

SURVEYOR'S REAL PROPERTY REPORT PART I PLAN OF LOTS 6 AND 7 IN BLOCK "Q" WEST BAYSWATER AVENUE REGISTERED PLAN 73. CITY OF OTTAWA SURVEYED BY HAKEN SHIPMAN SURVEYING LTD DATED JULY 30TH, 2020.

		,							
BUILDING AREAS									
LOWER LEVEL				AREA [SQ.M] ±2 4.6sq.m			AREA [SQ.FT] ±2,310sq.ft		
	GROUND FLOOR A	561sq.m			6,038sq.ft				
	SECOND FLOOR A			580sq.m			6,040	0.5sq.ft	
	THIRD FLOOR ARE	ĒA		580sq.m			6,040.5sq.ft		
	FOURTH FLOOR A	REA		580sq.m			6,040.5sq.ft		
	FIFTH FLOOR ARE	A		561.8sq.m			6,048sq.ft		
	SIXTH FLOOR ARE	A		561.8sq.m			6,048sq.ft		
	TOTAL			3,424.6sq.m			36,255.5sq.ft		
	BUILDING FLOOR STAT			ISTICS - RENTAL			APARTMENT:		
	FLOOR	SUITES	BEI	I DROOM	I BEDROOM +DEN	в	2 EDROOM	2 BEDROOM +DEN	
	GROUND FLOOR	4					N/A	2	
	SECOND FLOOR	8		2	4		2	N/A	
	THIRD FLOOR	8		2	4		2	N/A	
	FOURTH FLOOR	8		2	4		2	N/A	
	FIFTH FLOOR	6			2		2		
	SIXTH FLOOR	6			2		2	I	
	TOTAL	40		٩	17		10	4	
	SUITE MIX		:	22.5%	42.5%		25%	10%	
	CITY OF OTTA		) NI	NG BY	-LAM				
	ZONING PROVISIO	NS		REQL	IRED		PROPO	DSED	
	R4UC								
	MIN. LOT AREA			540sq.m			1,204.92sq.m		
	MAX. LOT AREA			N/A			1,204.92sq.m		
	MIN. LOT WIDTH			18m			30.4	lm	
MAX. LOT WIDTH			N/A			30.4	Hm		
MAX. FRONT YARD SETBACK			Зm			4.5m	I		
	MIN. REAR YARD SETBACK			7.5m			12m		
	MIN. INTERIOR SIDE YARD SETBACK			WHERE BUILDING WALL IS LESS THAN IIm: 1.5m			WHERE BUILDING WALL IS LESS THAN 13.4m: 1.5m		
				WHERE BUILDING WALL IS GREATER THAN IIM: 2.5m			WHERE BUILDING WALL IS GREATER THAN 13.4m: 2.5m		
	MAX. BUILDING HE	IGHT		ZONING SPECIFIC			±19.16m		
	AMENITY AREA						TOTAL AMENITY		
	6sq.m PER UNIT = 50% OF TOTAL MI			TOTAL AMENITY =240sq.m			= 645sq.m PRIVATE AMENITY = 265sq.m		
	COMMUNAL			50% COMMUNAL =120sq.m			COMMUNAL AMENIT =380sq.m		
	AUTOMOBILE F	PARKI	NG	SUMM	ARY				
	REQUIRED PARKIN	<u>16</u>		REQUIRED			PROPOSED		
RESIDENT PARKING			0.5/UNIT (AFTER 12) =14 REQUIRED			15			
VISITOR PARKING			0.1/UNIT (AFTER 12) = 3 REQUIRED			З			
TOTAL PROVIDED			17 9	SPACES		18 SF	PACES		
	PROVIDED PARKI	NG							
							PARKING SPACES		
	REGULAR SPACE			MIN. 2.6m × 5.2m			6 ABOVE GROUND 11 BELOW GROUND		
	ACCESSIBLE SPAC	CE		TYPE B			I ABOVE GROUND		
TOTAL				= 18 PROVIDED PARKING SPACES					
	BICYCLE PARKING SUMMARY								
REQUIRED PARKING			REQUIRED			PROPOSED			
_				05/UNI	$T \times 40$	-			

0.5/UNIT X 40

= 20 SPACES

BIKE PARKING

50 SPACES

#### LEGEND





6  $\rightarrow$ 

 $\rightarrow$ 

AS PER AODA STANDARDS TWO WAY TRAFFIC ONE WAY TRAFFIC DEPRESSED CURB [DC] PROPERTY LINE 

----- EXISTING FENCE

----- MINIMUM SETBACKS [ZONING]

NEW OVERHEAD DOOR

NEW DOOR/ENTRANCE

EXISTING VEGITATION

NO PARKING LINES

STREET LIGHT

HYDRO POST

BICYCLE PARKING SPACE

PARKING STALL COUNT PER ROW

NEW SIGN, REFER TO SIGN LEGEND

DESIGNATED ACCESSIBLE PARKING SPACE

EXISTING BOULDER

[1.8mXO.6m]

NEW CONSTRUCTION

EXISTING BUILDINGS

CLIENT NAME: HULAJ

#### NOTES:

1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS. 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS. 3) DO NOT SCALE DRAWINGS. 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

07. 2021.11.18 RE-ISSUED FOR ZONING AND SPC 06. 2021.09.30 ISSUED FOR REVIEW 05. 2021.06.16 ISSUED FOR ZONING & SPC 04. 2021.05.14 ISSUED FOR REVIEW 03. 2021.04.02 ISSUED FOR REVIEW 02. 2020.12.21 ISSUED FOR REVIEW

NORTH ARROW:

01. 2020.11.26 ISSUED FOR PRELIMINARY REVIEW No. DATE REVISION

S.J.LAWRENCE ARCHITECT INCORPORATE 18 DEAKIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7 T: (613) 739.7770 F: (613) 739.7703 sjl@sjlarchitect.com

PROJECT:

AWRENC ARCHITEC INCORPORATE

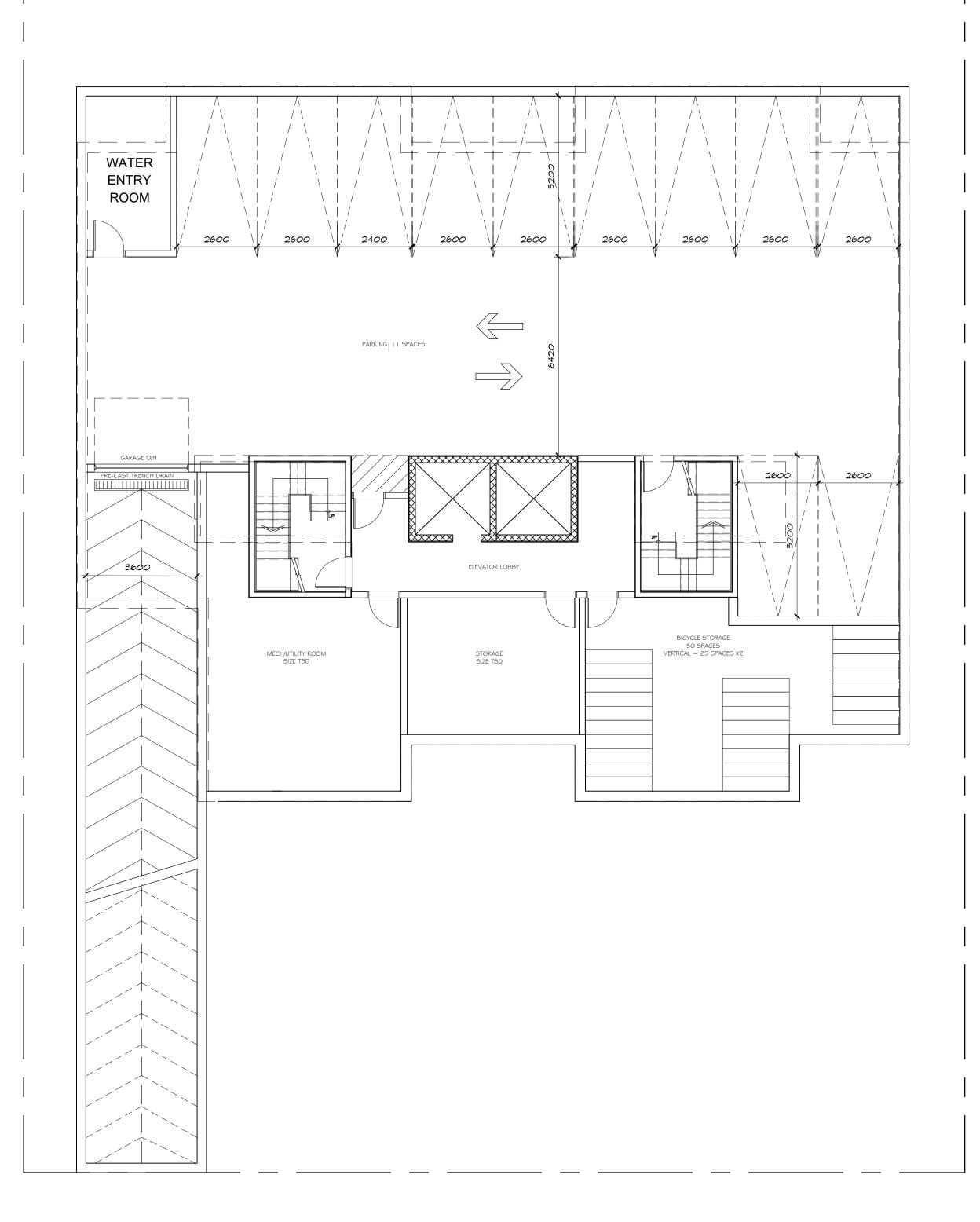
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BAYSWATER DEVELOPMENT

54, 56 & 60 BAYSWATER AVENUE, OTTAWA ON

SHEET TITLE: CONCEPT SITE PLAN

DRAWN BY:	CHECKED BY:
B.L.	SJL
PLOT DATE:	PROJECT DATE
2021.11.26	2020.11.20
JOB NUMBER:	SCALE
<b>SL-1034-20</b>	AS SHOWN
SHEET NUMBER:	



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CONCEPT LOWER LEVEL

# CLIENT NAME:

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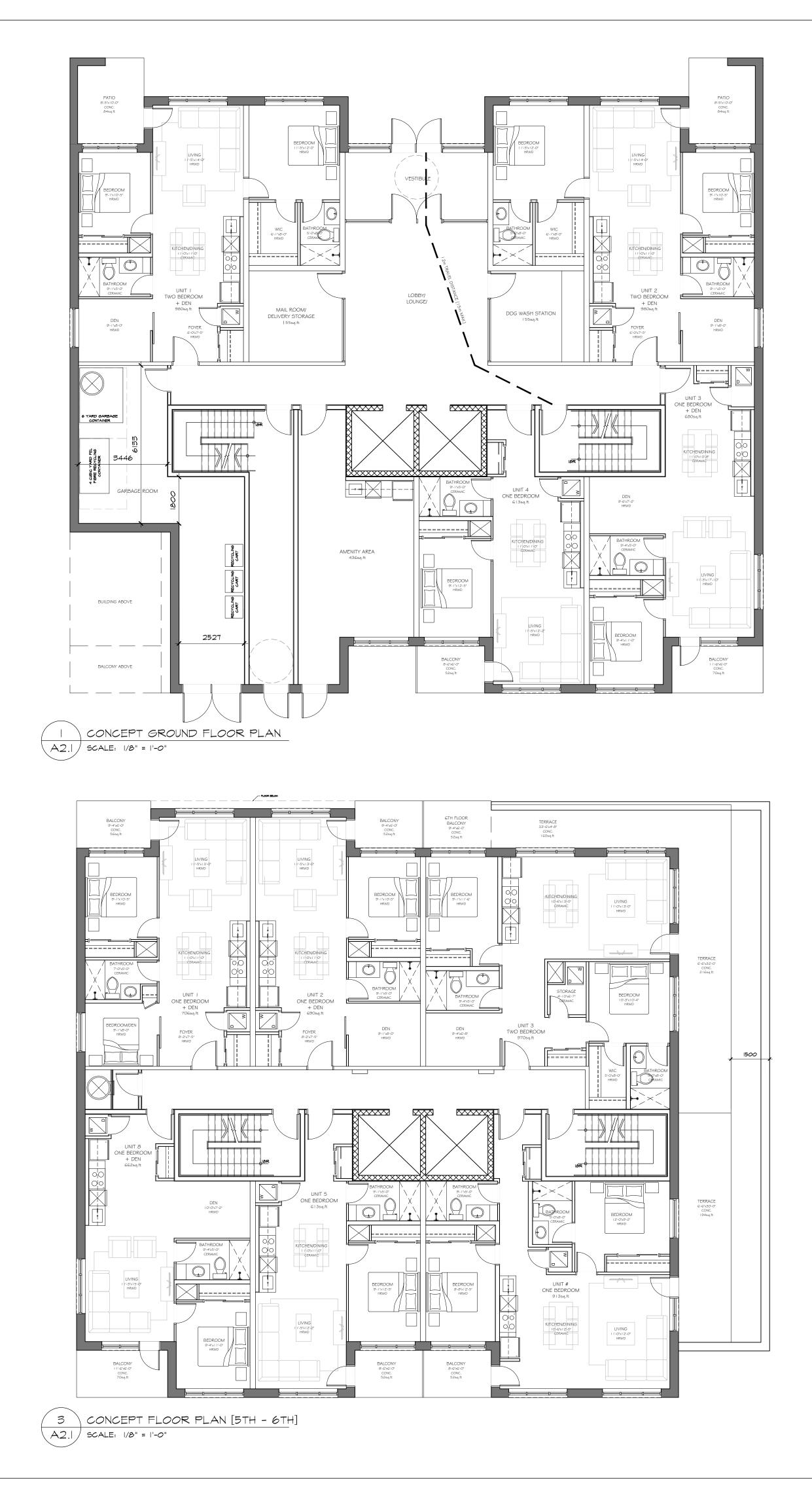
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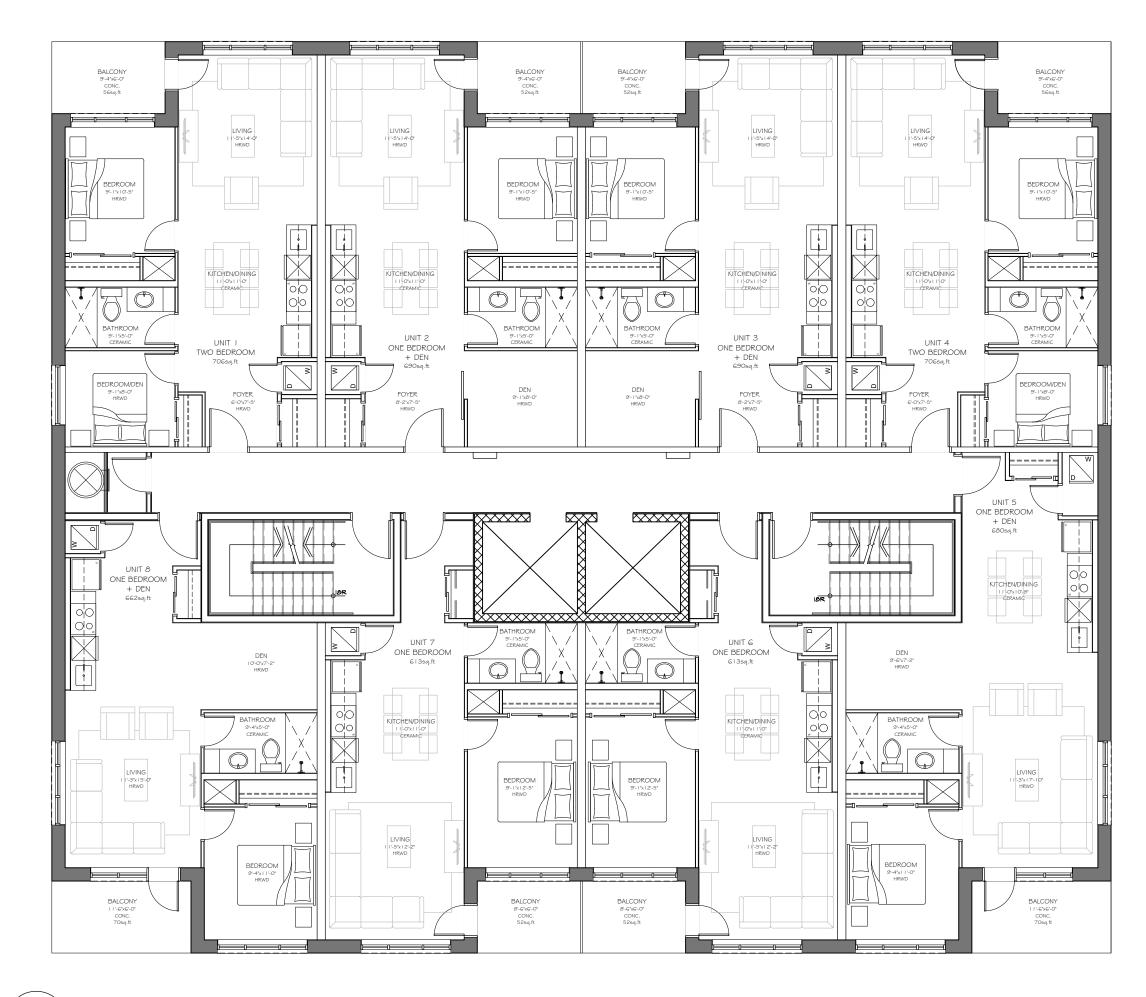
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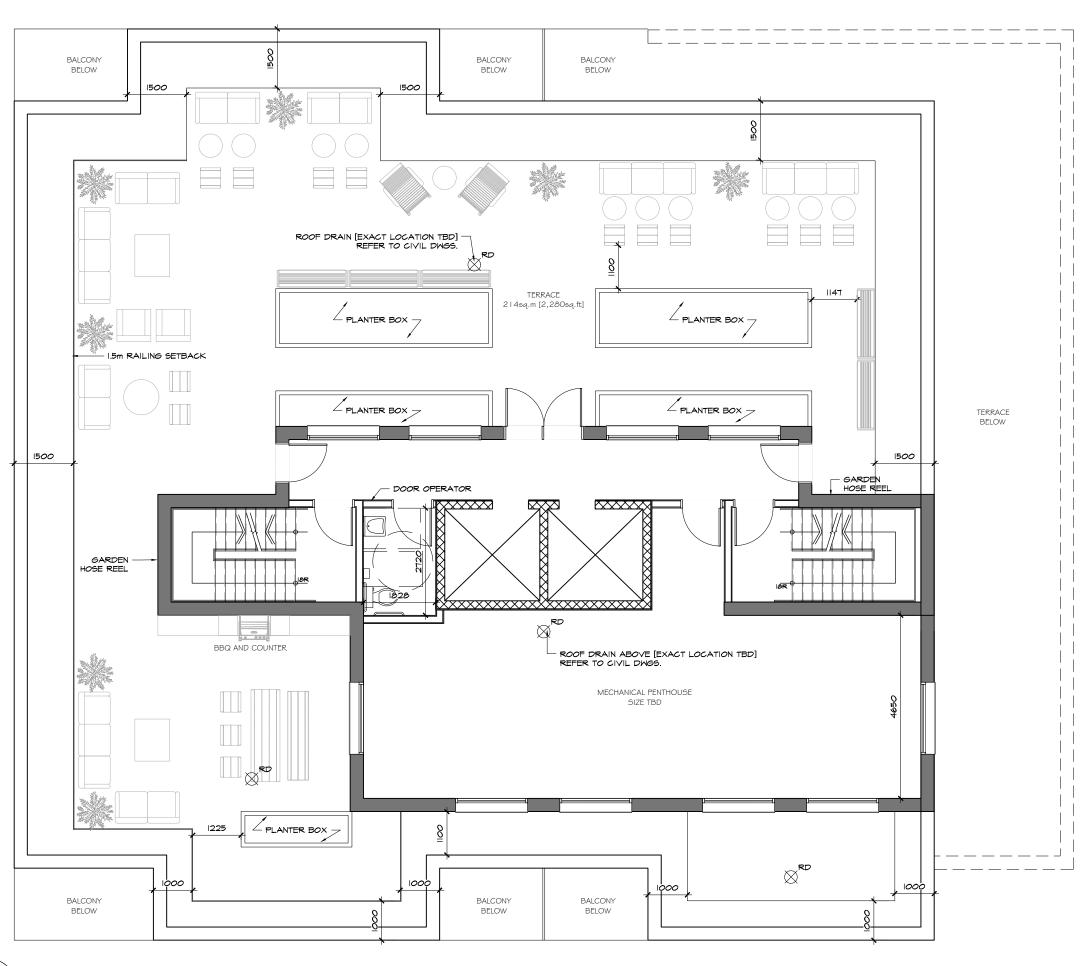
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03.	2021.04.02	ISSUED FOR F	
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AF INC 18 SU OT K2 T:	J.LAWRENCE RCHITECT CORPORATED DEAKIN STREET ITE 205 TAWA, ONTARIC E 8B7 (613) 739.7770 (613) 739.7703 @sjlarchitect.com	<sup>2</sup> LA	WRENCE CHITECT ORPORATED
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	DT DATE: 21.11.26		PROJECT DATE 2020.11.2
	B NUMBER: -1034-20		SCALE AS SHOWN
51			

SHEET NUMBER:





2 CONCEPT FLOOR PLAN [2ND - 4TH] A2.| scale: 1/8" = 1'-0"



4 CONCEPT ROOF PLAN A2.1 SCALE: 1/8" = 1'-0"

## CLIENT NAME:

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SHEET NUMBER:



1 EAST ELEVATION (FRONT) A4.0 SCALE 1:100





CLIENT NAME:

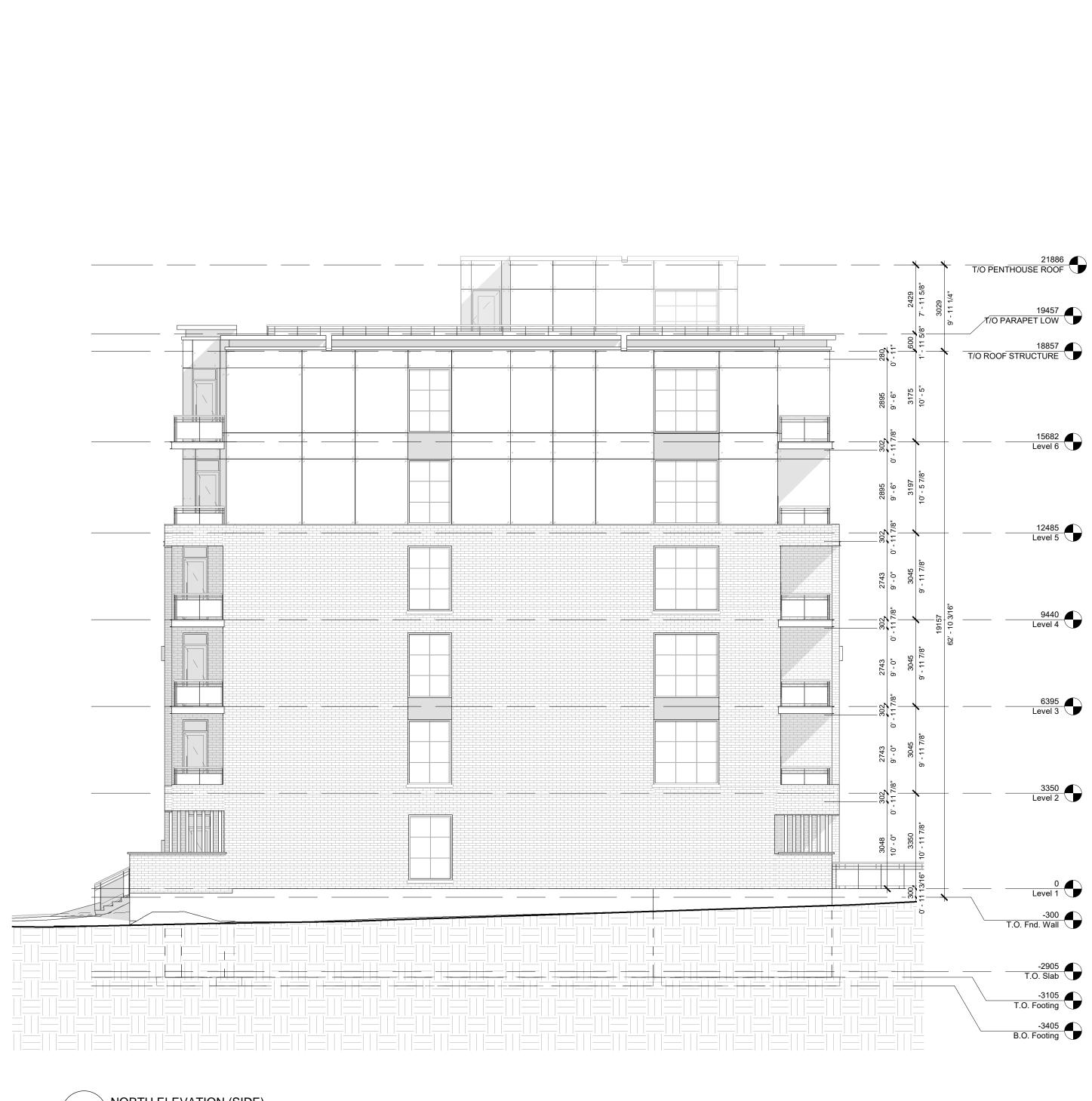
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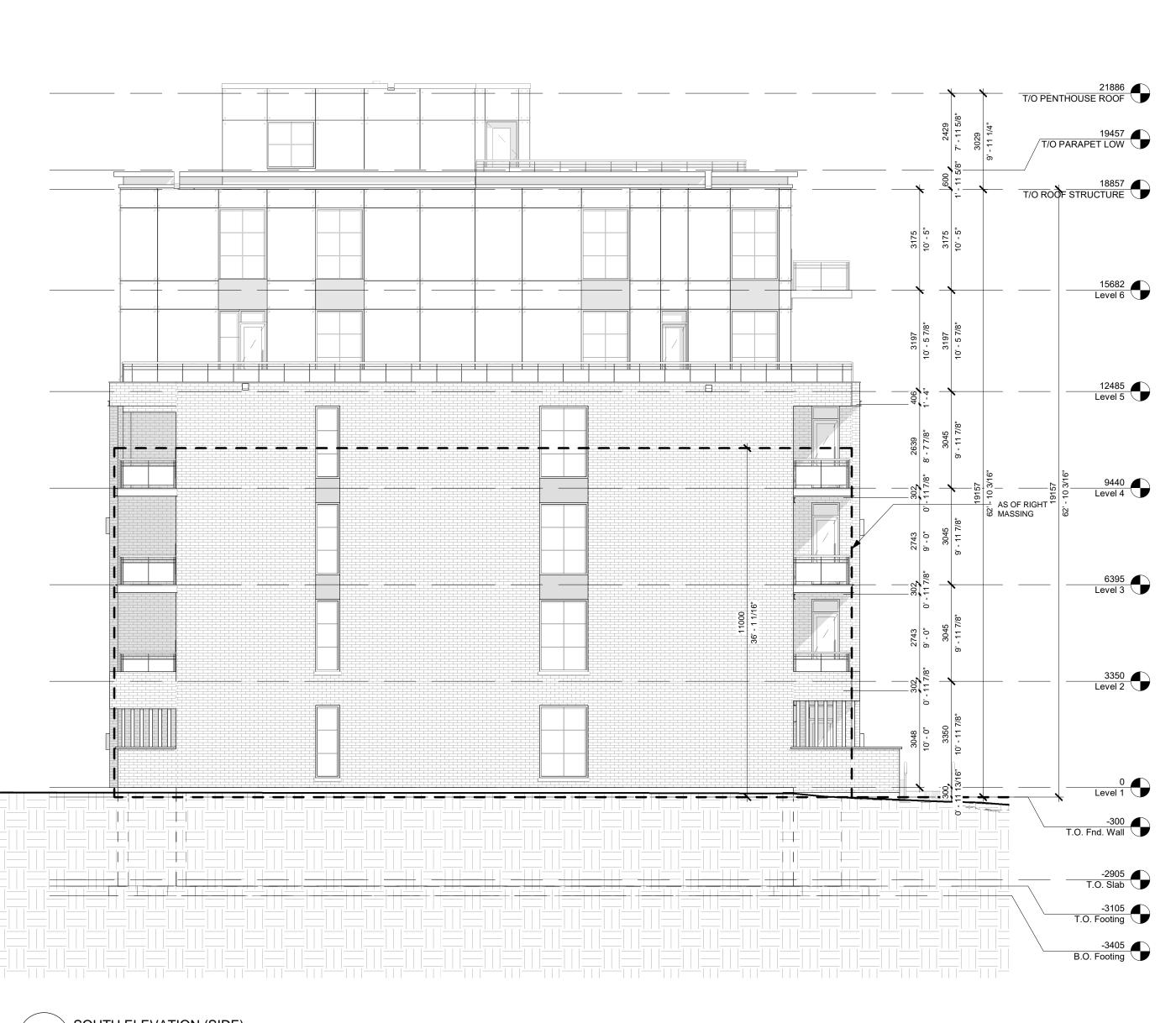
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06. 05. 04. 03.	2021-08-06 2021-06-16 2021-05-14 2021-04-02	ISSUED FOR REVIEW ISSUED FOR ZONING & SPC ISSUED FOR REVIEW ISSUED FOR REVIEW			
02. 01. No.	2020-02-21 2020-11-26 DATE	ISSUED FOR F ISSUED OR PF REVISION	REVIEW		
AF IN 18 SU OT K2I T: ( F: (	J.LAWRENCE CORPORATEI DEAKIN STREE ITE 205 TAWA, ONTARIG 887 (613) 739.7770 @sjlarchitect.com		SJL WRENCE CHITECT ORPORATED		
B	THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED REPRODUCTION IS NOT PERMITTED PROJECT: BAYSWATER DEVELOPMENT 54, 56 & 60 BAYSWATER AVENUE, OTTAWA ON				
EI	EET TITLE: LEVATIC	DNS	CHECKED BY <b>B.L.</b>		
<b>202</b> JOB	DT DATE: 21-11-26 11: 3 NUMBER: -1034-20	35:44 AM	PROJECT DATE NOVEMBER 23, 2020 SCALE 1 : 100		

APPLICATION #











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A	J.LAWRENCE RCHITECT	
	DEAKIN STREE	
SL O	JITE 205 TTAWA, ONTARI E 8B7	
Т.	(613) 739 7770	ARCHITECT
F: sjl	(613) 739.7703 @sjlarchitect.com	INCORPORATED
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	S.J. LAWF	RENCE ARCHITECT INCORPORATED
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SCALE:

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