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### Legend

- ORIGINAL GROUND ELEVATION
- PROPOSED ELEVATION
- PROPOSED LOT CORNER ELEVATION
- EXISTING ELEVATION AT LOT CORNER
- FLOW DIRECTION AND GRADE
- FINISHED FIRST FLOOR ELEVATION
- TOP OF FOUNDATION ELEVATION
- UNDERSIDE OF FOOTING ELEVATION
- TERRACING 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN)
- PROPOSED SWALE
- DIRECTION OF OVERLAND FLOW
- PROPOSED VALVE BOX
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED DEPRESSED CURB LOCATION
- MAX PONDING LIMITS
- APPROXIMATE LOCATION OF PROPOSED SCUPPER. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- APPROXIMATE LOCATION OF PROPOSED ROOF DRAIN. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

### Notes

1	ISSUED FOR REVIEW	WAJ	KJK	21.06.18
Revision		By	Appd.	YY.MM.DD

File Name:	160401667-D8.dwg	WAJ	KJK	WAJ	21.04.22
		Dwn.	Chkd.	Dgn.	YY.MM.DD

### Permit-Seal



Client/Project  
12318407 CANADA INC.

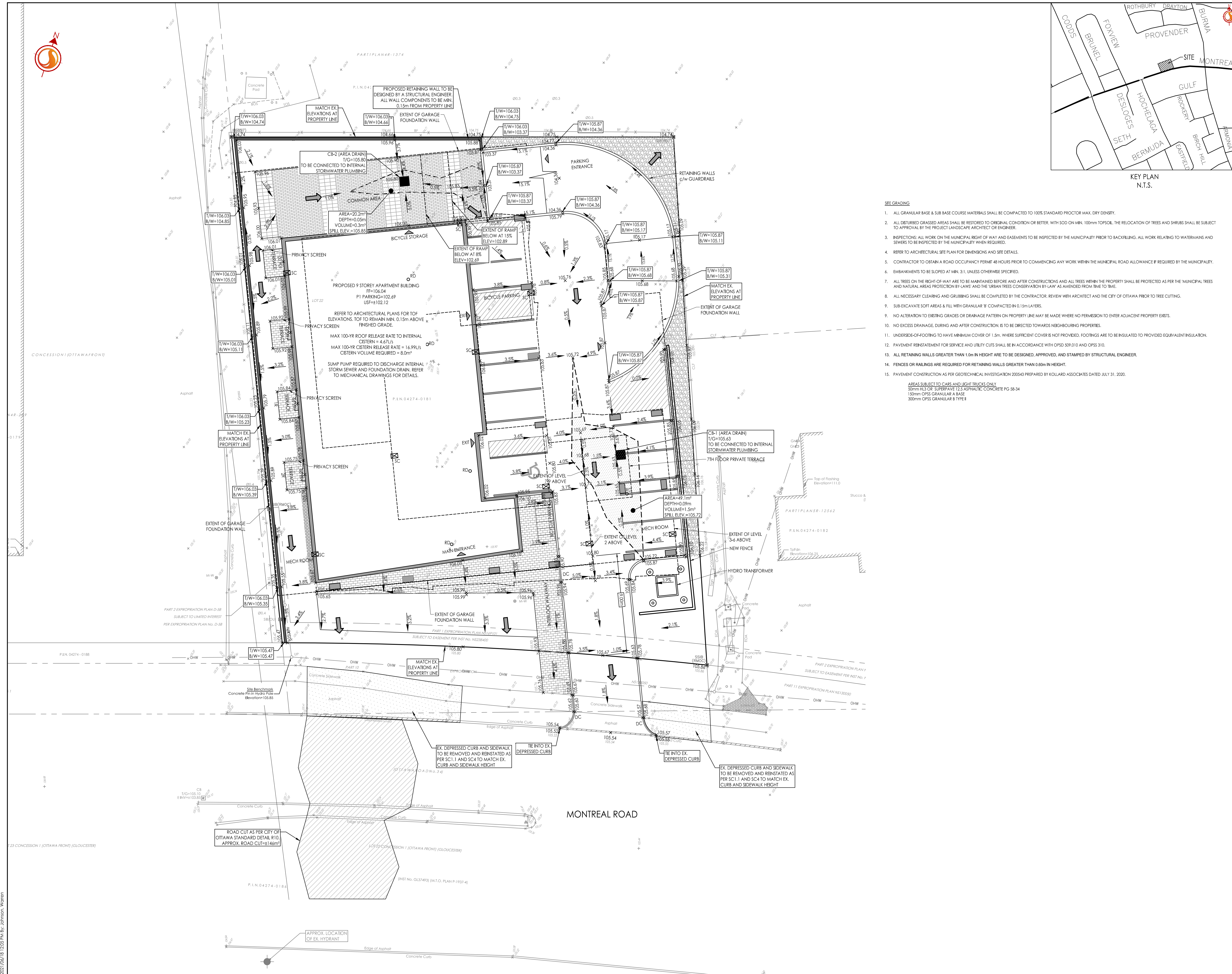
971 MONTREAL ROAD

OTTAWA, ON

Title  
GRADING PLAN

Project No. 160401667  
Scale 1:150  
Sheet 3 of 5

Drawing No. GP-1  
Revision 1



- #### SITE GRADING
- ALL GRANULAR BASE & SUB-BASE COURSE MATERIALS SHALL BE COMPACTED TO 100% STANDARD PROCTOR MAX. DRY DENSITY.
  - ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOD ON MIN. 100mm TOPSOIL. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
  - INSPECTIONS: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMANS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED.
  - REFER TO ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND SITE DETAILS.
  - CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT 48 HOURS PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY.
  - EMBANKMENTS TO BE SLOPED AT MIN. 3:1, UNLESS OTHERWISE SPECIFIED.
  - ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTIONS AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER THE 'MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAWS' AND THE URBAN TREES CONSERVATION BY-LAW AS AMENDED FROM TIME TO TIME.
  - ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR, REVIEW WITH ARCHITECT AND THE CITY OF OTTAWA PRIOR TO TREE CUTTING.
  - SUB-EXCAVATE SOFT AREAS & FILL WITH GRANULAR 'B' COMPACTED IN 0.15m LAYERS.
  - NO ALTERATION TO EXISTING GRADES OR DRAINAGE PATTERN ON PROPERTY LINE MAY BE MADE WHERE NO PERMISSION TO ENTER ADJACENT PROPERTY EXISTS.
  - NO EXCESS DRAINAGE DURING AND AFTER CONSTRUCTION. IS TO BE DIRECTED TOWARDS NEIGHBOURING PROPERTIES.
  - UNDERSIDE-OF-FOOTING TO HAVE MINIMUM COVER OF 1.5m, WHERE SUFFICIENT COVER IS NOT PROVIDED, FOOTINGS ARE TO BE INSULATED TO PROVIDED EQUIVALENT INSULATION.
  - PAVEMENT REINSTATEMENT FOR SERVICE AND UTILITY CUTS SHALL BE IN ACCORDANCE WITH OPSD 509.010 AND OPSD 310.
  - ALL RETAINING WALLS GREATER THAN 1.0m IN HEIGHT ARE TO BE DESIGNED, APPROVED, AND STAMPED BY STRUCTURAL ENGINEER.
  - FENCES OR RAILINGS ARE REQUIRED FOR RETAINING WALLS GREATER THAN 0.60m IN HEIGHT.
  - PAVEMENT CONSTRUCTION AS PER GEOTECHNICAL INVESTIGATION 200543 PREPARED BY KOLAR ASSOCIATES DATED JULY 31, 2020.
- AREAS SUBJECT TO CARS AND LIGHT TRUCKS ONLY  
50mm H3 OR SUPERPAVE 12.5 ASPHALTIC CONCRETE PG 58-34  
150mm OPSS GRANULAR A BASE  
300mm OPSS GRANULAR B TYPE II

