

KEY PLAN
 SURVEYOR'S REAL PROPERTY REPORT PART I PLAN OF
 LOTS 6 AND 7 IN BLOCK "Q" WEST BAYSWATER AVENUE REGISTERED
 PLAN "B" CITY OF OTTAWA
 SURVEYED BY HAKEN SHIFMAN SURVEYING LTD
 DATED JULY 30TH, 2020.

BUILDING AREAS

	CONSTRUCTION AREA (SQ.M)	CONSTRUCTION AREA (SQ.FT)
LOWER LEVEL	214.6sq.m	2310sq.ft
GROUND FLOOR AREA	561sq.m	6,038sq.ft
SECOND FLOOR AREA	580sq.m	6,240.5sq.ft
THIRD FLOOR AREA	580sq.m	6,240.5sq.ft
FOURTH FLOOR AREA	580sq.m	6,240.5sq.ft
FIFTH FLOOR AREA	561.8sq.m	6,048sq.ft
SIXTH FLOOR AREA	561.8sq.m	6,048sq.ft
TOTAL	3,424.6sq.m	36,255.5sq.ft

BUILDING FLOOR STATISTICS - RENTAL APARTMENT:

FLOOR	SUITES	BEDROOM 1	BEDROOM 2	BEDROOM 2	BEDROOM 2
			+DEN		+DEN
GROUND FLOOR	4	1	1	N/A	2
SECOND FLOOR	8	2	4	2	N/A
THIRD FLOOR	8	2	4	2	N/A
FOURTH FLOOR	8	2	4	2	N/A
FIFTH FLOOR	6	1	2	2	1
SIXTH FLOOR	6	1	2	2	1
TOTAL	40	9	17	10	4
SUITE MIX		22.5%	42.5%	25%	10%

CITY OF OTTAWA ZONING BY-LAW

ZONING PROVISIONS	REQUIRED	PROPOSED
R4UC		
MIN. LOT AREA	540sq.m	1,204.92sq.m
MAX. LOT AREA	N/A	1,204.92sq.m
MIN. LOT WIDTH	18m	30.4m
MAX. LOT WIDTH	N/A	30.4m
MAX. FRONT YARD SETBACK	3m	4.5m
MIN. REAR YARD SETBACK	7.5m	12m
MIN. INTERIOR SIDE YARD SETBACK	WHERE BUILDING WALL IS LESS THAN 11m: 1.5m	WHERE BUILDING WALL IS LESS THAN 13.4m: 1.5m
	WHERE BUILDING WALL IS GREATER THAN 11m: 2.5m	WHERE BUILDING WALL IS GREATER THAN 13.4m: 2.5m
MAX. BUILDING HEIGHT	ZONING SPECIFIC	11.16m
AMENITY AREA 6sq.m PER UNIT = TOTAL	TOTAL AMENITY = 240sq.m	TOTAL AMENITY = 645sq.m
50% OF TOTAL MUST BE COMMUNAL	50% COMMUNAL = 120sq.m	PRIVATE AMENITY = 285sq.m COMMUNAL AMENITY = 360sq.m

AUTOMOBILE PARKING SUMMARY

REQUIRED PARKING	REQUIRED	PROPOSED
RESIDENT PARKING	0.5/UNIT (AFTER 12) = 14 REQUIRED	15
VISITOR PARKING	0.1/UNIT (AFTER 12) = 3 REQUIRED	5
TOTAL PROVIDED	17 SPACES	18 SPACES

PROVIDED PARKING

	PARKING SPACES
REGULAR SPACE	6 ABOVE GROUND 11 BELOW GROUND
ACCESSIBLE SPACE	TYPE B 1 ABOVE GROUND
TOTAL	= 18 PROVIDED PARKING SPACES

BICYCLE PARKING SUMMARY

REQUIRED PARKING	REQUIRED	PROPOSED
BIKE PARKING	0.5/UNIT X 40 = 20 SPACES	50 SPACES

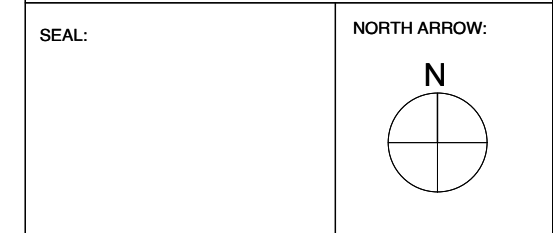
LEGEND

- NEW OVERHEAD DOOR
- NEW DOOR/ENTRANCE
- EXISTING BOULDER
- EXISTING VEGETATION
- BICYCLE PARKING SPACE [1.8m X 0.6m]
- NO PARKING LINES
- PARKING STALL COUNT PER ROW
- NEW SIGN, REFER TO SIGN LEGEND
- STREET LIGHT
- HYDRO POST
- DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS
- TWO WAY TRAFFIC
- ONE WAY TRAFFIC
- DEPRESSED CURB [DC]
- PROPERTY LINE
- EXISTING FENCE
- MINIMUM SETBACKS [ZONING]
- NEW CONSTRUCTION
- EXISTING BUILDINGS

CLIENT NAME:
HULAJ

NOTES:

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No.	DATE	REVISION
07.	2021.11.18	RE-ISSUED FOR ZONING AND SPC
08.	2021.09.30	ISSUED FOR REVIEW
05.	2021.06.16	ISSUED FOR ZONING & SPC
04.	2021.05.14	ISSUED FOR REVIEW
03.	2021.04.02	ISSUED FOR REVIEW
02.	2020.12.21	ISSUED FOR REVIEW
01.	2020.11.26	ISSUED FOR PRELIMINARY REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
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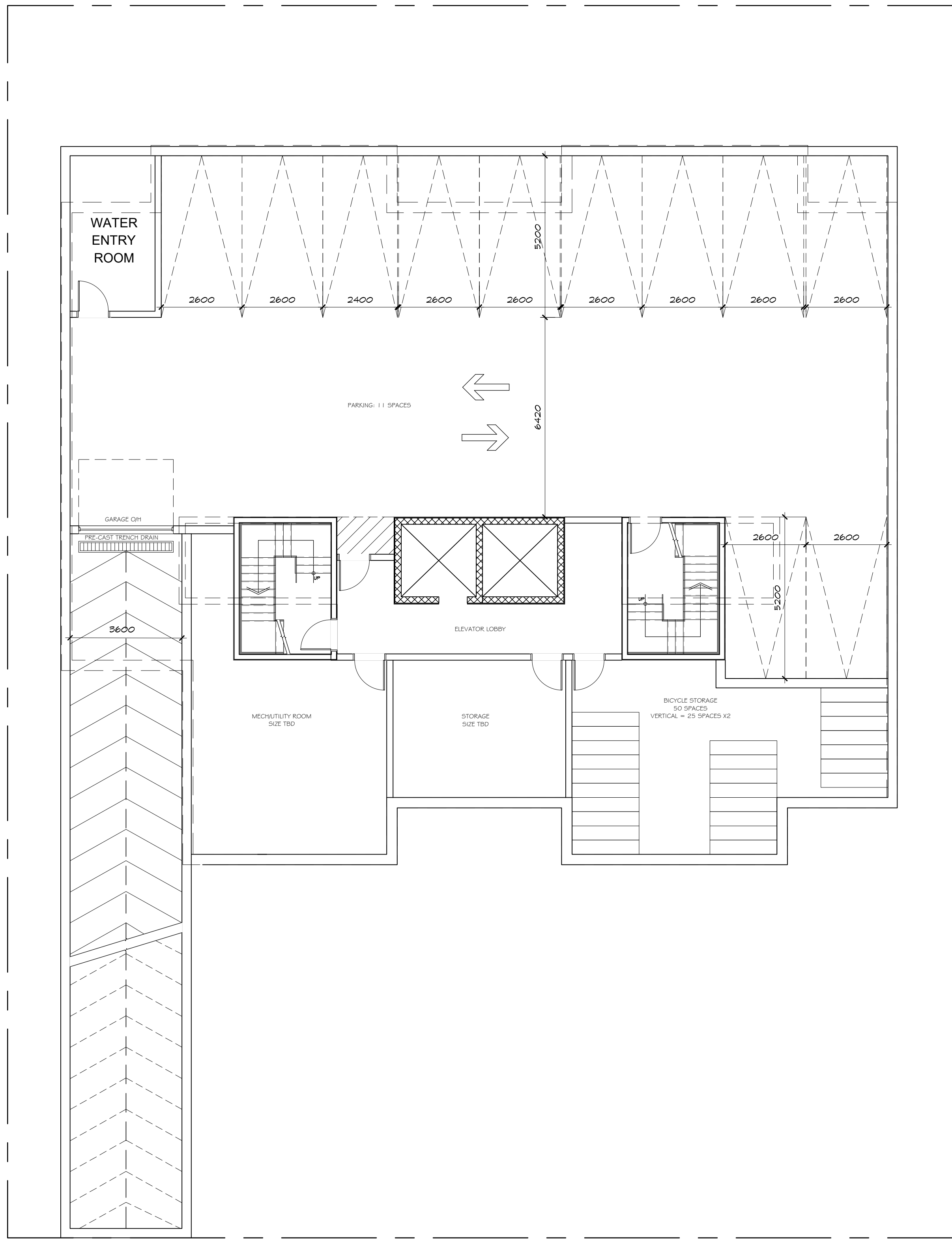
PROJECT:
BAYSWATER DEVELOPMENT

54, 56 & 60 BAYSWATER AVENUE, OTTAWA ON

SHEET TITLE:
CONCEPT SITE PLAN

DRAWN BY: **B.L.** CHECKED BY: **S.J.L.**
 PLOT DATE: 2021.11.26 PROJECT DATE: 2020.11.26
 JOB NUMBER: **SL-1034-20** SCALE: **AS SHOWN**

SHEET NUMBER:
A1.0



1
A2.0 CONCEPT LOWER LEVEL
SCALE: 1/8" = 1'-0"

CLIENT NAME:

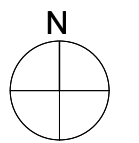
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SEAL:

NORTH ARROW:



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54, 56 & 60 BAYSWATER AVENUE, OTTAWA ON

SHEET TITLE:
CONCEPT LOWER LEVEL

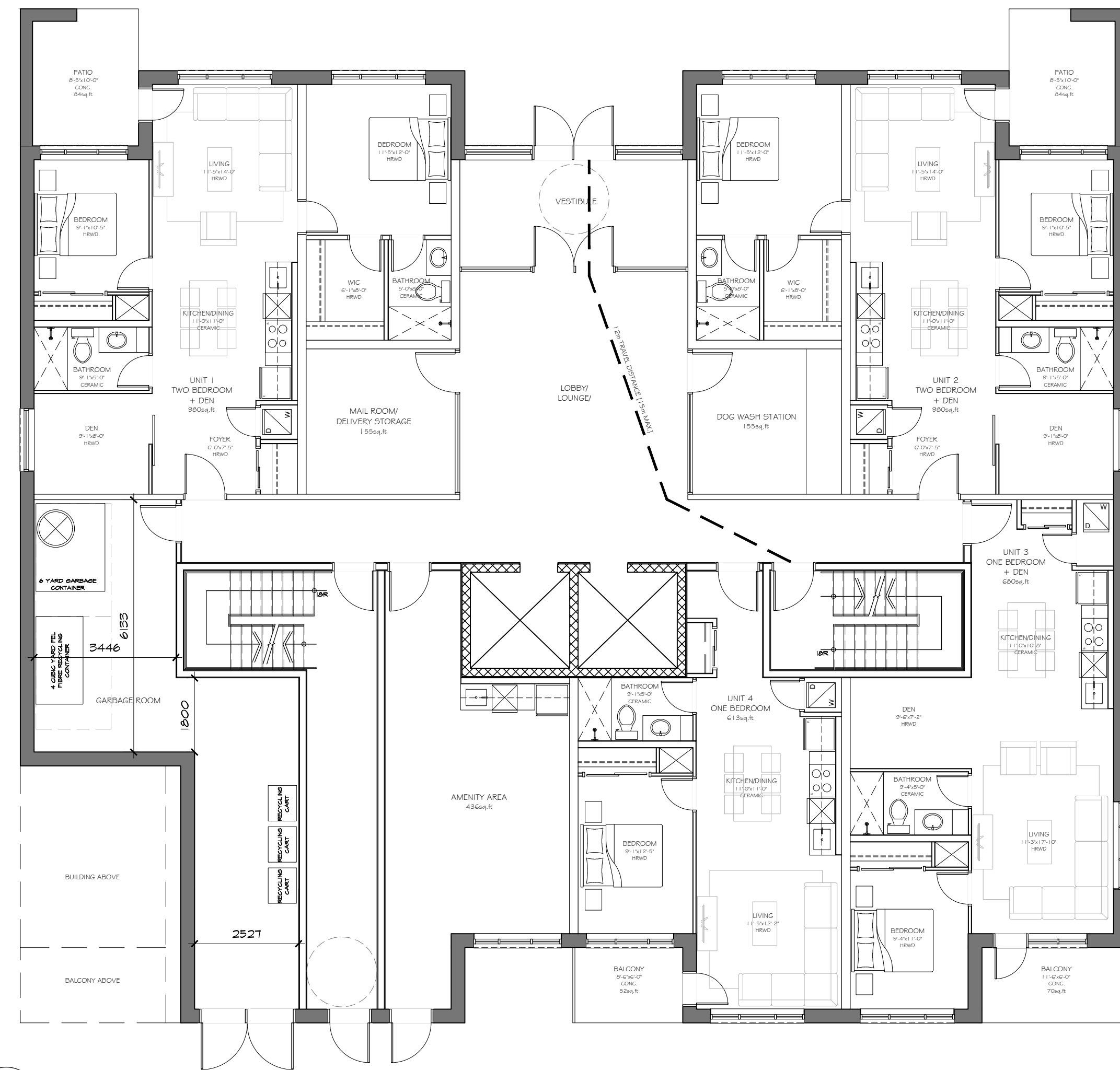
DRAWN BY: **A.L.** CHECKED BY: **S.J.L.**
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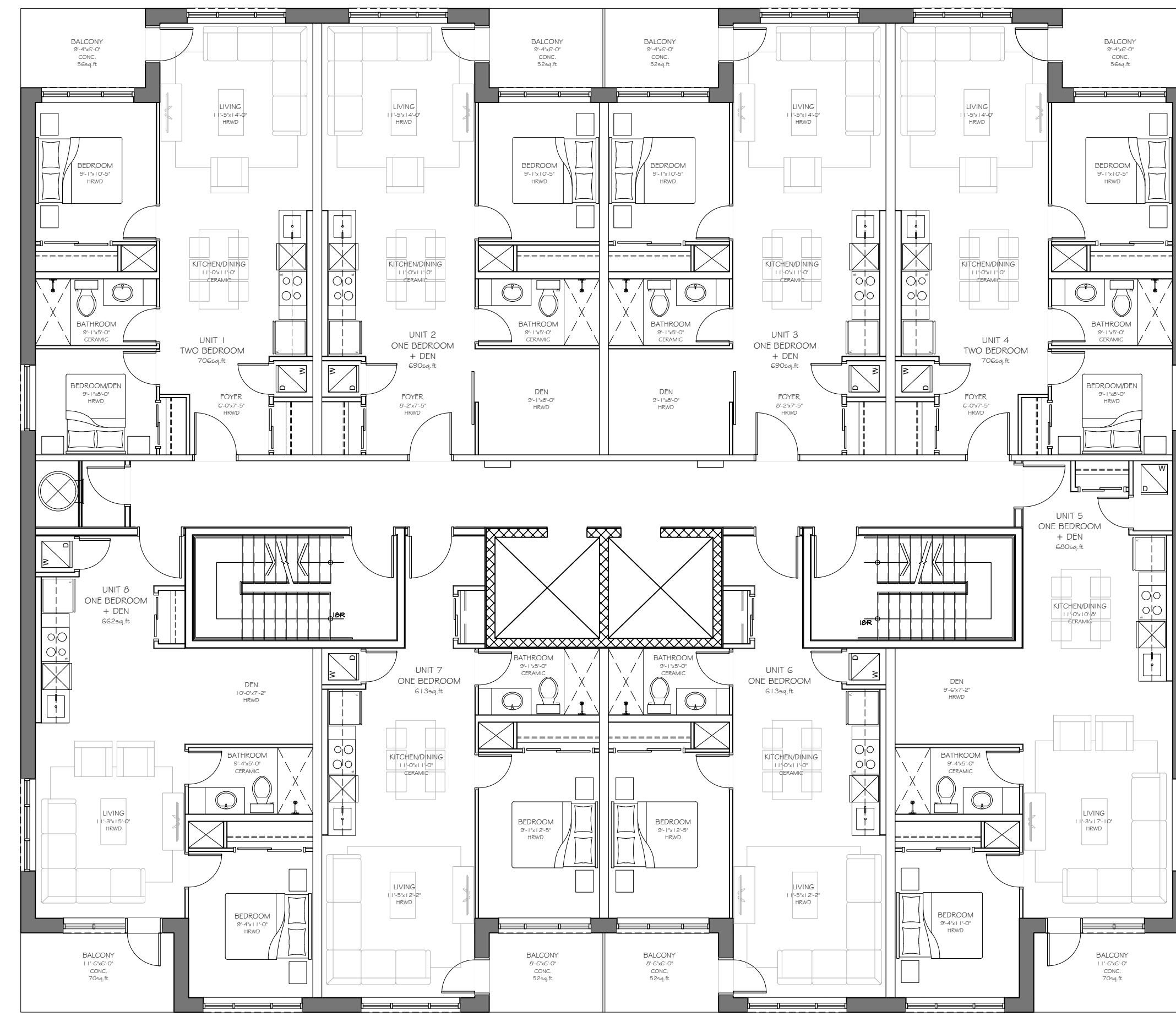
A2.0

PLAN #

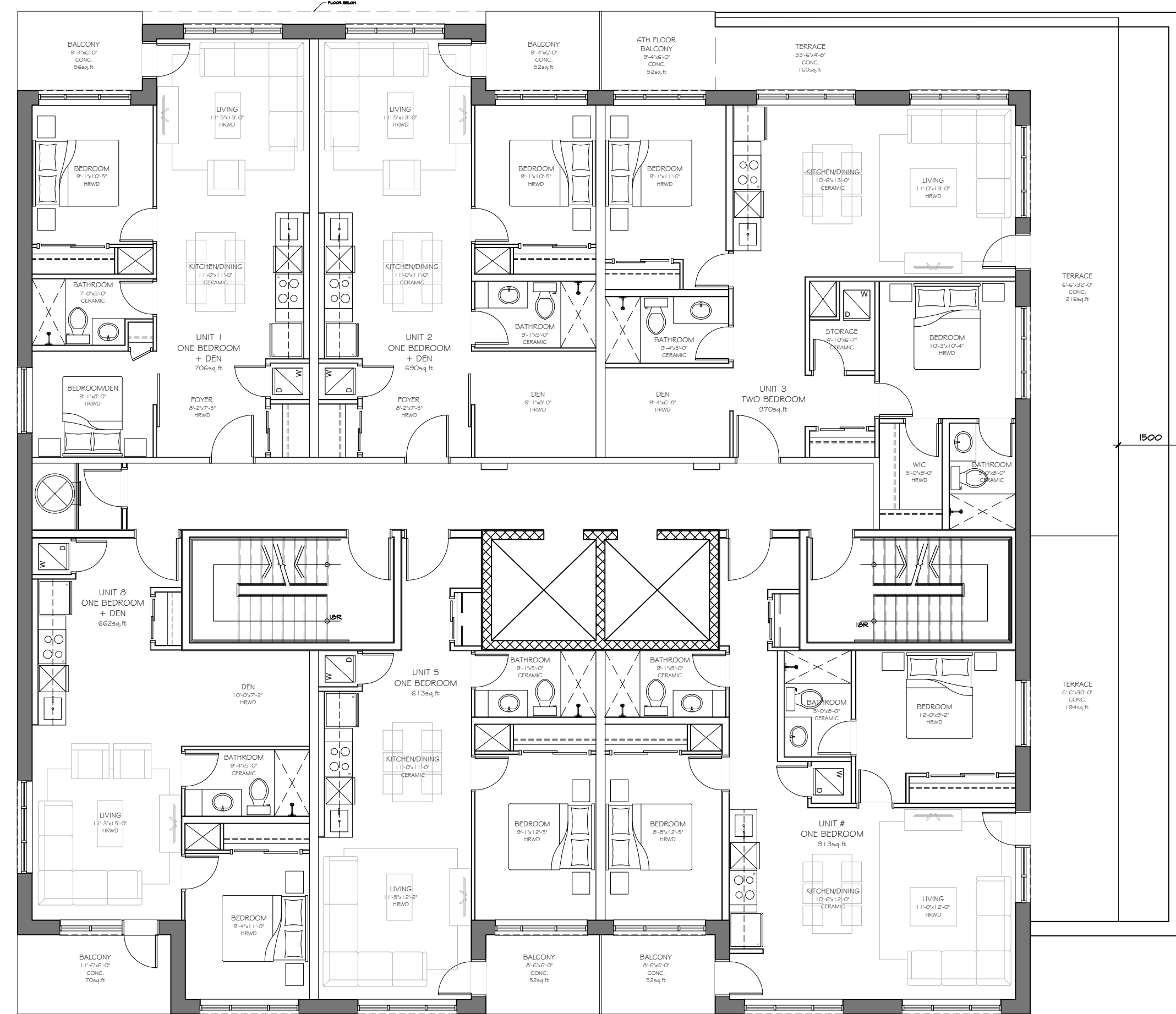
APPLICATION #



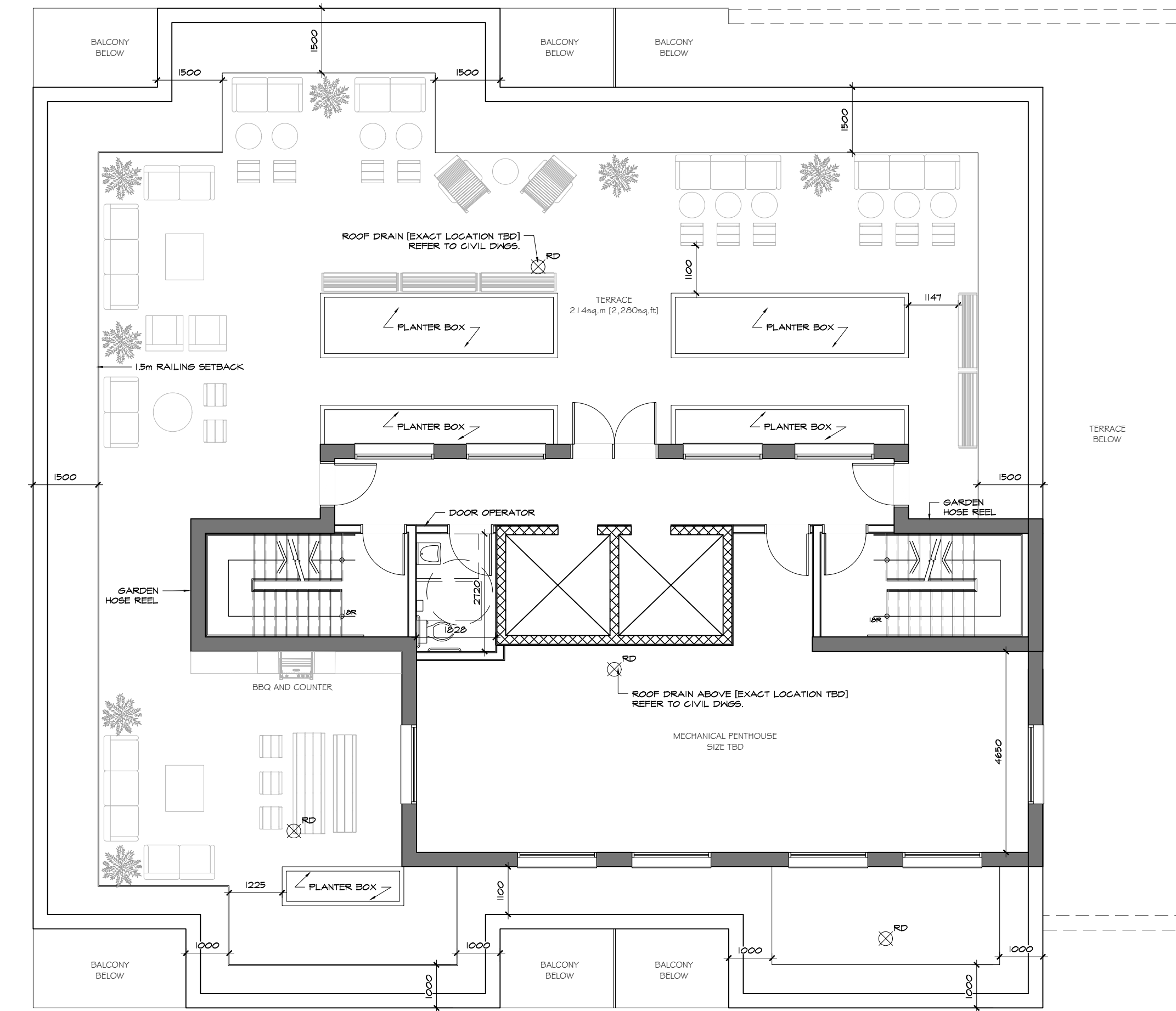
1 CONCEPT GROUND FLOOR PLAN
A2.1 SCALE: 1/8" = 1'-0"



2 CONCEPT FLOOR PLAN [2ND - 4TH]
A2.1 SCALE: 1/8" = 1'-0"



3 CONCEPT FLOOR PLAN [5TH - 6TH]
A2.1 SCALE: 1/8" = 1'-0"



4 CONCEPT ROOF PLAN
A2.1 SCALE: 1/8" = 1'-0"

CLIENT NAME:
HULAJ

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PROJECT: BAYSWATER DEVELOPMENT

54, 56 & 60 BAYSWATER AVENUE, OTTAWA ON

SHEET TITLE: CONCEPT FLOOR PLANS

DRAWN BY: A.L.	CHECKED BY: S.J.L.
PLOT DATE: 2021.11.26	PROJECT DATE: 2020.11.26
JOB NUMBER: SL-1034-20	SCALE: AS SHOWN
SHEET NUMBER:	

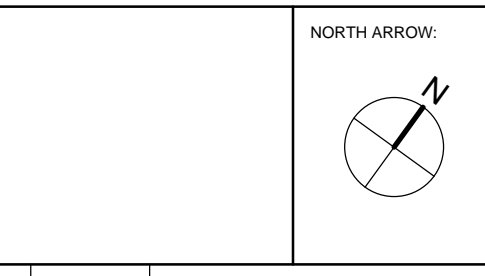
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CENTENNIAL DEVELOPMENTS CORPORATION

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1 EAST ELEVATION (FRONT)
 A4.0 SCALE 1:100

3 WEST ELEVATION (REAR)
 A4.0 SCALE 1:100



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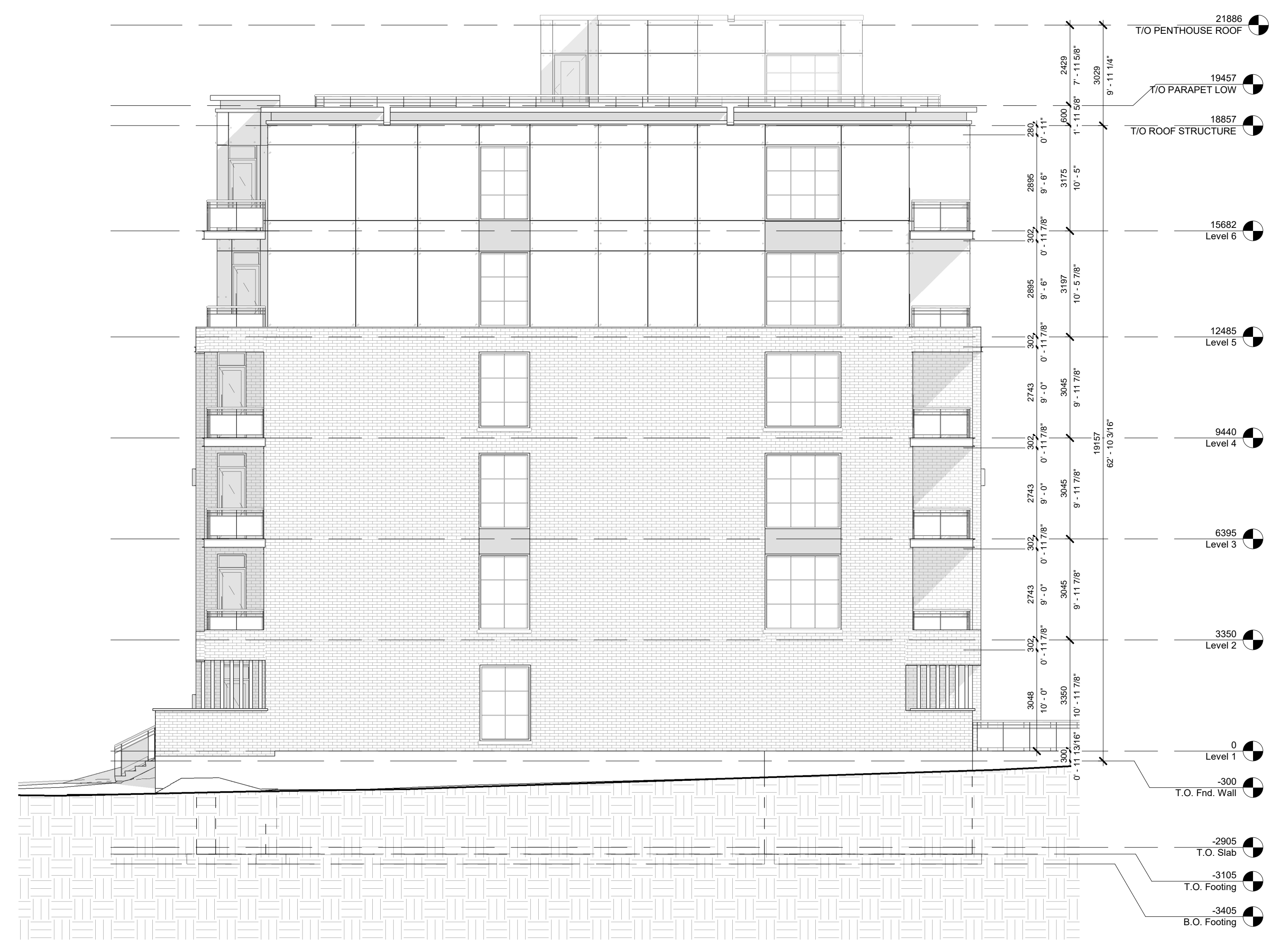
PROJECT:
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 54, 56 & 60 BAYSWATER AVENUE, OTTAWA ON
 SHEET TITLE:
ELEVATIONS

DRAWN BY: R.R. CHECKED BY: B.L.
 PLOT DATE: 2021-11-26 11:35:44 AM PROJECT DATE: NOVEMBER 23, 2020
 JOB NUMBER: SL-1034-20 SCALE: 1:100

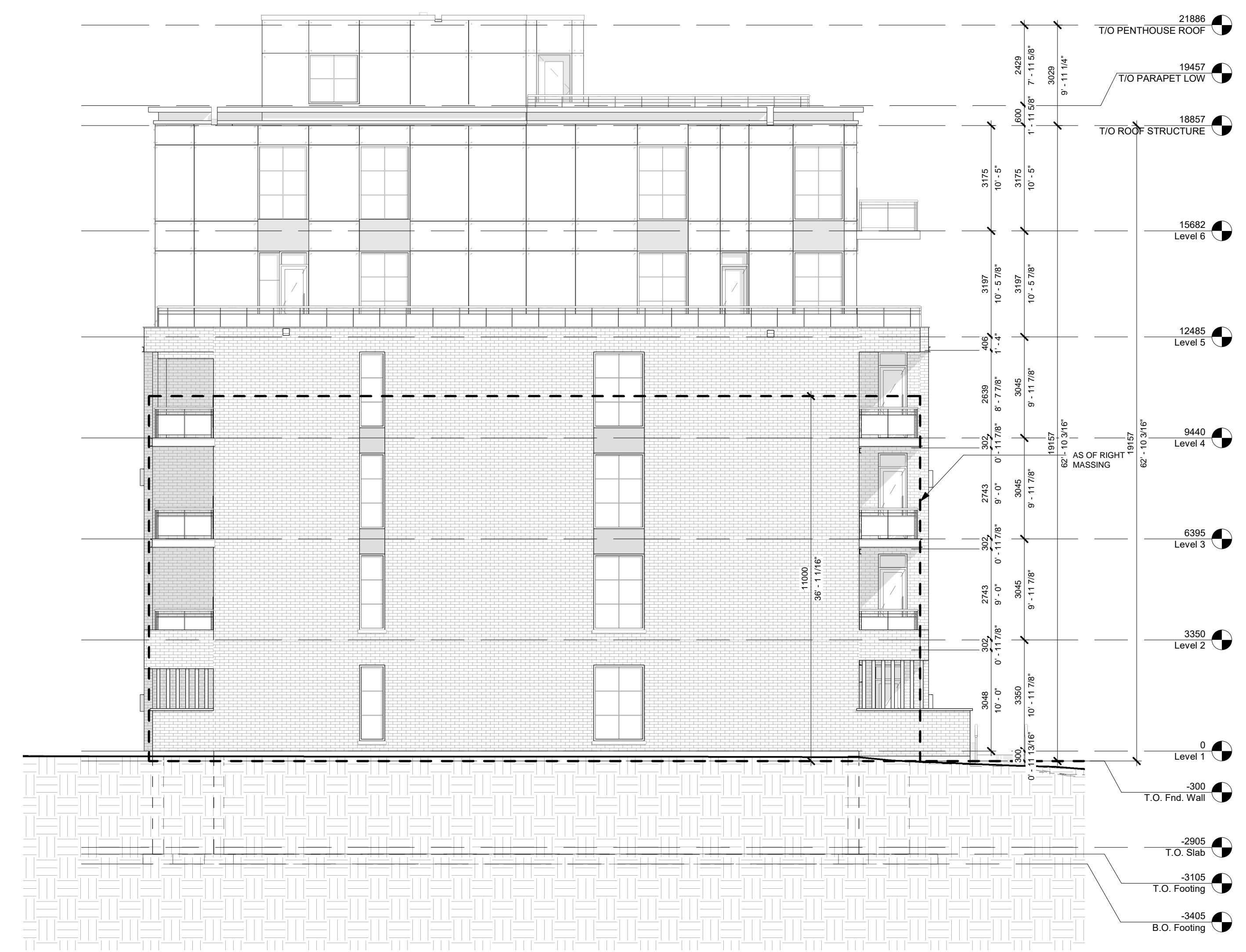
A4.0 PLAN # APPLICATION #

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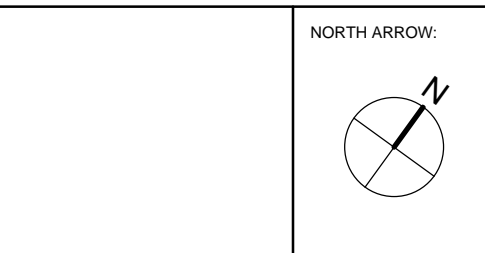
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1 NORTH ELEVATION (SIDE)
 A4.1 SCALE 1:100



2 SOUTH ELEVATION (SIDE)
 A4.1 SCALE 1:100



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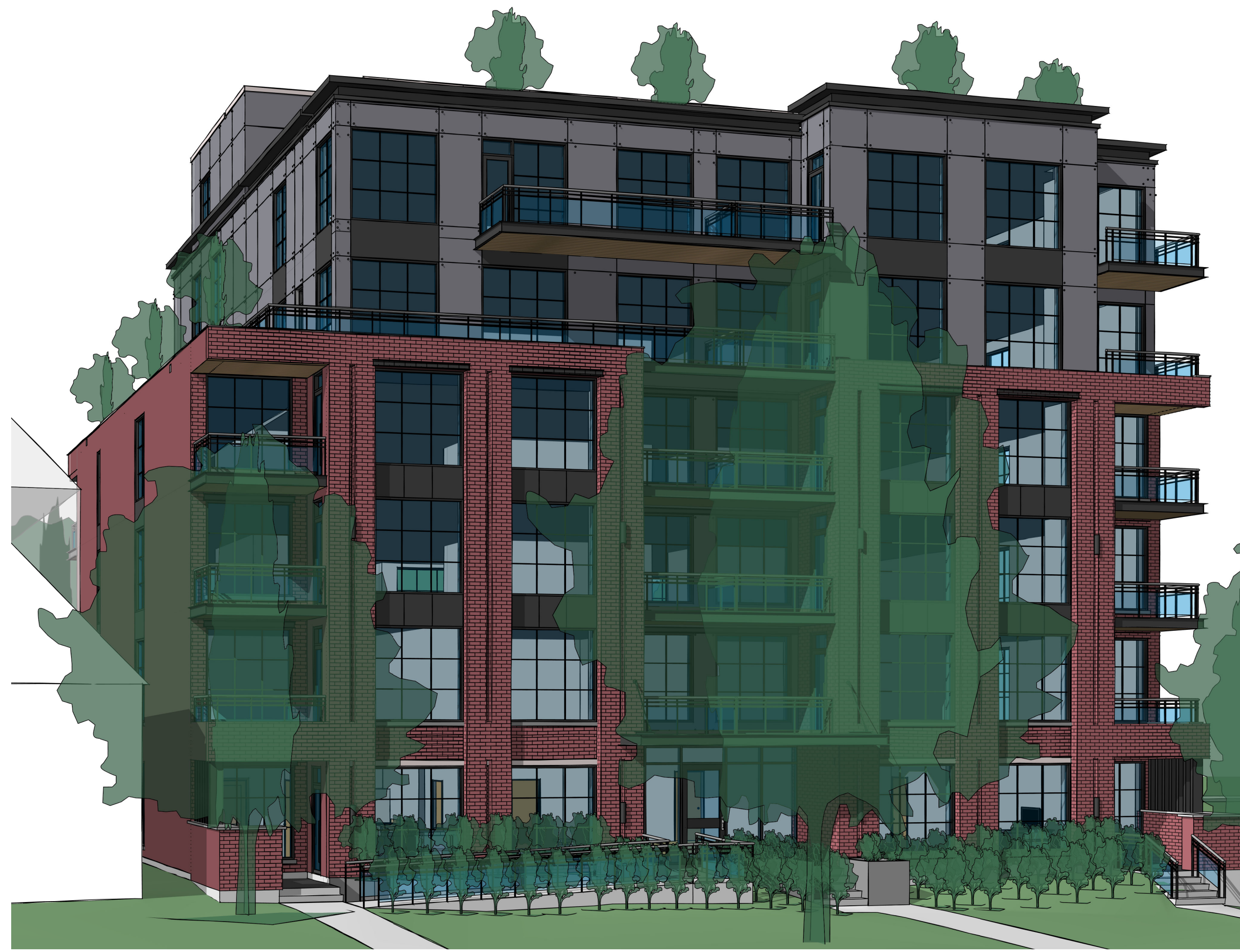


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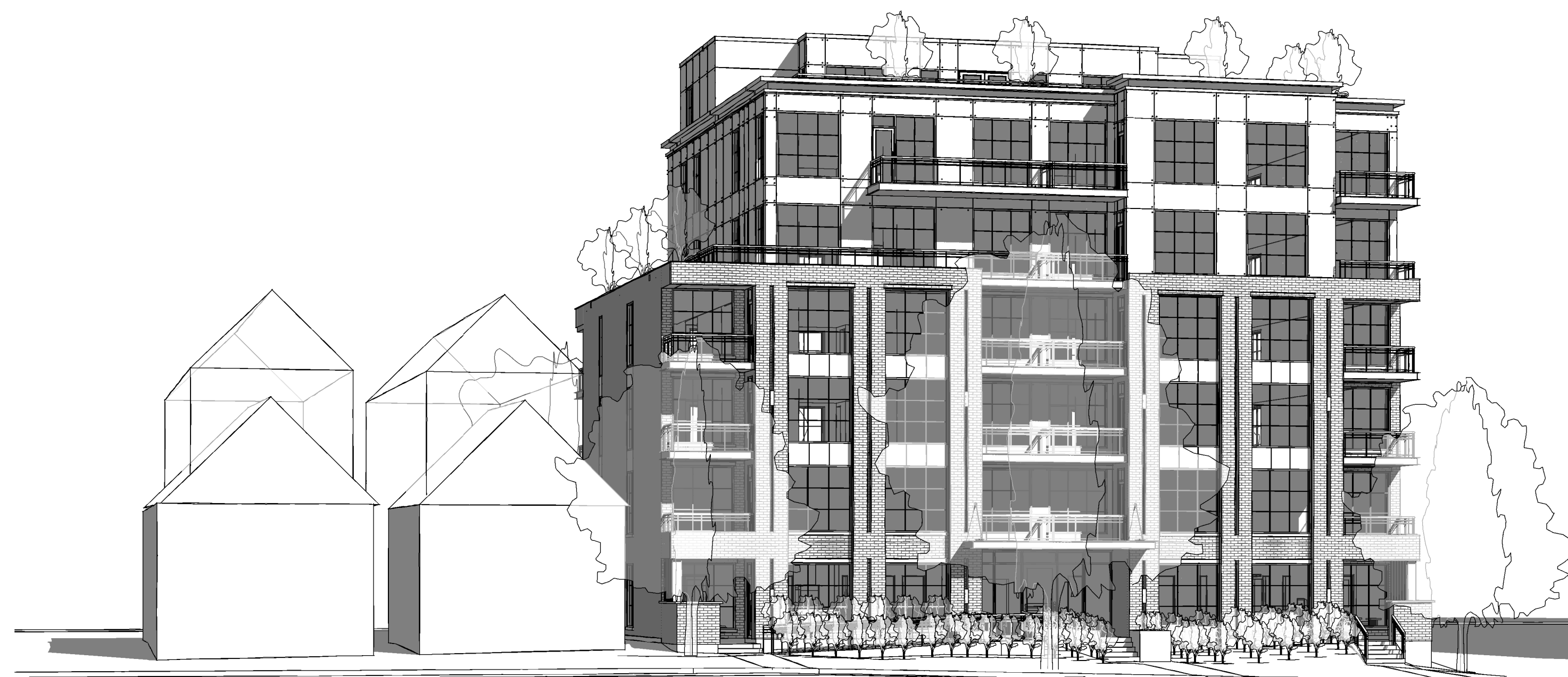
PROJECT:
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 54, 56 & 60 BAYSWATER AVENUE, OTTAWA ON

SHEET TITLE:
ELEVATIONS

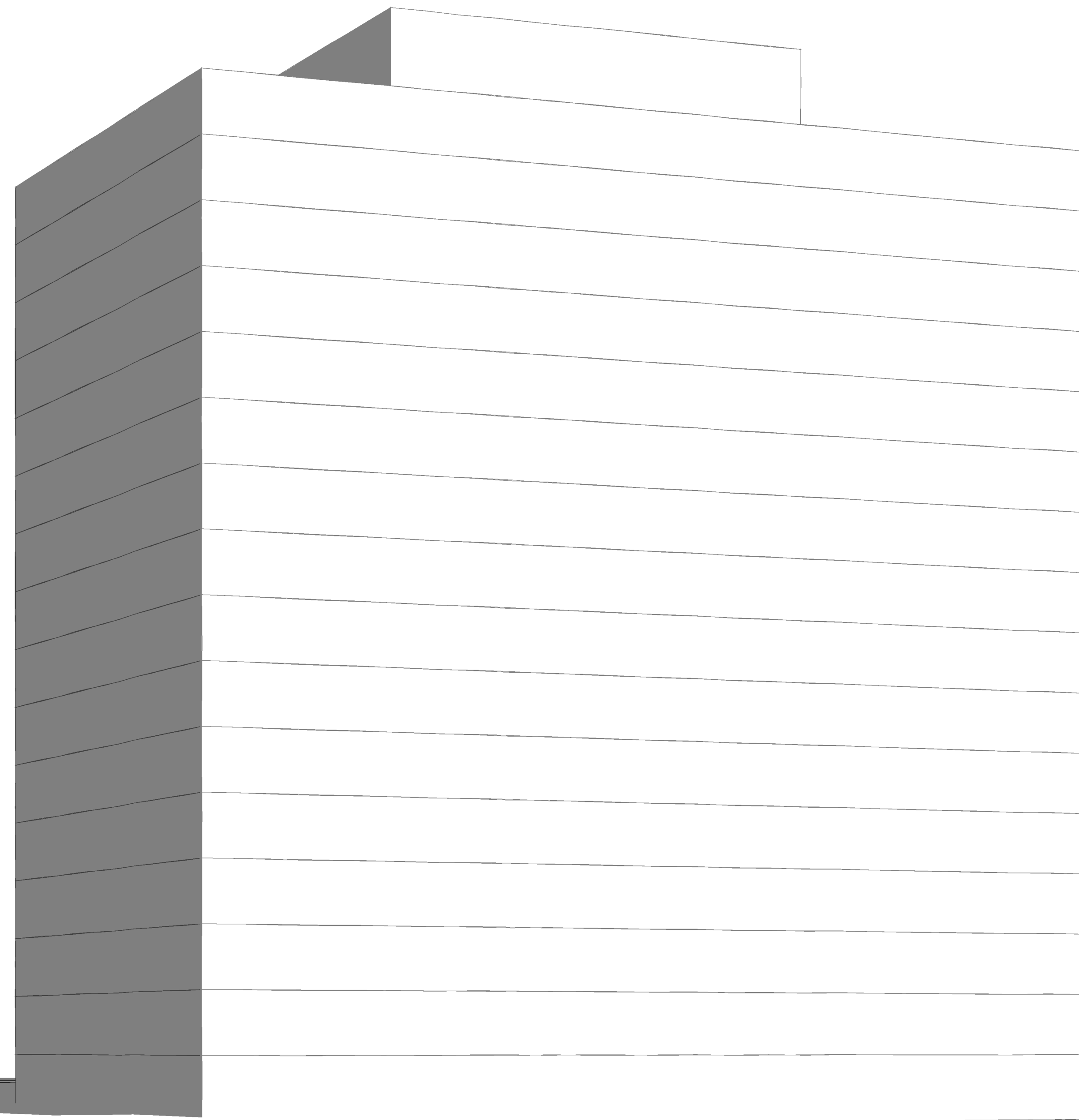
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 PLOT DATE: 2021-11-26 10:45:51 AM PROJECT DATE: NOVEMBER 23, 2020
 JOB NUMBER: SL-1034-20 SCALE: 1:100



1 PERSPECTIVE VIEW
A4.2 SCALE



2 BUILDING CONTEXT
A4.2 SCALE

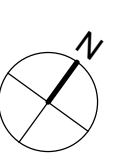


CLIENT NAME

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54, 56 & 60 BAYSWATER AVENUE, OTTAWA ON

SHEET TITLE: PERSPECTIVES

DRAWN BY: R.R. CHECKED BY: B.L.
PLOT DATE: 2021-11-26 11:41:07 AM PROJECT DATE: NOVEMBER 23, 2020
JOB NUMBER: SL-1034-20 SCALE:

A4.2

APPLICATION #