022		(Émis sous SPA - Rev 0) Issued to SPA - Rev 0	
Zoning / Zoning: City of Ottawa zoning By-law No. 2008-250			
Superficie du Lot / Property Area: 6,112.5 m ² / sq. m.		65,795 sq. ft. / sq. ft.	
STATISTIQUES SUR LE PROJET / PROJECT STATISTICS		Tour 4 / Tower 4	
Hauteur du Bâtiment / Building Height (m): 73,900 (22 Étages / stories)			
STATISTIQUES DES UNITÉS / UNIT STATISTICS		Tour 4 / Tower 4	
Unités de Cohabitation / Housing Units		0	
Studio / Studio		16	
1 Chambre + 1 Bedroom		21	
1 Chambre + Den / 1 Bedroom + Den		115	
2 Chambres + Den / 2 Bedrooms + Den		41	
2 Chambres + Den / 2 Bedrooms + Den		43	
2 Chambres + Den / 2 Bedrooms + Den		2	
TOTAL		242	
STATIONNEMENT RESIDENTIEL / RESIDENTIAL PARKING			
		EXIGÉ / REQUIRED	FOURNIS / PROVIDED
# / Unité / # / Unit			Ratio (par unité) / Ratio (per unit)
Tour 4 - Résidentiel / Tower 4 - Residential		1,200	1,200 / 242
Tour 4 - Visiteurs / Tower 4 - Visitors		68	0.28 / 68
Tour 4 - Accessible (inclués dans le compte des visiteurs) / Tour 4 - Accessible (included in visitors count)		9	9
TOTAL		1,277	1.46 / 301
STATIONNEMENT COMMERCIAL / COMMERCIAL PARKING			
		EXIGÉ / REQUIRED	FOURNIS / PROVIDED
Aire (m ²) / Area (m ²)		Ratio (par m ²) / Ratio (per m ²)	Ratio (par m ²) / Ratio (per m ²)
Tour 4 - Commercial		0.0%	0
Stationnement Accessible / Accessible parking		0	0
TOTAL		0	0
STATIONNEMENT POUR VÉLOS / BICYCLE PARKING			
		EXIGÉ / REQUIRED	FOURNIS / PROVIDED
Unités / Units		Ratio / Ratio	
Tour 4 - Résidentiel / Residential		121	121
Tour 4 - Commercial / Commercial		0	0
TOTAL		121	121

Appendix A
Petrie's Landing One Tower 4: R54 (2327/H109-4)A.S.L. Zoning Compliance Chart

Applicable sections from Bylaw 2008-250, 2008-341, 2014-292	Requirement	Proposed	Notes
*R50 required not apply on individual building as each building will ultimately be sited on its own lot.			
Table 184A for Apartment Dwelling Mid High Rise			
Minimum Lot Width (m)	25	Irregular	
Minimum Lot Area (sq. m)	1000	4124.091	Tower 4 site area only
Maximum Building Height (m)	128.45 A.S.L.	128.45 A.S.L.	
Minimum Front Yard Setback (m)	6	min. 7.5	
Minimum Corner Side Yard Setback (m)	4.5	min. 7.5	All setbacks are to be considered interior side yards with a minimum 7.5m setback
Minimum Interior Side Yard Setback (m)	7.5	min. 7.5	
Minimum Rear Yard Setback (m)	7.5	min. 7.5	
Section 184B			
Minimum landscape area (% of site)	30%	73%	Tower 4 site area only
Section 185 and 187 (Area C - Table 185)			
Minimum No. of parking spaces per unit	1.2	1.2	291 spaces
Minimum No. of visitor parking spaces per unit	0.2	0.2	48 spaces
Section 186			
Parking space width (m)	2.6 min 3.1 max	2.6	
Minimum parking space depth (m)	5.2	5.2	
Reduced parking space width (m)	6.7 parallel	6.7	
	4.6	4.6	
Section 187			
Driveway access: min width (m) one way	3	N/A	
Driveway access: min width (m) two way	6.7	7.5	
Driveway access: parking garage min width (m) two way	6	6	
Section 189			
Minimum landscape area of parking lot (%)	3%	45%	Tower 4 site area only
Minimum landscape buffer width of parking lot not abutting street (m)	1.5/3	1.5	
0.2/3 for 100 spaces; 3 meters if more than 100 spaces			
Minimum landscape buffer width of parking lot abutting street (m)	3	N/A	
Outside building and refuse collection area within parking lot			
min. distance abutting a public street (m)	3	N/A	
min. distance abutting any other lot line (m)	3	3	
Screened with 2 m high opaque screen (m)	3	3	Refuse Collection area in parking garage
Section 191			
Bicycle Parking Space Provisions (number per unit)	0.5	0.5	131 spaces
Section 197			
Total amenity area (m ² per unit)	107 + 242 units = 1462 m ²	+4370 m ²	Tower 4 site landscape area only. Interior amenity area additional to proposed.
Communal amenity area (% of total required total amenity area)	50	100.0	Tower 4 site landscape area only. Interior amenity area additional to proposed.
Layout of Communal Amenity Area (m ²)	54	+4370 m ²	Tower 4 site landscape area only. Interior amenity area additional to proposed.

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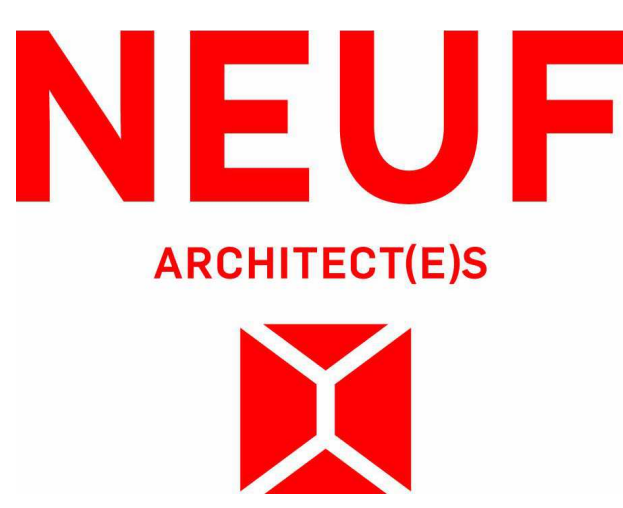
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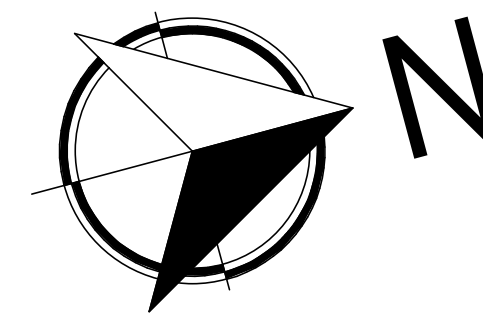
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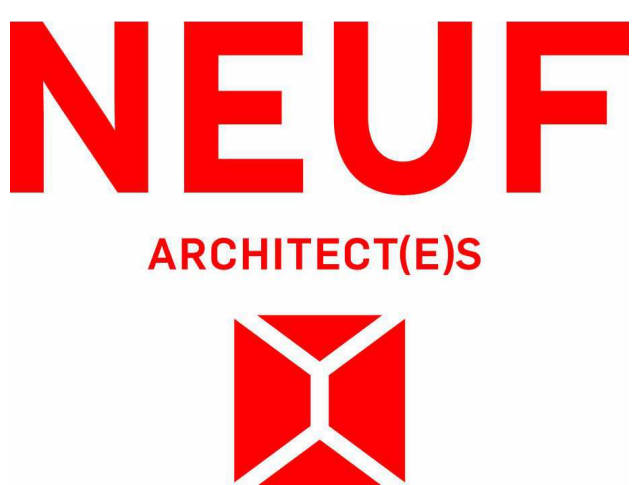
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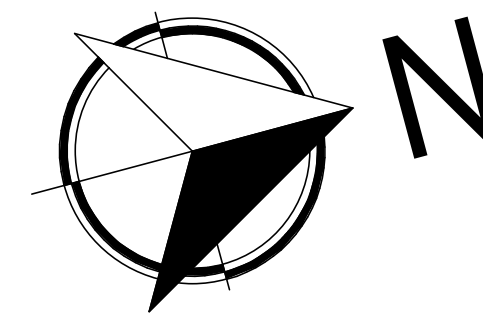
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TITRE DU DESSIN Drawing Title

GROUND FLOOR - TOWER 4

RÉVISION Revision NO. DESSIN Dwg Number

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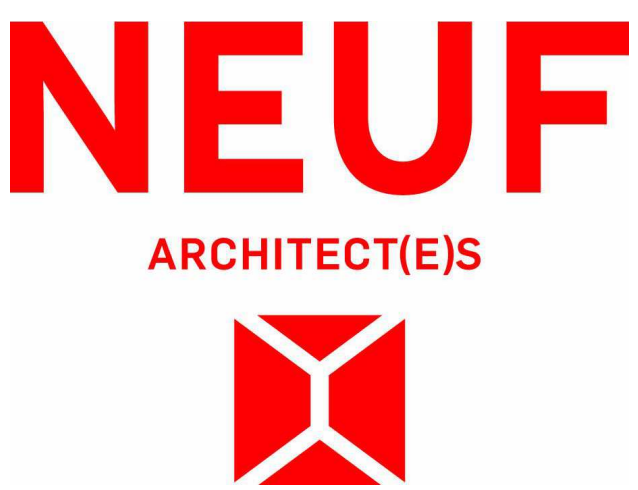
CIVIL Civil

exp Services Inc.
2650 Queensview Drive, Suite 100, Ottawa ON K0A 2T0
T: 613-728-0332 Email: bruce.thomas@exp.com
jason.fitzpatrick@exp.com

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SCEAU / Seal



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OUVRAGE Project

PETRIE'S LANDING I - TOWER 4

EMPLACEMENT Location NO. PROJET No.
ORLEANS, ON 12190.00

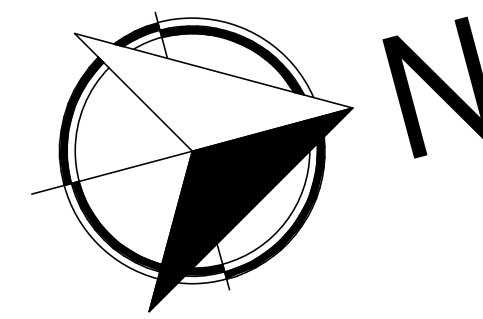
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1	For SPA Review Approval	2021-06-04
2	ISSUED FOR INTERNAL REVIEW - ARCHITECT	2021-08-03
3	For Approved SPA Revision	2021-12-10
4	For Approved SPA Revision	2022-01-28

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CONSTRUCTION

DESSINÉ PAR Drawn by MU VERIFIÉ PAR Checked by FP
DATE (aa.mm.ii) 09/01/21 ÉCHELLE Scale 1 : 100
TITRE DU DESSIN Drawing Title

TYPICAL FLOOR - TOWER 4

RÉVISION Revision NO. DESSIN Dwg Number
4 **A205.4**



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ARCHITECTURE DE PAYSAGE Landscape Architect

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5977 Hugh Crockett, Ottawa ON K1A 3W4
T: 613-826-0518 Email: lovstek@lovstek.com

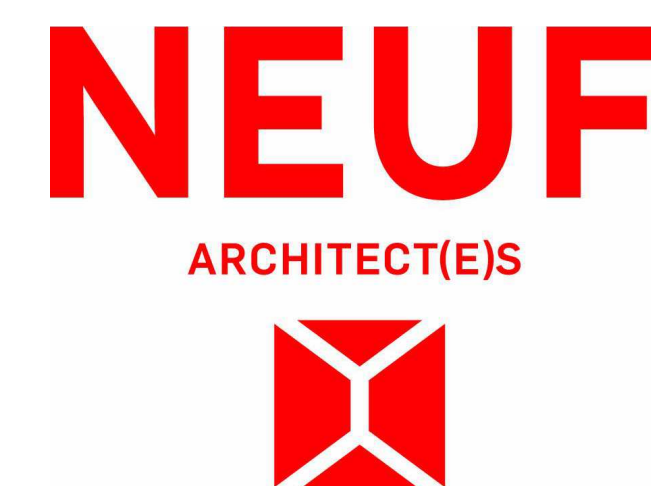
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OUVRAGE Project

PETRIE'S LANDING I - TOWER 4

EMPLACEMENT Location NO. PROJET No.
ORLEANS, ON 12190.00

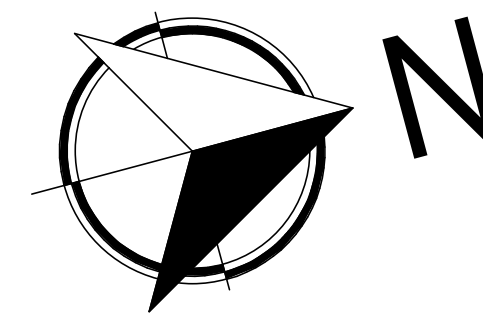
NO.	RÉVISION	DATE (aa-mm-ii)
1	For Approved SPA Revision	2022-01-28

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CONSTRUCTION

DESSINÉ PAR Drawn by MU/RR VERIFIÉ PAR Checked FP
DATE (aa.mm.ii) 01/27/22 ÉCHELLE Scale 1 : 100
TITRE DU DESSIN Drawing Title

TYPICAL PENTHOUSE PLAN - TOWER 4

RÉVISION Revision NO. DESSIN Dwg Number
1 **A206.4**



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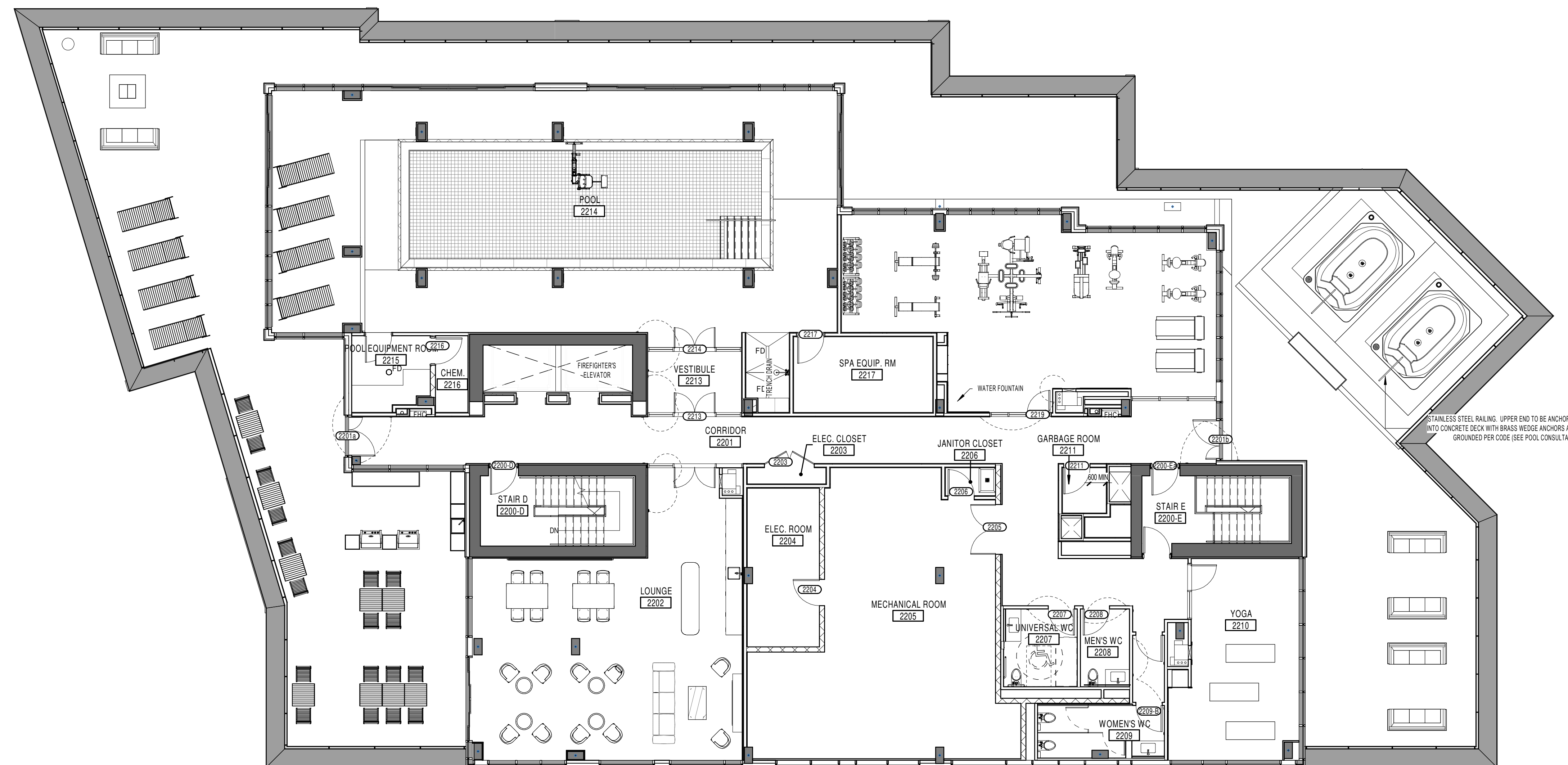
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jason.fitzpatrick@exp.com

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OUVRAGE Project

PETRIE'S LANDING I - TOWER 4

EMPLACEMENT Location NO. PROJET No.
ORLEANS, ON 12190.00

NO RÉVISION DATE (aa-mm-ii)

1	For SPA Review Approval	2021-06-04
2	ISSUED FOR INTERNAL REVIEW - ARCHITECT	2021-08-03
3	For Approved SPA Revision	2021-12-10
4	For Approved SPA Revision	2022-01-28

Preliminary
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CONSTRUCTION

DESSINÉ PAR Drawn by

MU

DATE (aa.mm.ii)

06/04/21

TITRE DU DESSIN Drawing Title

AMENITIES PLAN - TOWER 4

VERIFIÉ PAR Checked by

FP

ÉCHELLE Scale

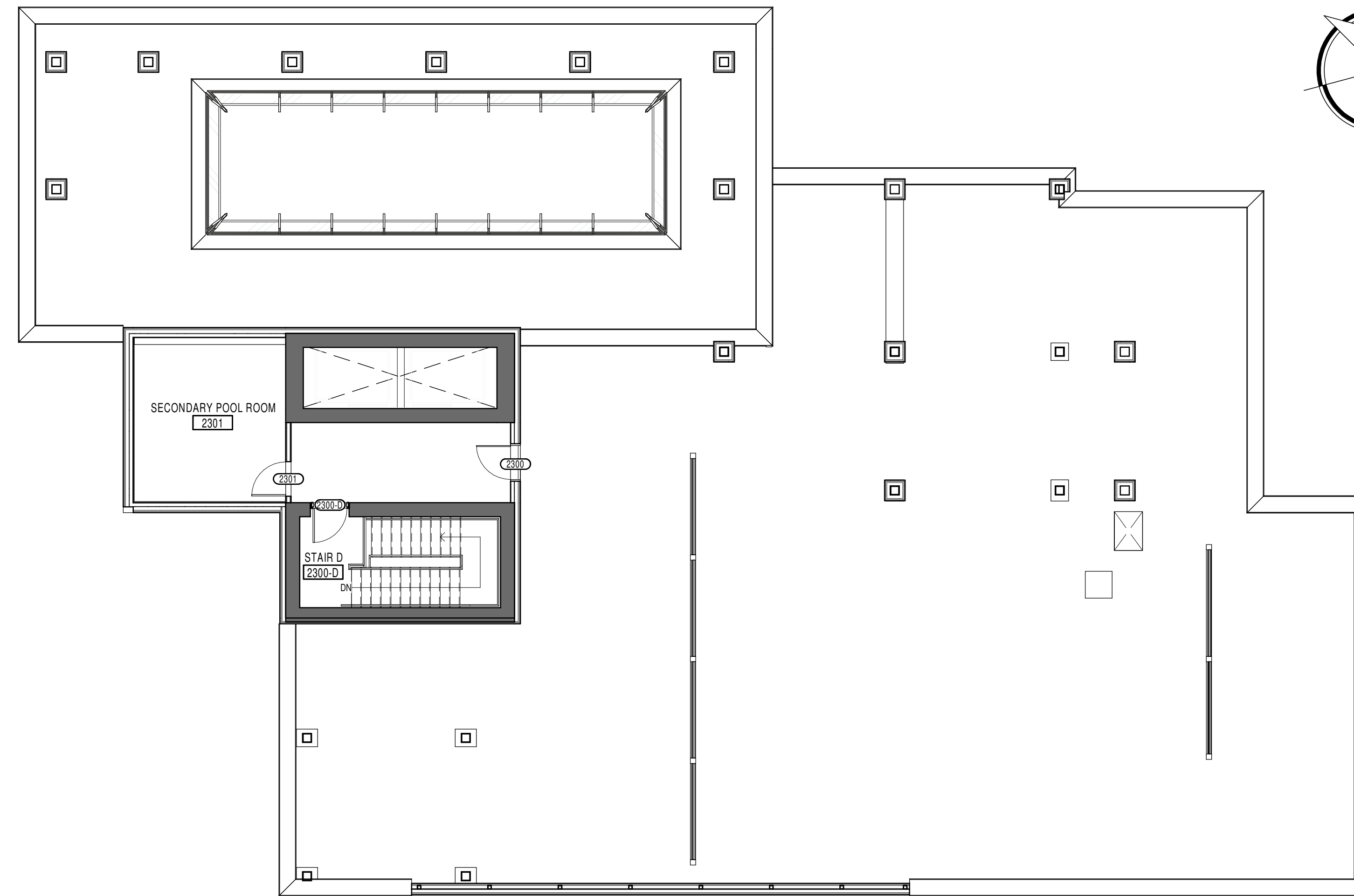
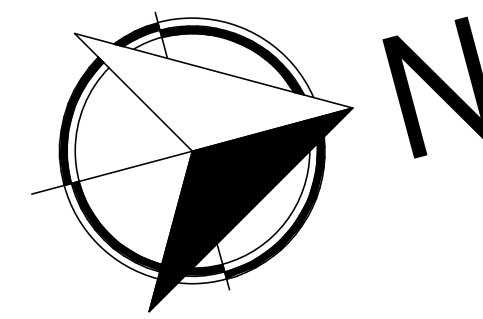
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RÉVISION Revision

4

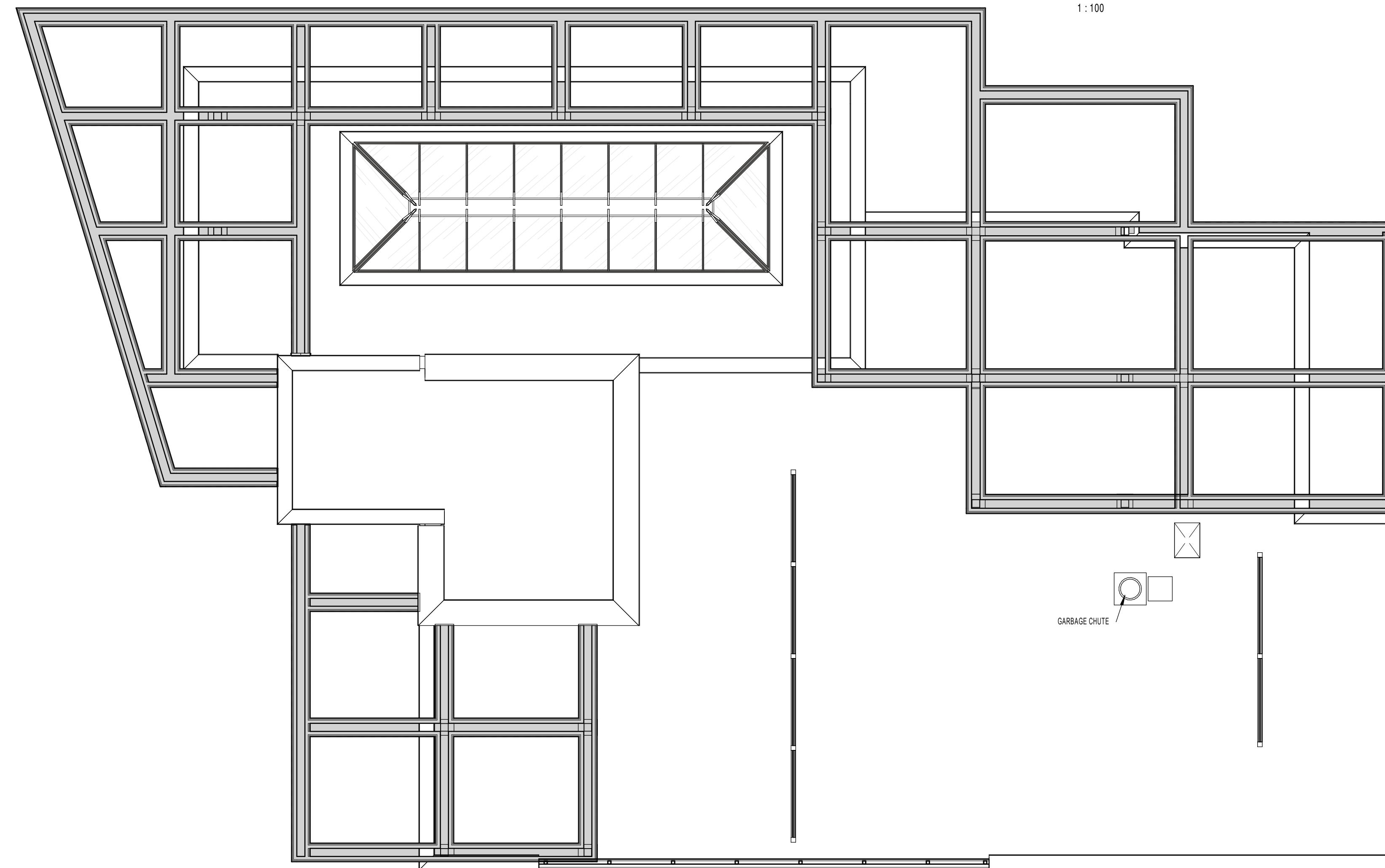
NO. DESSIN Dwg Number

A207.4



HIGH ROOF PARTIAL PLAN UNDER PERGOLA - SPA
1 : 100

2
A208.4



HIGH ROOF PLAN - SPA
1 : 100

1
A208.4

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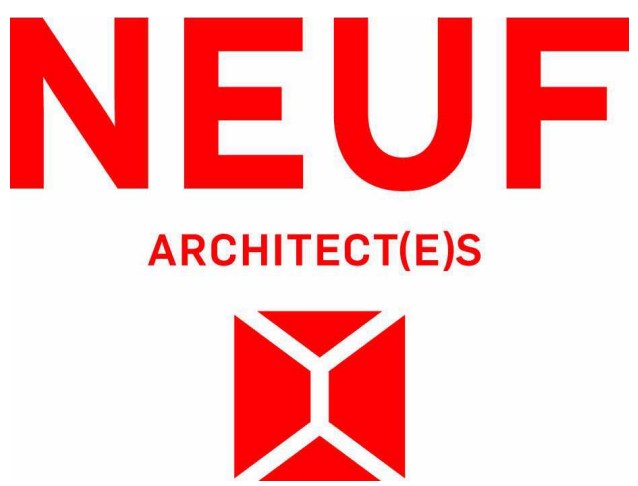
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OUVRAGE Project

PETRIE'S LANDING I - TOWER 4

EMPLACEMENT Location NO PROJET No.
ORLEANS, ON 12190.00

NO	RÉVISION	DATE (aa-mm-ij)
1	For Approved SPA Revision	2022-01-28

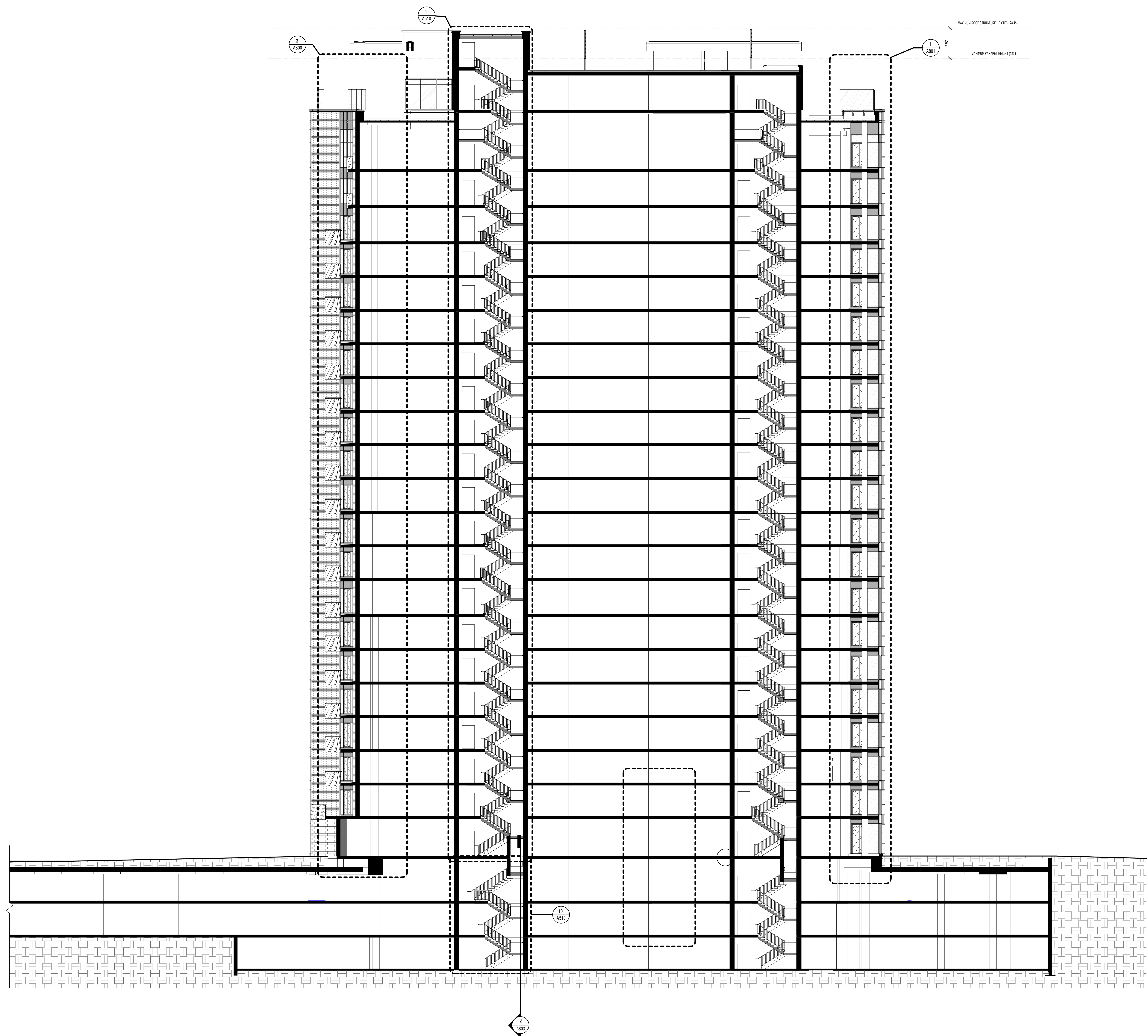
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MU/RR	FP
DATE (aa.mm.jj)	ÉCHELLE Scale
01/27/22	1 : 100

TITRE DU DESSIN Drawing Title
HIGH ROOF PLAN - SPA

RÉVISION Revision NO. DESSIN Dwg Number

1 **A208.4**

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LONGITUDINAL SECTION - SPA

1/125

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 1888 Woodward Drive, Ottawa ON K2C 3R8
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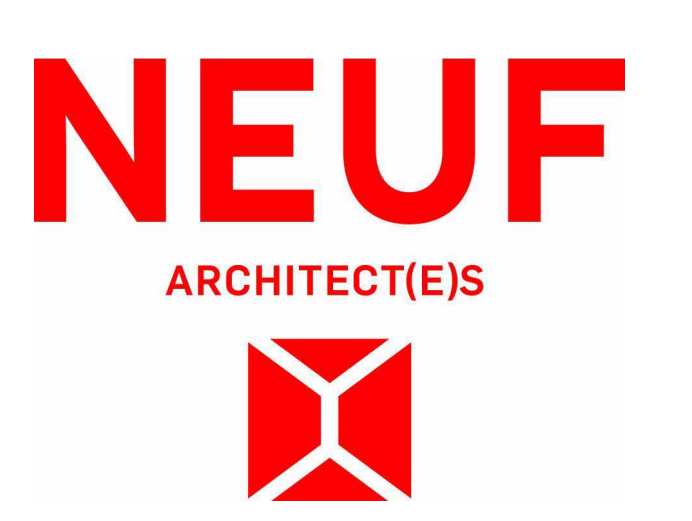
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SCEAU / Seal



OUVRAGE / Project
PETRIE'S LANDING I - TOWER 4

EMPLACEMENT / Location
 ORLEANS, ON

NO PROJET / No.
 12190.00

NO / RÉVISION	DATE (aa-mm-jj)
1 / For Approved SPA Revision	2022-01-28

Preliminary
NOT FOR
CONSTRUCTION

DESSINÉ PAR / Drawn by
 MU/RR

VERIFIÉ PAR / Checked by
 MU

DATE (aa-mm-jj)
 01/28/22

ÉCHELLE / Scale
 1 : 125

TITRE DU DESSIN / Drawing Title
LONGITUDINAL BUILDING SECTION

REVISION / Revision
 1

NO. DESSIN / Drawing Number
 A300.4

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 188 Woodward Drive, Ottawa ON K2C 3P8
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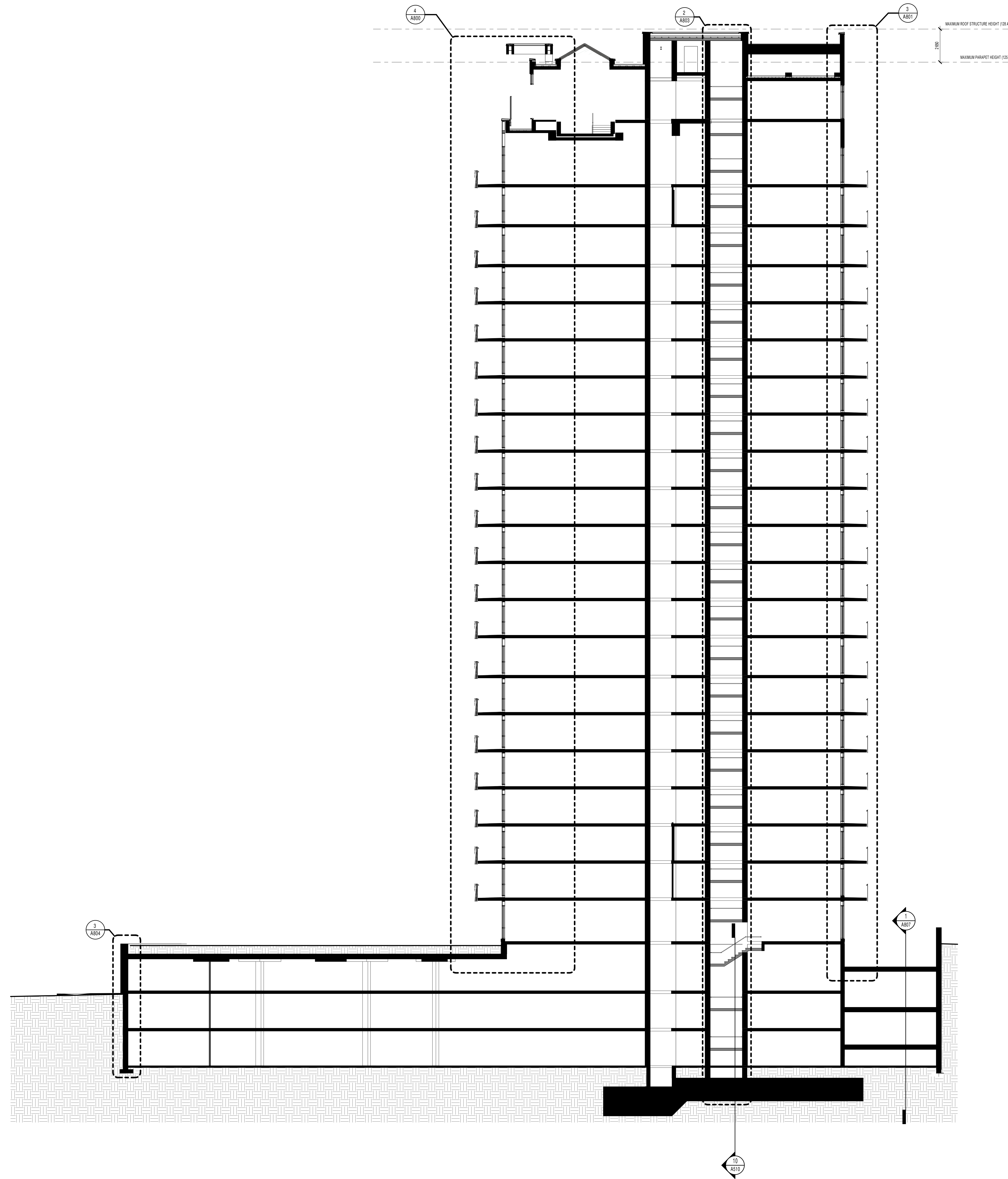
ARCHITECTURE DE PAYSAGE / Landscape Architect
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 8871 Hugh Cleburn, Ottawa ON K6A 2W6
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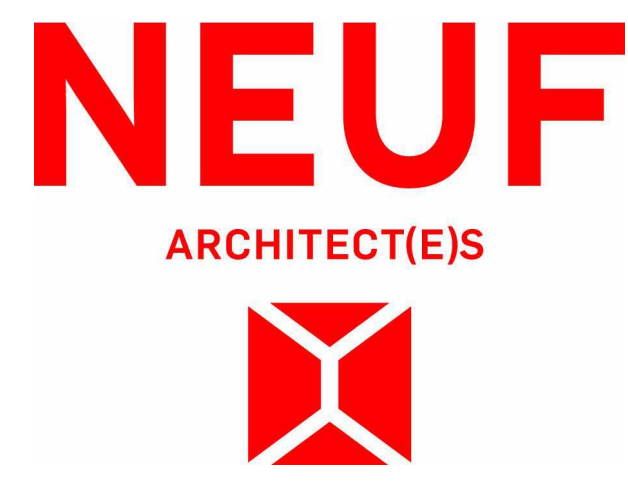
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TRANSVERSE SECTION - SPA
 1:125



OUVRAGE / Project
PETRIE'S LANDING I - TOWER 4

EMPLACEMENT / Location
ORLEANS, ON NO PROJET / No. **12190.00**

NO	REVISION	DATE (aa-mm-jj)
1	For Approved SPA Revision	2022-01-28

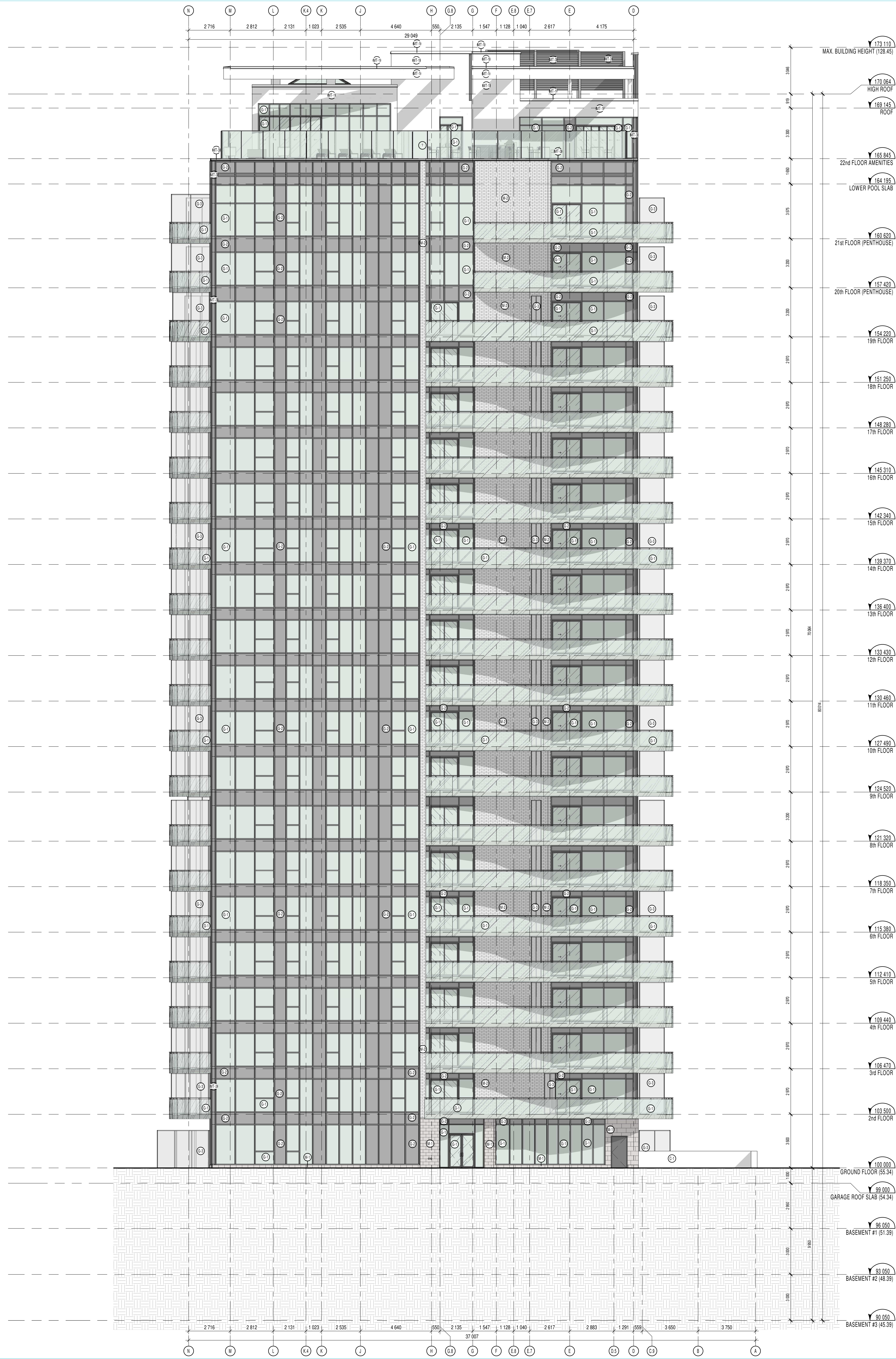
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 DATE (aa-mm-jj) **01/28/22** ÉCHELLE / Scale **1 : 125**

TITRE DU DESSIN / Drawing Title
TRANSVERSE BUILDING SECTION

REVISION / Revision **1** NO. DESSIN / Drawing Number **A301.4**

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SOIL LEGEND

SOIL
FINISHED GRADE

MATERIALS LEGEND

C-1 EXPOSED CONCRETE
G-1 GLASS - TYPE 1 (CLEAR)
G-2 SPANDREL GLASS - TYPE 2 (CHARCOAL CERAMIC FRIT CS-00004)
G-3 PRIVACY SCREENS - FINHEAD TEXTURED
M-1 MASONRY VENEER - TYPE 1 (STONE SHOULDER, COLOUR: PEARL WHITE, TAPESTRY (NO BEVEL) 390x194mm SEE STONE COURSING)
M-2 MASONRY VENEER - TYPE 3 (BRICK SHOULDER - M) BRICK SMOOTH, COLOUR: PEARL WHITE, JOINTS: METRIC (20x60x90mm)
MT-1 ALUMINUM - TYPE 1 (WHITE - STANDARD SERIES - DURANAR XL RAL 9916)
MT-2 ALUMINUM - TYPE 2 (CAMBRIDGE WHITE - VICWEST - AD-300SR)
MT-3 ALUMINUM - TYPE 3 (CHARCOAL - 180)

ABBREVIATION/SYMBOL LEGEND

C.V. CONTROL JUNT (SEALANT) COLOUR TO MATCH ADJACENT VENEER;
L.L. PRIMED & PAINTED LOOSE UNIT; COLOUR TO MATCH ADJACENT VENEER;
S.S. PRIMED & PAINTED SHELF ANGLE; COLOUR TO MATCH ADJACENT VENEER;
S.S.A. PRIMED & PAINTED SUSPENDED SHELF ANGLE; COLOUR TO MATCH ADJACENT VENEER;
S.S. SUPPORT STRUCTURE (OPENING OVER 800mm); STRUCTURAL STEEL, I/S&O AND SHELF ANGLE ABOVE WINDOW UNIT; SEE STRUCTURAL ENGINEER FOR TYPES, SPACING, DIMENSIONS, AND/ORANGE LOCATIONS, ETC.
SINGLE EXHAUST VENT*
DOUBLE EXHAUST VENT*
TRIPLE EXHAUST VENT*
QUADRUPLE EXHAUST VENT*
* ALL EXHAUST VENT LOCATION TO BE VERIFIED AND COORDINATED WITH MECHANICAL ENGINEER

REFER TO A-802 FOR BRICK COURSING DETAILS. FOR OTHER BRICK SIZES AND TYPES, COURSING MUST BE ADAPTED TO THE STONE COURSING AND ROUGH OPENINGS AS INDICATED IN THESE DRAWINGS.

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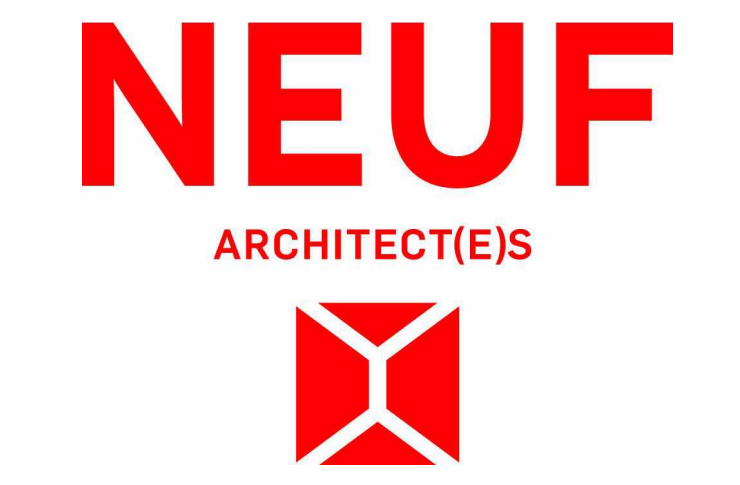
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SCEAU / Seal



OUVRAGE - Project

PETRIE'S LANDING I - TOWER 4

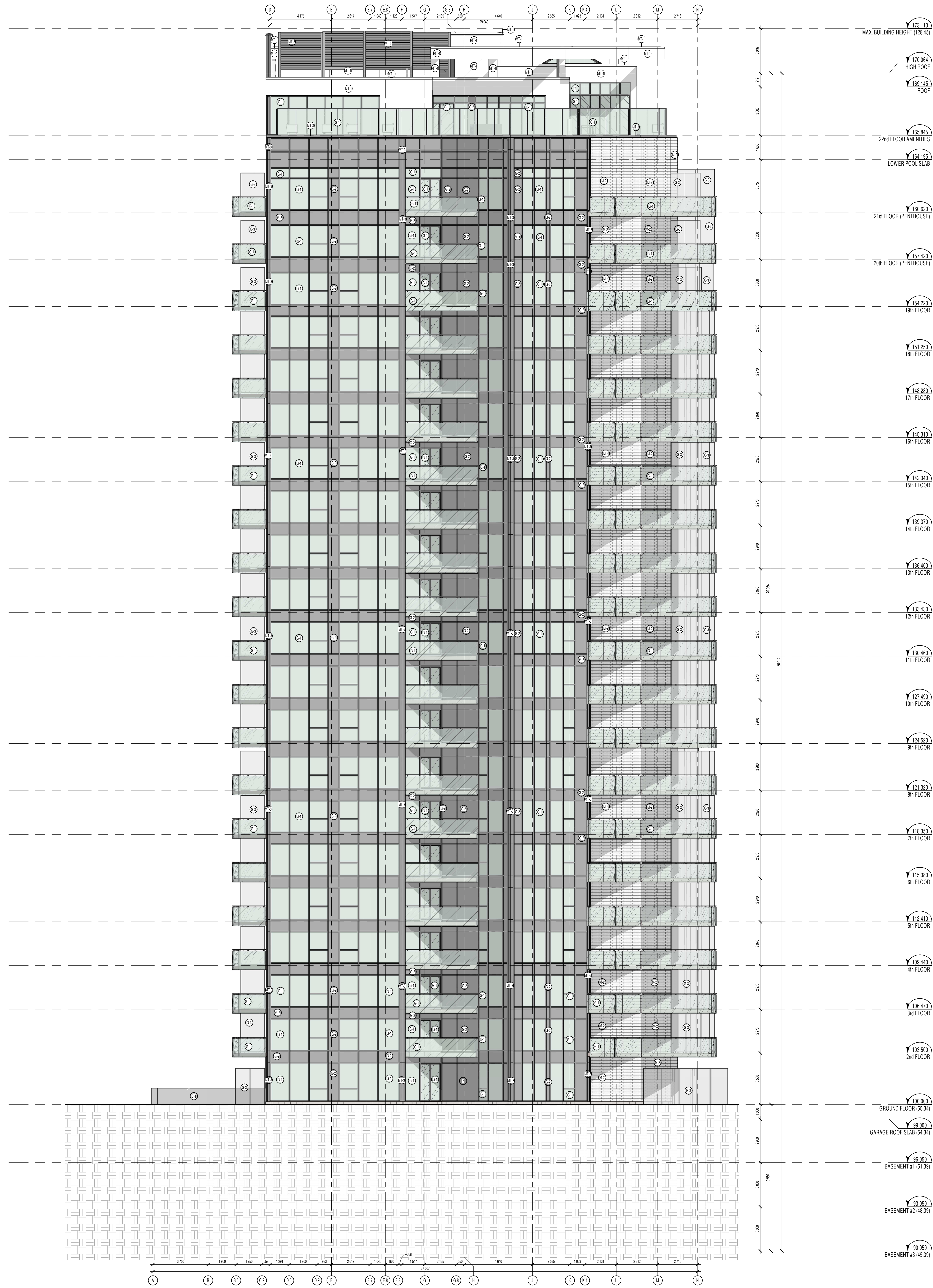
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NO	RÉVISION	DATE (aa-mm-jj)
1	Fix Coordination	2019-10-15
2	Fix Coordination	2019-11-06
3	30% ISSUE	2020-03-31
4	40% ISSUE	2020-04-30
5	Fix SPA Review Approval	2021-05-04
6	ISSUED FOR PERMITAL REVIEW - ARCHITECT	2021-06-03
7	ISSUED FOR PERMITAL REVIEW - CIVIL	2021-09-10
8	Issue for SPA Review	2021-12-10
9	ISSUED FOR BRIGIL REVIEW	2021-11-01
10	Fix Approval SPA Review	2021-12-10
11	ISSUED FOR PERMIT	2021-12-01
12	ISSUED FOR PERMIT	2021-12-15
13	Fix Approval SPA Review	2022-01-08

DESSINÉ PAR Drawn by **MU/RR** VÉRIFIÉ PAR Checked by **MU**

DATE (aa-mm-jj) **10/15/2019** ÉCHELLE Scale **As**

TITRE DU DESSIN Drawing Title **SOUTH ELEVATION** indicated



SOIL LEGEND

SOIL
FINISHED GRADE

MATERIALS LEGEND

(C1) EXPOSED CONCRETE
(G1) GLASS - TYPE 1 (CLEAR)
(G2) SPANDREL GLASS - TYPE 2 (CHARCOAL, CERAMIC FRIT GS-0004)
(S1) PRIVACY SCREENS - FINISHED TEXTURED
(M1) MASONRY VENER - TYPE 1 (STONE, SHOUKICE, COLOUR PEARL, WHITE - TAPERED, NO BEVEL) (SHOUKICE SEE STONE COURSING)
(M2) MASONRY VENER - TYPE 2 (BRICK, SHOUKICE, ALL BRICK SMOOTH, COLOUR PEARL, WHITE, CERAMIC METRIC 250x60x60mm)
(MT-1) ALUMINUM - TYPE 1 (WHITE, STANDARD SERIES - DUNBAR XL RAL 9016)
(MT-2) ALUMINUM - TYPE 2 (CAMBRIDGE WHITE - VIGWEST - AD-3005R)
(MT-3) ALUMINUM - TYPE 3 (CHARCOAL - T80)

ABBREVIATIONS SYMBOL LEGEND

C.J. CONTROL JOINT (SEALANT COLOUR TO MATCH ADJACENT VENER)
S.S. FRAMED & FINISHED LOOSE LINTEL, COLOUR TO MATCH ADJACENT VENER
S.S. FRAMED & FINISHED SUPERSILL, ANGLE COLOUR TO MATCH ADJACENT VENER
S.S. FRAMED & FINISHED SUPERSILL, PRE-ANGLE, COLOUR TO MATCH ADJACENT VENER
S.S. SUPPORT STRUCTURE OPENINGS OVER 3000mm - STRUCTURAL STEEL, IBS2 AND SHELF ANGLE ABOVE WINDOW UNIT - SEE STRUCTURAL ENGINEER FOR TYPES, SPACING, DIMENSIONS, ANCHORAGE, LOCATIONS, ETC.

□ SINGLE EXHAUST VENT*
□ DOUBLE EXHAUST VENT*
□ TRIPLE EXHAUST VENT*
□ QUADRUPLE EXHAUST VENT*

* ALL EXHAUST VENT LOCATION TO BE VERIFIED AND COORDINATED WITH MECHANICAL ENGINEER

REFER TO A-802 FOR BRICK COURSING DETAILS. FOR OTHER BRICK SIZES AND TYPES, COURSING MUST BE ADAPTED TO THE STONE COURSING AND ROUGH OPENINGS AS INDICATED IN THESE DRAWINGS.

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SCEAU / Seal

ELEVATION - NORTH
1/401

NEUF ARCHITECTE(S)

BRIGIL
1010-1010
1010-1010

OUVRAGE - Project
PETRIE'S LANDING I - TOWER 4

EMPLACEMENT - Location
ORLEANS, ON NO PROJET No. **12190.00**

NO RÉVISION **DATE (aa-mm-jj)**

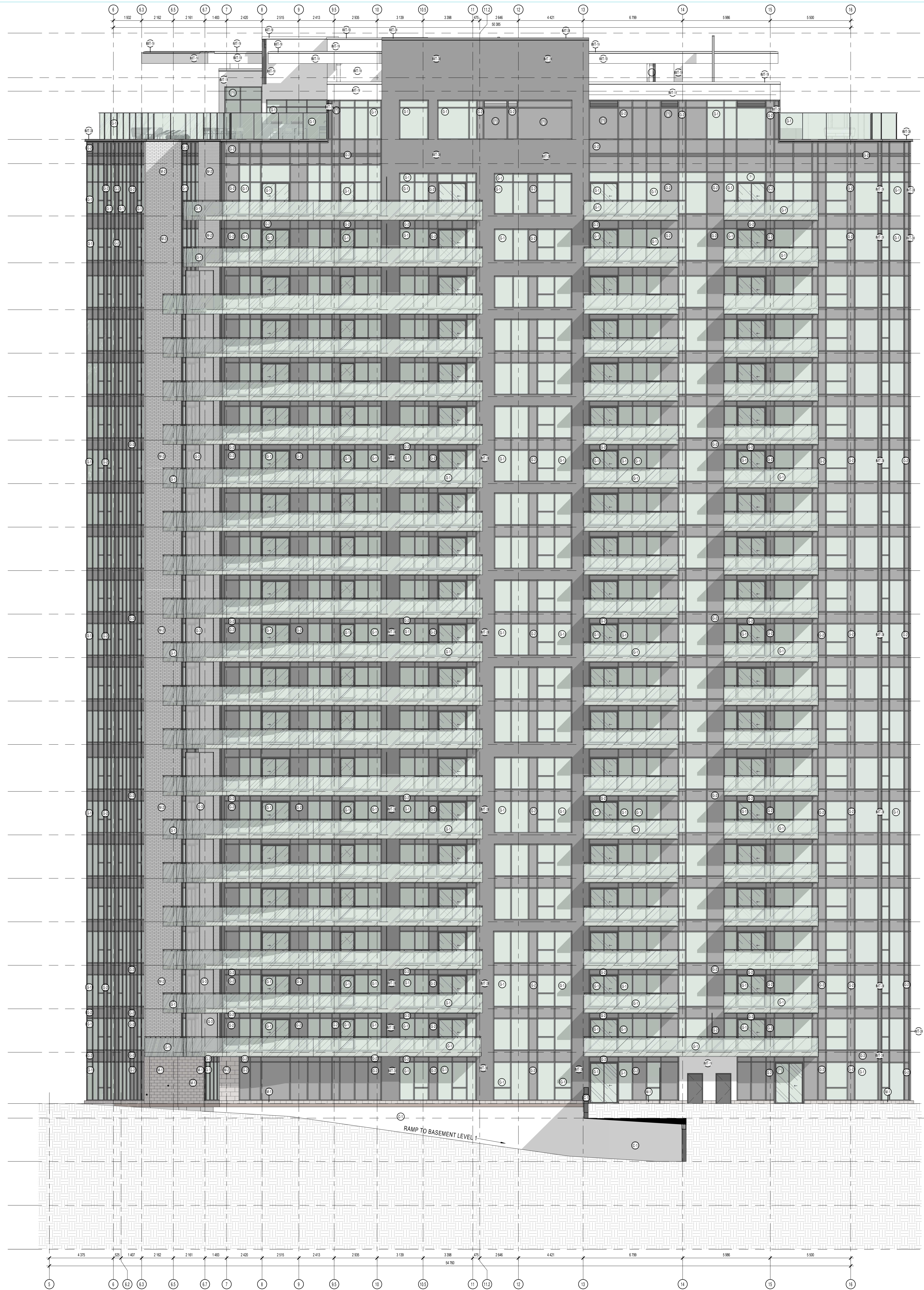
1	Fix Coordination	2019-10-15
2	Fix Coordination	2019-11-06
3	30% ISSUE	2020-03-31
4	10% ISSUE	2020-04-30
5	Fix SPA Review Approval	2021-06-04
6	ISSUED FOR PERMITAL REVIEW - ARCHITECT	2021-06-03
7	ISSUED FOR PERMITAL REVIEW - ARCHITECT	2021-09-10
8	ISSUED FOR SPA REVIEW	2021-12-10
9	ISSUED FOR BRIGIL REVIEW ONLY	2021-11-01
10	Fix Approval SPA Review	2021-12-10
11	10% DRAFT ISSUE	2021-10-01
12	ISSUED FOR PERMIT	2021-12-15
13	Fix Approval SPA Review	2022-01-08

DESSINÉ PAR - Drawn by **VERIFIÉ PAR - Checked by**
MU/RR **MU**

DATE (aa-mm-jj) **ÉCHELLE - Scale**
10/15/2019 **As**

TITRE DU DESSIN - Drawing Title **indicated**
NORTH ELEVATION

REVISION - Revision **NO. DESSIN - Draw Number**
13 **A401**



MAX. BUILDING HEIGHT (128.45)

173.112 HIGH ROOF

170.064 ROOF

169.145 ROOF

165.845 22nd FLOOR AMENITIES

164.195 LOWER POOL SLAB

163.925 21st FLOOR (PENTHOUSE)

157.425 20th FLOOR (PENTHOUSE)

154.220 19th FLOOR

151.255 18th FLOOR

148.280 17th FLOOR

145.310 16th FLOOR

142.340 15th FLOOR

139.370 14th FLOOR

136.400 13th FLOOR

133.430 12th FLOOR

130.460 11th FLOOR

127.490 10th FLOOR

124.520 9th FLOOR

121.550 8th FLOOR

118.580 7th FLOOR

115.610 6th FLOOR

112.640 5th FLOOR

109.670 4th FLOOR

106.700 3rd FLOOR

103.730 2nd FLOOR

100.760 GROUND FLOOR (54.34)

98.000 GARAGE ROOF SLAB (54.34)

96.050 BASEMENT #1 (51.39)

93.050 BASEMENT #2 (48.39)

90.050 BASEMENT #3 (45.39)

SOIL LEGEND

SOIL

FINISHED GRADE

MATERIALS LEGEND

(C-1) EXPOSED CONCRETE

(G-1) GLASS - TYPE 1 (CLEAR)

(G-2) SPANDREL GLASS - TYPE 2 (CHARCOAL CERAMIC FRIT CS-0004)

(G-3) PRIVACY SCREENS - FINLEAD TEXTURED

(M-1) MASONRY VENEER - TYPE 1 (STONE SHOULDER, COLOUR PEARL WHITE, SAFETY FILLED BELL SHAFTS/SEE STONE COURSING)

(M-2) MASONRY VENEER - TYPE 2 (BRICK SHOULDER, BRICK SMOOTH, COLOUR PEARL WHITE, JAMBO METRIC 200x60x90mm)

(M-3) ALUMINUM - TYPE 1 (WHITE STANDARD SERIES - DURANAR XL RAL 9016)

(M-4) ALUMINUM - TYPE 2 (CAMBRIDGE WHITE - VIGEST - AD-3005R)

(M-5) ALUMINUM - TYPE 3 (CHARCOAL - 782)

ABBREVIATION/SYMBOL LEGEND

C.J. CONTROL JOINT (SEALANT COLOUR TO MATCH ADJACENT VENEER)

S.L. PRIMED & PAINTED SHELF UNITS (COLOUR TO MATCH ADJACENT VENEER)

S.S. PRIMED & PAINTED SHELF ANGLE COLOUR TO MATCH ADJACENT VENEER

S.S. SUPPORT STRUCTURE (OPENINGS OVER 300mm) - STRUCTURAL STEEL (IHS AND SHELF ANGLE ABOVE WINDOW UNIT; SEE STRUCTURAL ENGINEER FOR TYPES, SPACING, DIMENSIONS, ANCHORAGE, LOCATIONS, ETC.)

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□ TRIPLE EXHAUST VENT*

□ QUADRUPE EXHAUST VENT*

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OUVRAGE / Project
PETRIE'S LANDING I - TOWER 4

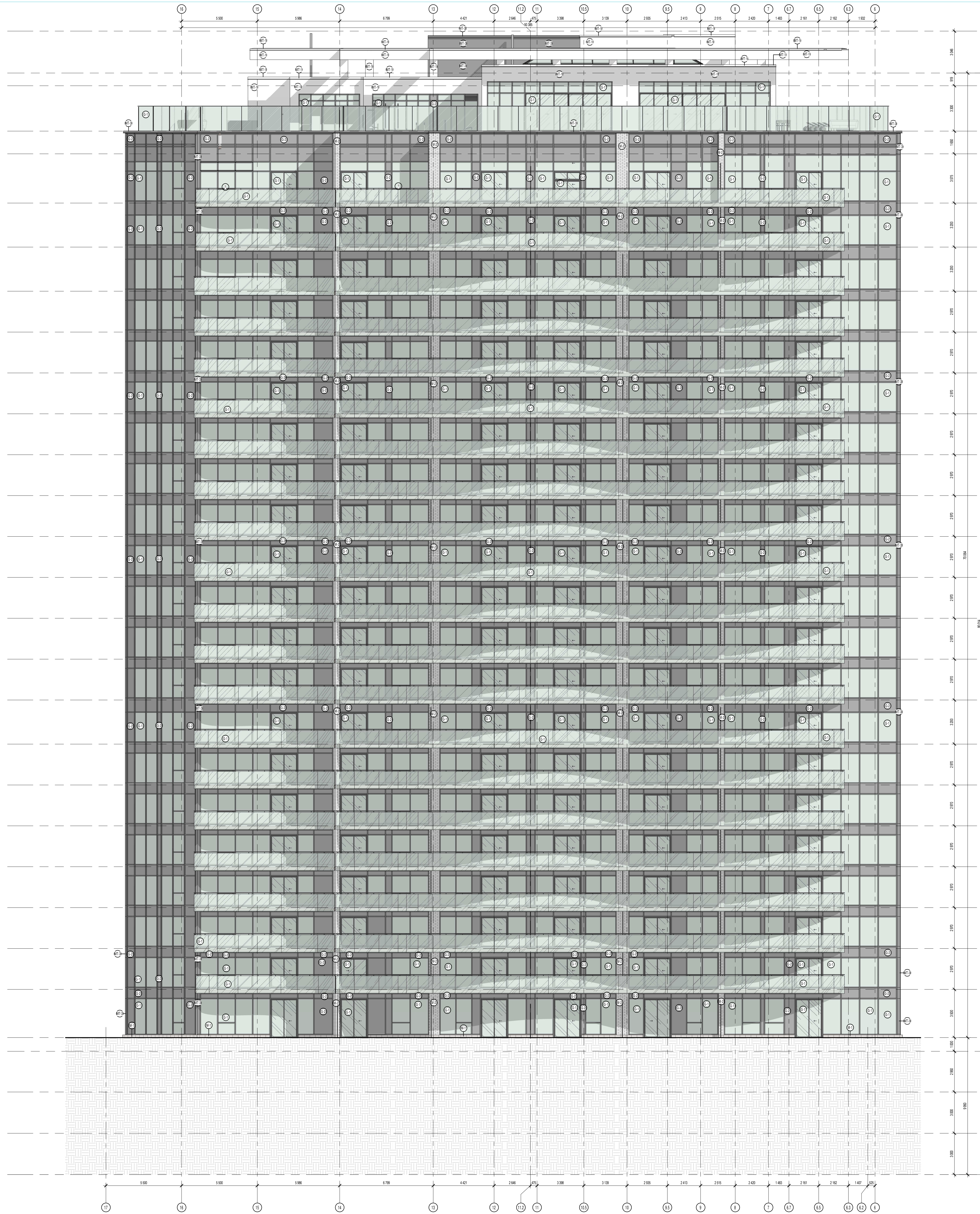
EMPLACEMENT / Location
ORLEANS, ON NO. PROJET No. **12190.00**

NO.	RÉVISION / Revision	DATE (aa-mm-jj) / Date
1	Fix Coordination	2019-10-15
2	Fix Coordination	2019-11-06
3	30% ISSUE	2020-03-31
4	40% ISSUE	2020-04-30
5	Fix SPA Review Approval	2021-05-04
6	ISSUED FOR PERMITAL REVIEW - ARCHITECT	2021-09-03
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8	ISSUED FOR SPA REVIEW	2021-12-10
9	ISSUED FOR BRICK COURSING REVIEW	2021-11-01
10	Fix Approval SPA Review	2021-12-10
11	90% DRYFIT ISSUE	2021-12-01
12	ISSUED FOR PERMIT	2021-12-15
13	Fix Approval SPA Review	2022-01-08

DESSINÉ PAR / Drawn by **MU/RR** VÉRIFIÉ PAR / Checked by **MU**
 DATE (aa-mm-jj) / Date **10/15/2019** ÉCHELLE / Scale **As Indicated**
 TITRE DU DESSIN / Drawing Title **EAST ELEVATION**

ELEVATION - EAST
 1/100

REVISION / Revision NO. DESSIN / Drawing Number
13 A402



SOIL LEGEND

SOIL

FINISHED GRADE

MATERIALS LEGEND

(C-1) EXPOSED CONCRETE

(G-1) GLASS - TYPE 1 (CLEAR)

(G-2) SPANDREL GLASS - TYPE 2 (CHARCOAL CERAMIC FRIT CS-0004)

(G-3) PRIVACY SCREENS - FINISH TEXTURED

(M-1) MASONRY VENEER - TYPE 1 (STONE, SHALOZIDE, COLOUR: PEARL, WHITE - TAPESTRY AND BEVEL) 360x160x60mm SEE STONE COURSING

(M-2) MASONRY VENEER - TYPE 2 (BRICK, SHALOZIDE - BU BRICK SMOOTH, COLOUR: PEARL, WHITE, 100x60x110mm)

(MT-1) ALUMINUM - TYPE 1 (WHITE - STANDARD SERIES - DURANAL XL 800, 9016)

(MT-2) ALUMINUM - TYPE 2 (CAMBRIDGE WHITE - VIOBEST - AD-3005F)

(MT-3) ALUMINUM - TYPE 3 (CHARCOAL - T80)

ABBREVIATION/SYMBOL LEGEND

C.J. CONTROL JOINT (BEALANT COLOUR TO MATCH ADJACENT VENEER)

S.L. FRAMED & PAINTED SLOPE (UNITE, COLOUR TO MATCH ADJACENT VENEER)

S.S.A. FRAMED & PAINTED SUSPENDED SHELF ANGLE (COLOUR TO MATCH ADJACENT VENEER)

S.S. SUPPORT STRUCTURE (SPRINGING OVER WINDOW, STRUCTURAL STEEL, RISER AND SHELF ANGLE ABOVE WINDOW) (SEE STRUCTURAL ENGINEER FOR TYPES, SPACING, DIMENSIONS, ANCHORAGE, LOCATIONS, ETC.)

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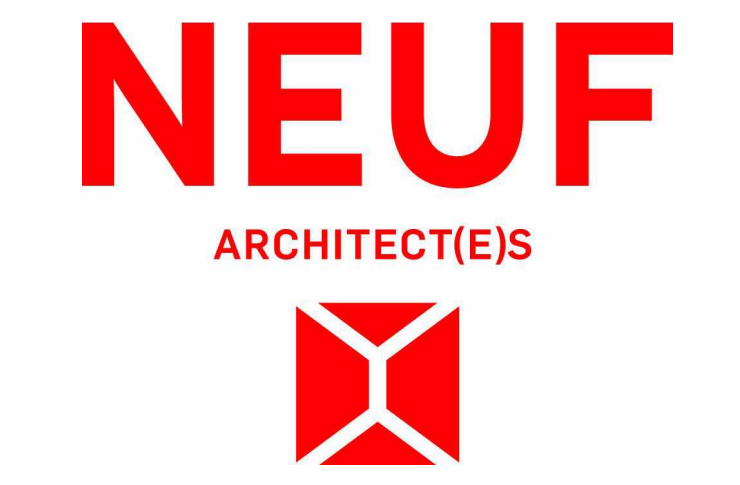
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OUVRAGE Project
PETRIE'S LANDING I - TOWER 4

EMPLACEMENT Location
ORLEANS, ON NO PROJET No. **12190.00**

NO	RÉVISION	DATE (aa-mm-jj)
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9	ISSUED FOR BRIGIL REVIEW/ISSUE	2021-11-01
10	Fin Approval SPA Review	2021-12-10
11	90% DRAFT ISSUE	2021-12-01
12	ISSUED FOR PERMIT	2021-12-15
13	Fin Approval SPA Review	2022-01-08

DESSINÉ PAR Drawn by **MU/RR** VÉRIFIÉ PAR Checked by **MU**
 DATE (aa-mm-jj) **10/15/2019** ÉCHELLE Scale **As Indicated**
 TITRE DU DESSIN Drawing Title **WEST ELEVATION**

REVISION/Revision NO. DESSIN/Draw Number
13 A403

ELEVATION - WEST
 1-100 (A403)

Appendix A

Petrie's Landing One Tower 4: R5A (2327)H(109.4)A.S.L. Zoning Compliance Chart

Applicable sections from Bylaw 2008-250, 2008-341, 2014-292

Requirement

Proposed

Notes

*PUD required not applied on individual buildings as each building will ultimately be sited on its own lot.

Table 164A for Apartment Dwelling Mid High Rise

Minimum Lot Width (m)	25	irregular	
Minimum Lot Area (sq. m)	1000	6112,491	Tower 4 site area only
Maximum Building Height (m)	109.4 A.S.L.	128.5 A.S.L.	
Minimum Front Yard Setback (m)	6	min. 7.5	All setbacks are to be considered interior side yards with a minimum 7.5m setback
Minimum Corner Side Yard Setback (m)	4,5	min. 7.5	
Minimum Interior Side Yard Setback (m)	7,5	min. 7.5	
Minimum Rear Yard Setback (m)	7.5	min. 7.5	

Section 163(9)

Minimum landscape area (% of site)	30%	73%	Tower 4 site area only
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Section 101 and 102 (Area C - Table 101)

Minimum No. of parking spaces per unit	1,2	1,2	291 spaces
Minimum No. of visitor parking spaces per unit	0,2	0,2	48 spaces
			339 spaces - 242 units

Section 106

Parking space width (m)	2,6 min 3,1 max	2,6	
Minimum parking space depth (m)	5,2	5,2	
	6,7 parallel		
Reduced parking space width (m)	2,4	2,4	
	4,6	4,6	

Section 107

Driveway access : min width (m) one way	3	N/A	
Driveway access : min width (m) two way	6,7	7,1	
Driveway access : parking garage min width (m) two way	6	6	

Section 110

Minimum landscape area of parking lot (%)	15	65%	Tower 4 site area only
Minimum landscape buffer width of parking lot not abutting street (m)			
...1.5 if 10 to 100 spaces; 3 meters if more than 100 spaces	1.5/3	1,5	
Minimum landscape buffer width of parking lot abutting street (m)	3	N/A	
Outdoor loading and refuse collection area within parking lot			
...min. distance abutting a public street (m)	9	N/A	Refuse Collection area in parking garage.
...min. distance abutting any other lot line (m)	3	8,9	
...Screened with 2 m high opaque screen (m)	2	2	

Section 111

Bicycle Parking Space Provisions (number per unit)	0,5	0,5	121 spaces
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Section 137

Total amenity area (6 m ² per unit)	6m ² x 198 units = 1188 m ²	>4370 m ²	Tower 4 site landscape area only. Interior amenity area additional to proposed.
Communal amenity area: % of total required 'total amenity area'	50	100,0	Tower 4 site landscape area only. Interior amenity area additional to proposed.
Layout of Communal Amenity Area (m ²)	54	>4370 m ²	Tower 4 site landscape area only. Interior amenity area additional to proposed.

INFORMATION SUR LE PROJET - PROJECT INFORMATION

1/27/2022

11467

Petrie's Landing I

Tour 4 / Tower 4

Dernière Révision/Last Revised:

9/14/2021

(Émis pour SPA - Rev 6/ Issued for SPA - Rev 6)

Zonage / Zoning City of Ottawa zoning By-law No. 2008-250

Superficie du Lot / Property Area 6,112.5 m² / sq. m. 65,795 pi² / sq. ft

STATISTIQUES SUR LE PROJET / PROJECT STATISTICS

Tour 4 / Tower 4

Hauteur du Bâtiment / Building Height (m) 73,900 (22 étages / storeys)

STATISTIQUES DES UNITÉS / UNIT STATISTICS

Tour 4 / Tower 4

Unités de Cohabitation / Rooming Units	0
Studio / Bachelor	18
1 Chambre / 1 Bedroom	21
1 Chambre + Den / 1 Bedroom + Den	115
2 Chambres / 2 Bedrooms	41
2 Chambres + Den / 2 Bedrooms + Den	45
3 Chambres + Den / 3 Bedrooms + Den	2
TOTAL	242

STATIONNEMENT RÉSIDENTIEL / RESIDENTIAL PARKING

	EXIGÉ / REQUIRED		FOURNIS / PROVIDED	
	# / Unit / # / Unité		Ratio (stat / unité) / Ratio (parking/unit)	
TOUR 4 / TOWER 4				
Tour 4 - Résidentiel / Tower 4 - Residential	1,2/unit	290	1.25	303
Tour 4 - Visiteurs / Tower 4 - Visitors	0,2/unit	48	0.20	48
Tour 4 - Accessible (inclus dans compte des visiteurs) / Tower 4 - Accessible (included in visitors count)	1-12=1 Type A 13-100=4% of total (50% Type A / 50% Type B) 101-200=1+3% of total (50% Type A / 50% Type B) 201-1000=2+2% of total (50% Type A / 50% Type B) 1001+=11+1% of total (50% Type A / 50% Type B)	9		9
TOTAL		338	1.45	351

STATIONNEMENT COMMERCIAL / COMMERCIAL PARKING

	Aire (m ²) / Area (m ²)	EXIGÉ / REQUIRED		FOURNIS / PROVIDED	
		Ratio (stat / m ²) / Ratio (parking/m ²)		Ratio (stat / m ²) / Ratio (parking/m ²)	
TOUR 4 / TOWER 4					
Commercial / Commercial	0.00				
Stationnement Accessible / Accessible parking			0		
TOTAL					

STATIONNEMENT POUR VÉLOS / BICYCLE PARKING

	Unités / Units	EXIGÉ / REQUIRED			FOURNIS / PROVIDED
		Aire (m ²) / Area (m ²)	Ratio / Ratio		
TOUR 4 / TOWER 4					
Résidentiel / Residential	242		0,5/unit	121	121
Commercial / Commercial		0.00		0	0
TOTAL				121	121