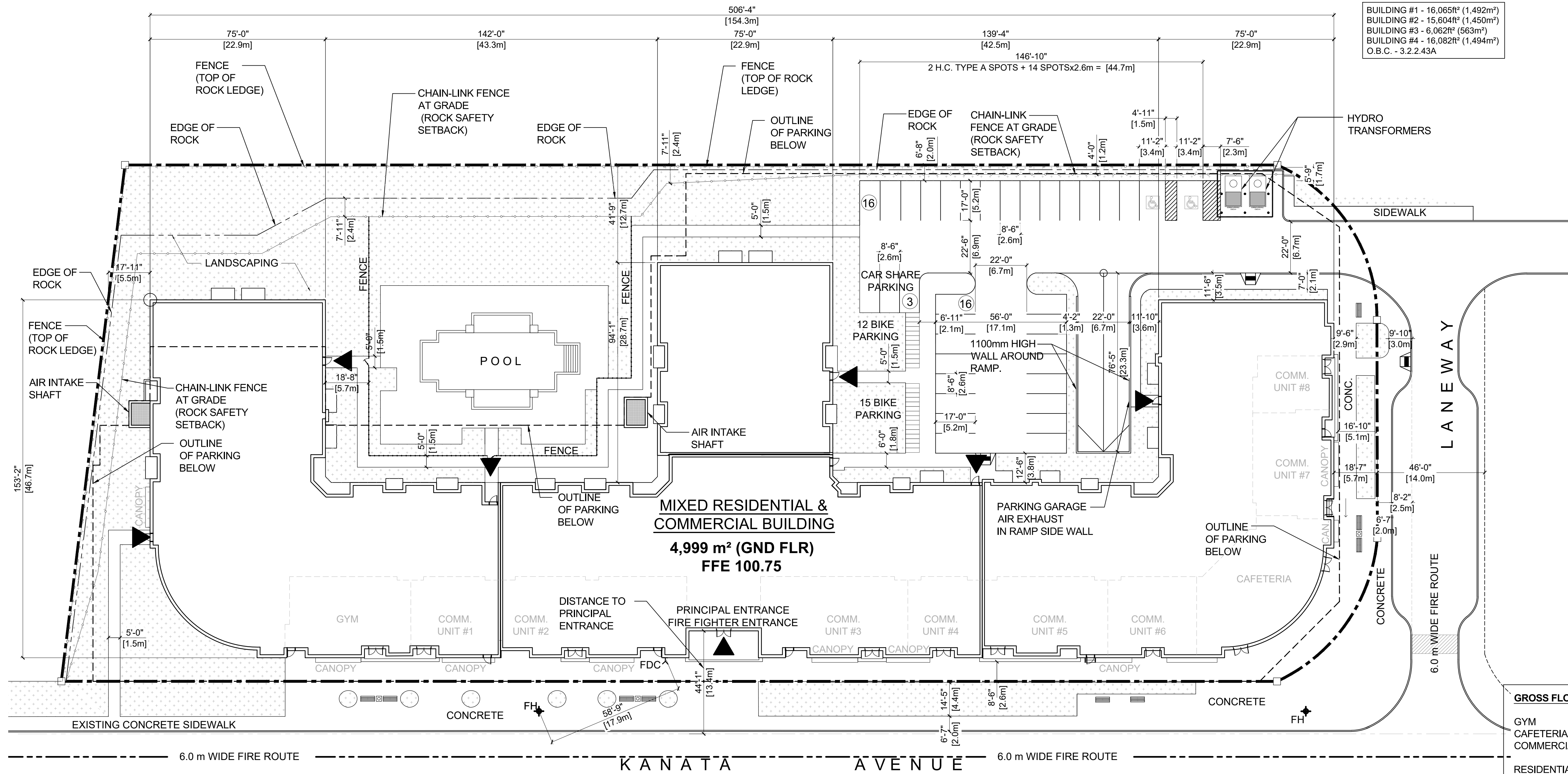
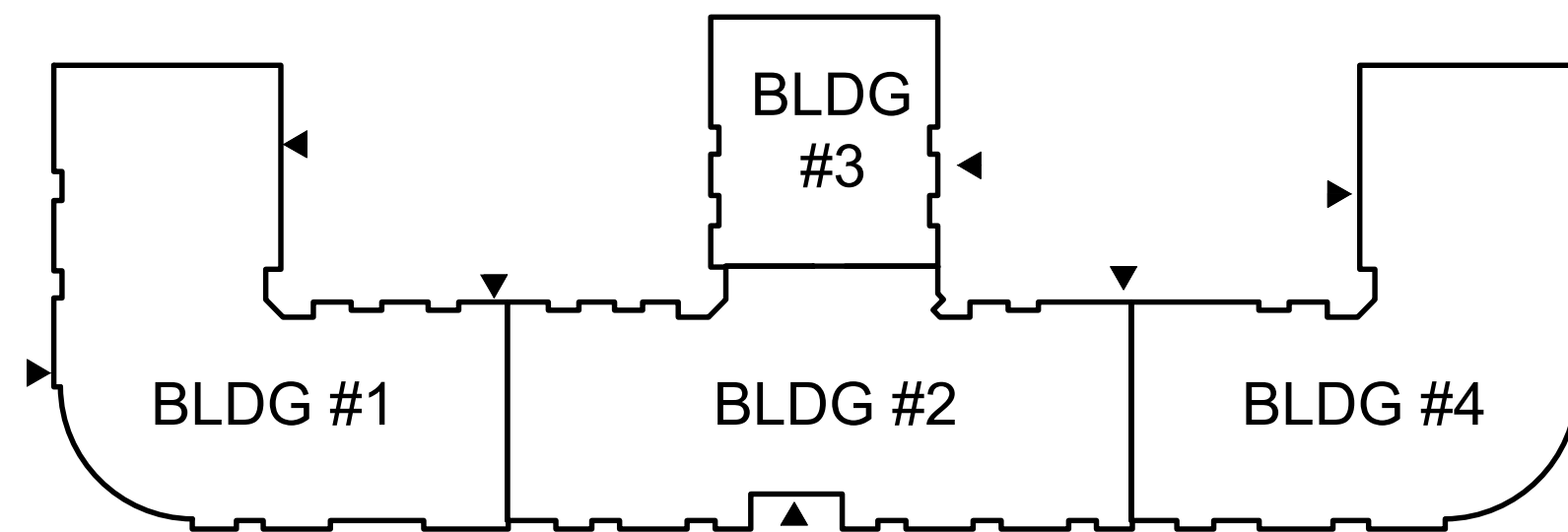


AVERAGE NUMBER OF BEDROOMS PER DWELLING UNIT									
NO. OF UNITS:	GROUND FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	TOTAL NUMBER OF UNITS	NUMBER OF BEDROOMS	% OF BEDROOMS
STUDIO	2	3	3	3	3	3	17	17	3.84
ONE BEDROOM	18*	26	26	26	26	26	148*	148*	33.41
TWO BEDROOM	9*	26	26	26	26	26	139*	278*	62.73
TOTAL COMBINED	29*	55	55	55	55	55	304*	443	100%
AVERAGE NUMBER OF BEDROOMS								1.46	

*2 MODEL/GUEST UNITS INCLUDED IN STATS

BARRIER FREE UNITS				
NO. OF UNITS = 304 x 15% = 46 UNITS REQ'D				
TYPE OF UNITS	# OF UNITS	REQ'D B.F. UNITS (15%)	PROVIDED B.F. UNITS	
STUDIO	17	2.55	5	
ONE BEDROOM	148*	22.20	23	
TWO BEDROOM	139*	20.85	25	
TOTAL COMBINED	304*	45.60	53	

*2 MODEL/GUEST UNITS INCLUDED IN STATS



CITY OF OTTAWA ZONING BY-LAW 2008-250		
MCS H(35) (MIXED-USE CENTRE ZONE)		
PROPOSED MID-RISE MIXED-USE DEVELOPMENT		
ZONING PROVISION	REQUIRED	PROVIDED
MIXED-USE CENTRE ZONE PROVISIONS		
LOT AREA (MIN.)	NO MINIMUM	11,135.1m ²
LOT WIDTH (MIN.)	NO MINIMUM	+/- 158.7m
FRONT YARD SETBACK (MIN. / MAX.)	NO MINIMUM / MAXIMUM 3.5m	2.6 m
INTERIOR SIDE YARD SETBACK (MIN.)	NO MINIMUM, EXCEPT WHERE THE BUILDING WALL CONTAINS ROOM WINDOWS, THE MINIMUM SETBACK ADJACENT TO WINDOWS IS 3.5m	5.1 m (EAST) & 5.5 m (WEST)
REAR YARD SETBACK (MIN.)	NO MINIMUM, EXCEPT WHERE THE BUILDING WALL CONTAINS ROOM WINDOWS, THE MINIMUM SETBACK ADJACENT TO WINDOWS IS 6m	12.7 m
FLOOR SPACE INDEX (MAX.)	2	2.04
FLOOR SPACE INDEX NON-RESIDENTIAL (MIN.)	0.75	0.13
BUILDING HEIGHT (MIN. / MAX.)	MINIMUM 6.7m / MAXIMUM 35.0m	21.2 m
WIDTH OF LANDSCAPED AREA (MIN.)	NO MINIMUM	VARIES

PARKING PROVISIONS (AREA C)		
PARKING SPACES (MIN.)	1.0 PER DWELLING UNIT = 304	TOTAL = 387
	3.4 PER 100m ² GFA RETAIL = 33.1	
	10 PER 100m ² GFA GYM = 15.3	
	10 PER 100m ² GFA CAFÉ = 17	
VISITOR PARKING SPACES (MIN.)	0.2 PER DWELLING UNIT = 60.8	
TOTAL REQUIRED	TOTAL = 430	
ACCESSIBLE PARKING SPACES (MIN.)	5 TYPE A & 5 TYPE B	10 TOTAL
BICYCLE PARKING SPACES (MIN.)	0.5 PER DWELLING UNIT = 152	TOTAL = 244 INCLUDES 0.75 PER DWELLING UNIT
	1 PER 250m ² GFA RETAIL = 5	
	1 PER 250m ² GFA CAFE = 1	
	1 PER 1500m ² GFA GYM = 0	

AMENITY AREA PROVISIONS		
TOTAL AMENITY AREA (MIN.)	6m ² PER DWELLING UNIT = 1824	4,575 m ²
COMMUNAL AMENITY AREA (MIN.)	50% OF TOTAL = 912 m ²	3,222 m ²

AMENITY AREAS	
COMMUNAL POOL/GRASS	= 2,465m ² (26,534ft ²)
ROOF TOP	= 379m ² (4,075ft ²)
GND FLR AMENITIES	= 379m ² (4,076ft ²)
PRIVATE BALCONIES	
GND FLOOR	= 135m ² (1,456ft ²)
2ND FLOOR	= 243m ² (2,617ft ²)
3RD FLOOR	= 245m ² (2,635ft ²)
4TH FLOOR	= 244m ² (2,627ft ²)
5TH FLOOR	= 243m ² (2,612ft ²)
6TH FLOOR	= 243m ² (2,612ft ²)
TOTAL	= 4,575m² (49,244ft²)

GROSS FLOOR AREAS (GFA) - PER CITY	
GYM	= 153m ² (1,644ft ²)
CAFETERIA	= 213m ² (2,292ft ²)
COMMERCIAL	= 1,083m ² (11,659ft ²)
RESIDENTIAL (1ST FLR)	= 2,020m ² (21,739ft ²)
RESIDENTIAL (2ND FLR)	= 4,240m ² (45,640ft ²)
RESIDENTIAL (3RD FLR)	= 4,240m ² (45,640ft ²)
RESIDENTIAL (4TH FLR)	= 4,240m ² (45,640ft ²)
RESIDENTIAL (5TH FLR)	= 4,240m ² (45,640ft ²)
RESIDENTIAL (6TH FLR)	= 4,240m ² (45,640ft ²)

BUILDING AREA CALCULATIONS (PERIMETER)	
U/G LEVEL 1 =	8,488m ² (91,359ft ²)
U/G LEVEL 2 =	3,056m ² (32,895ft ²)
GROUND FLR =	4,999m ² (53,813ft ²)
2ND FLR =	4,996m ² (53,773ft ²)
3RD FLR =	4,990m ² (53,710ft ²)
4TH FLR =	4,986m ² (53,669ft ²)
5TH FLR =	4,986m ² (53,669ft ²)
6TH FLR =	4,986m ² (53,669ft ²)
ROOF =	148m ² (1,596ft ²)

PARKING					
FLOOR	2.6m x 5.2m	2.4m x 5.2m	BF TYPE 'A' 3.4m x 5.2m	BF TYPE 'B' 2.6m x 5.2m	TOTAL
SITE	33	0	1	1	35
U/G LVL 1	190	73	2	2	267
U/G LVL 2	61	20	2	2	85
TOTAL	289	94	5	5	387



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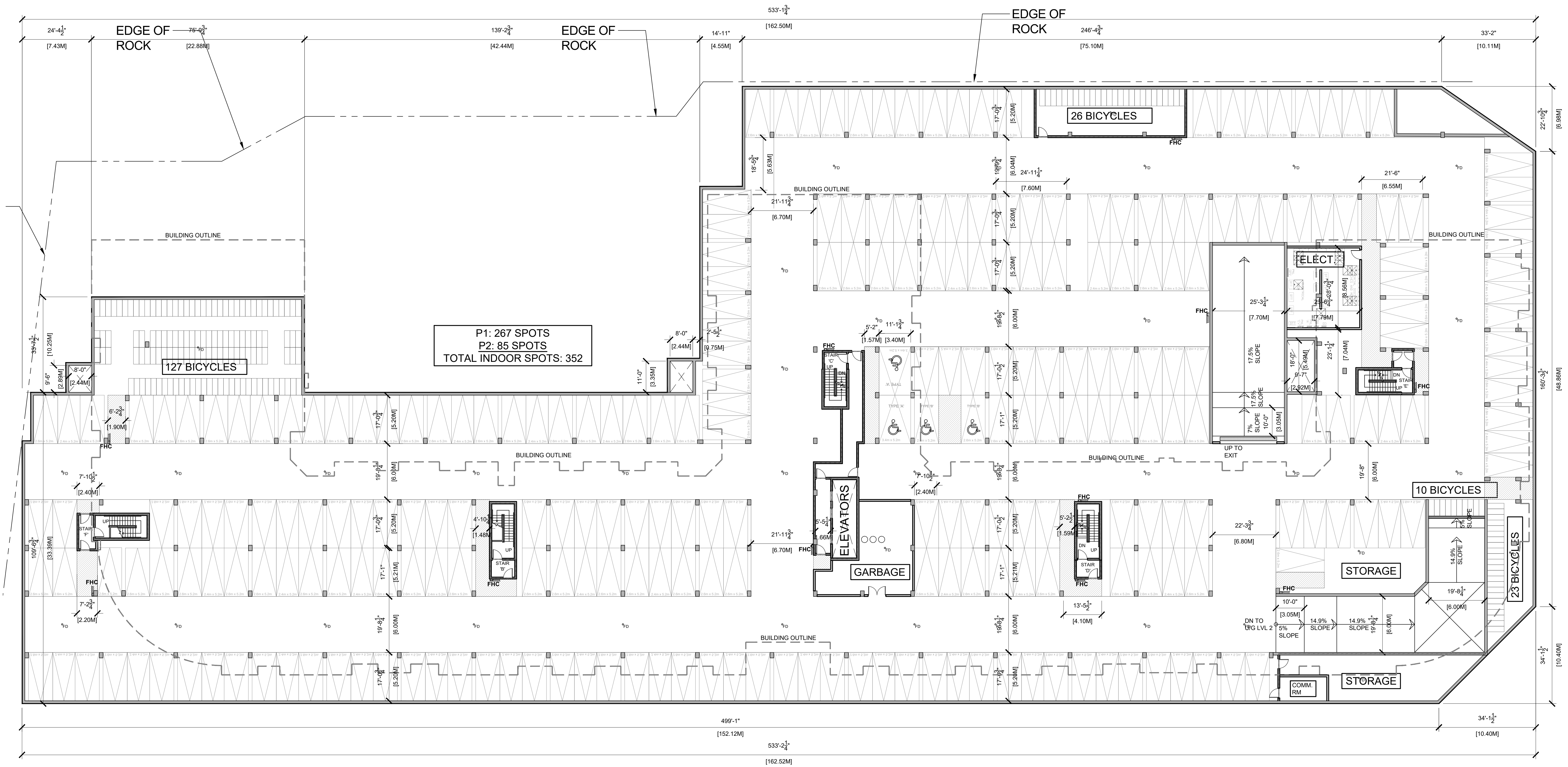
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7			15		
6			14		
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4	OCT. 27.21	RE-ZONING	12		
3	OCT. 20.21	UDRP	11		
2	JUNE 30.21	ZONING	10		
1	JUNE 11.21	REVIEW	9		

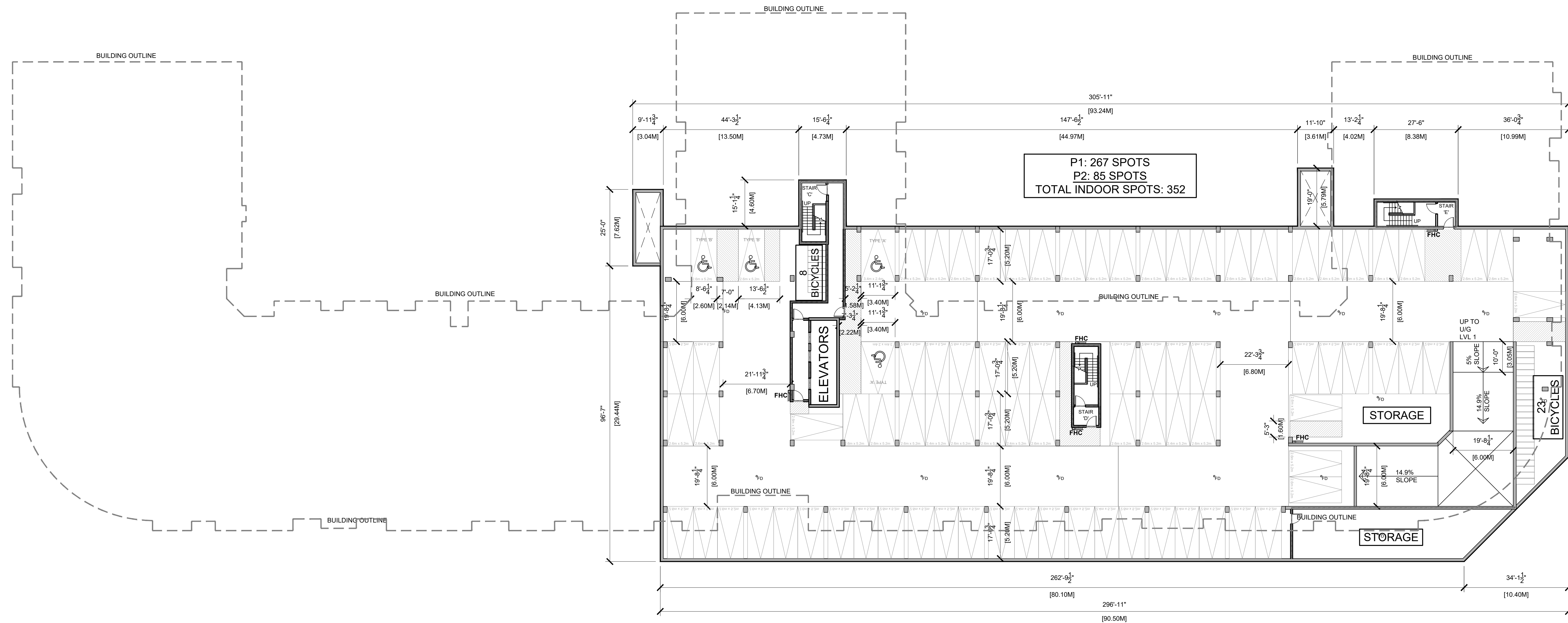
project: THE WOODS ON KANATA AVE.
address: OTTAWA, ON
sheet name: SITE PLAN

project no.: 21-0044
sheet no.: A-001



UNDERGROUND LEVEL 1
 PLAN NORTH
 SCALE: 1/16" = 1'-0"

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8			16		
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6			14		
5			13		
4			12		
3	DEC. 09.21	SPA RESUBMISSION	11		
2	OCT. 27.21	RE-ZONING	10		
1	JUNE 30.21	ZONING	9		



UNDERGROUND LEVEL 2
 SCALE: 1/16" = 1'-0"
 PLAN NORTH

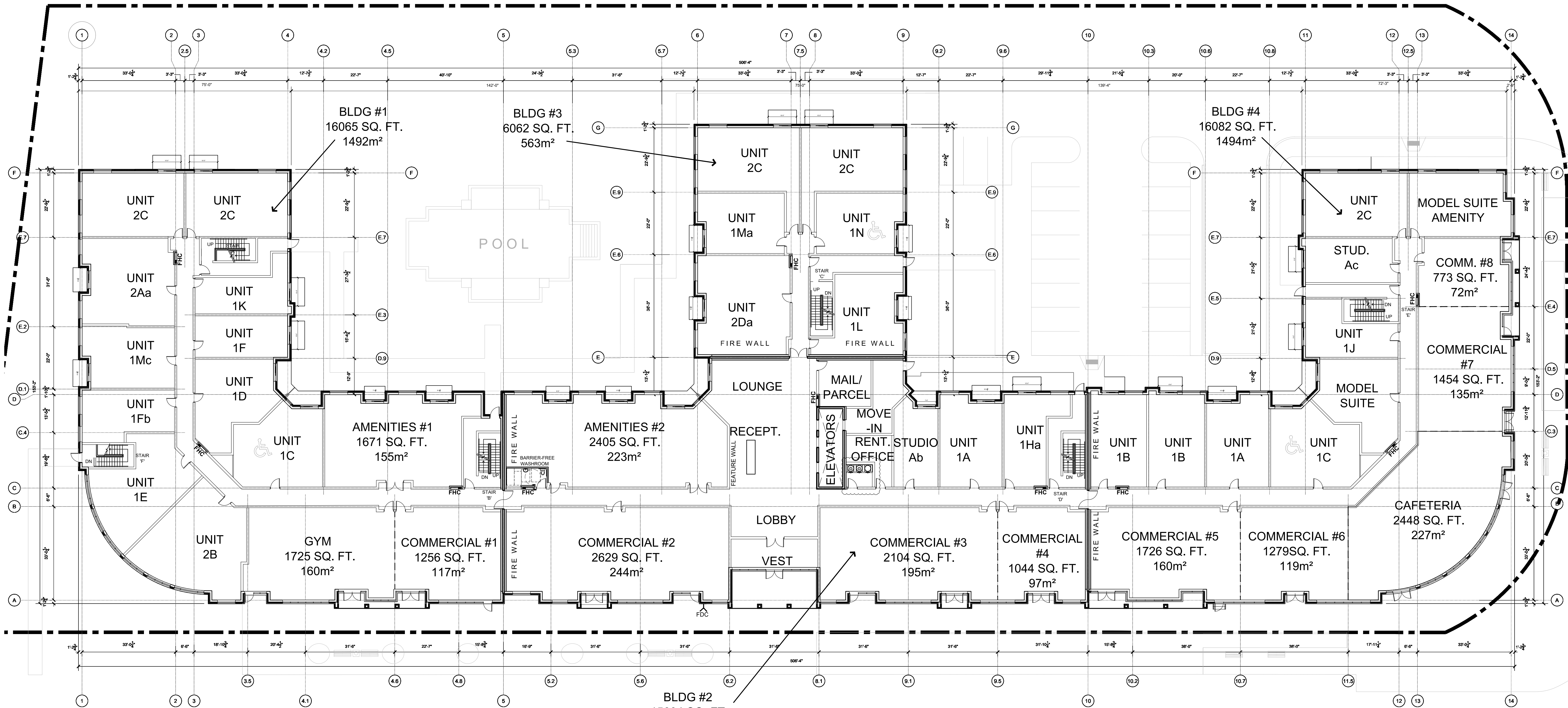
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2	OCT. 27.21	RE-ZONING	10
1	JUNE 30.21	ZONING	9
rev.	date	issued for	rev. date issued for

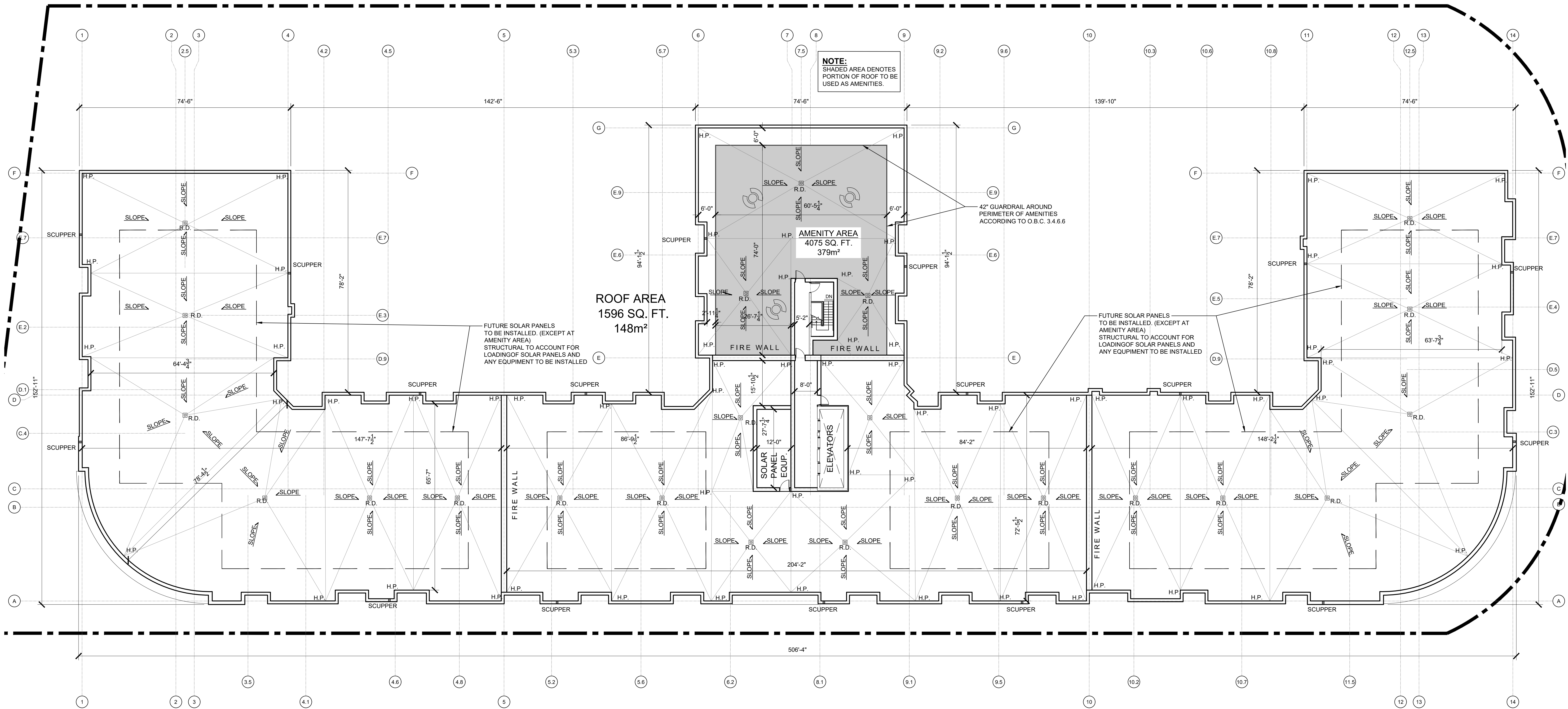
project: THE WOODS ON KANATA AVE.
 address: OTTAWA, ON
 sheet name: UNDERGROUND LEVEL 2

project no.: 21-0044
 sheet no.: A-102



GROUND FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 NORTH

8		16	
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ROOF PLAN
 PLAN NORTH
 SCALE: 1/16" = 1'-0"

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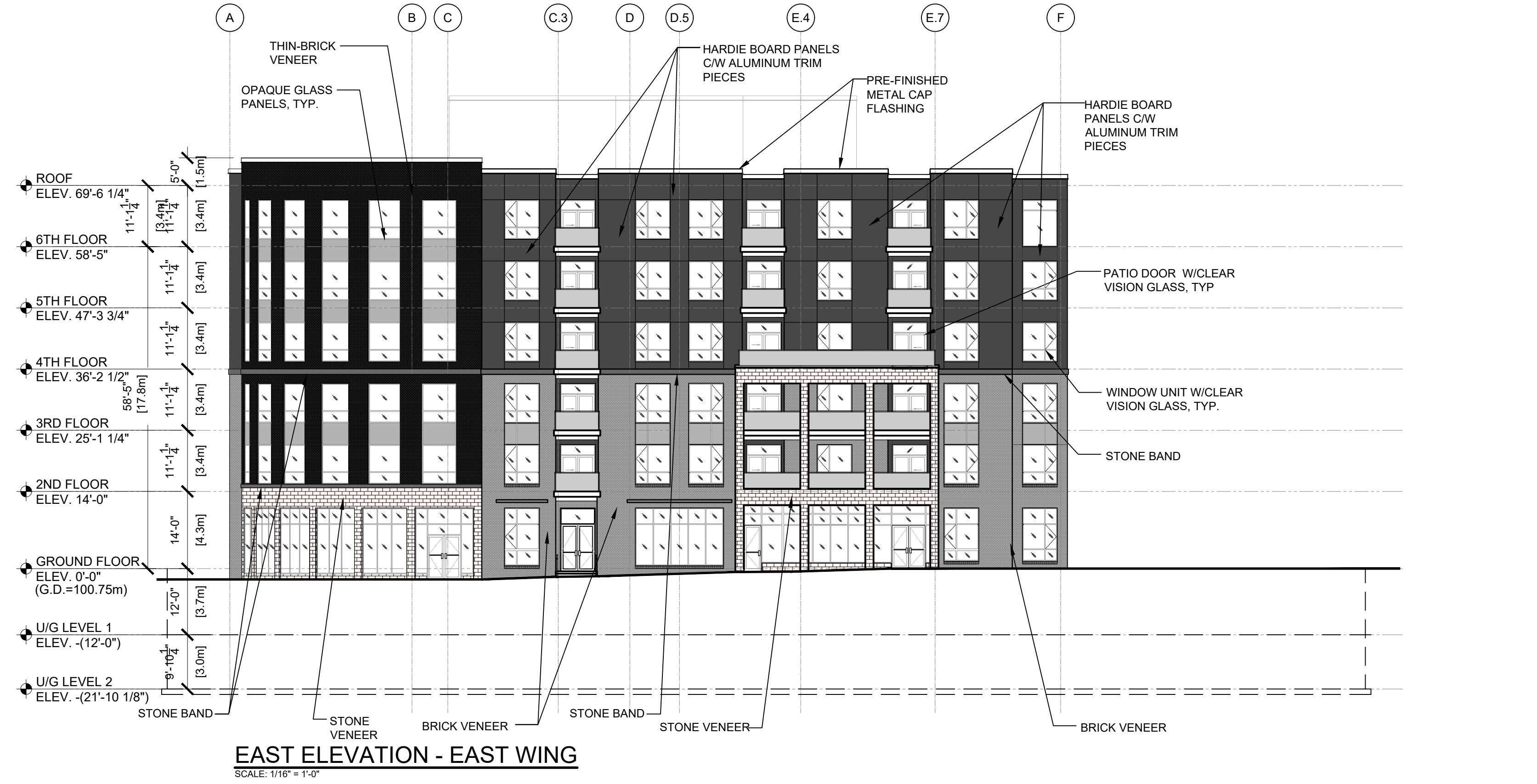
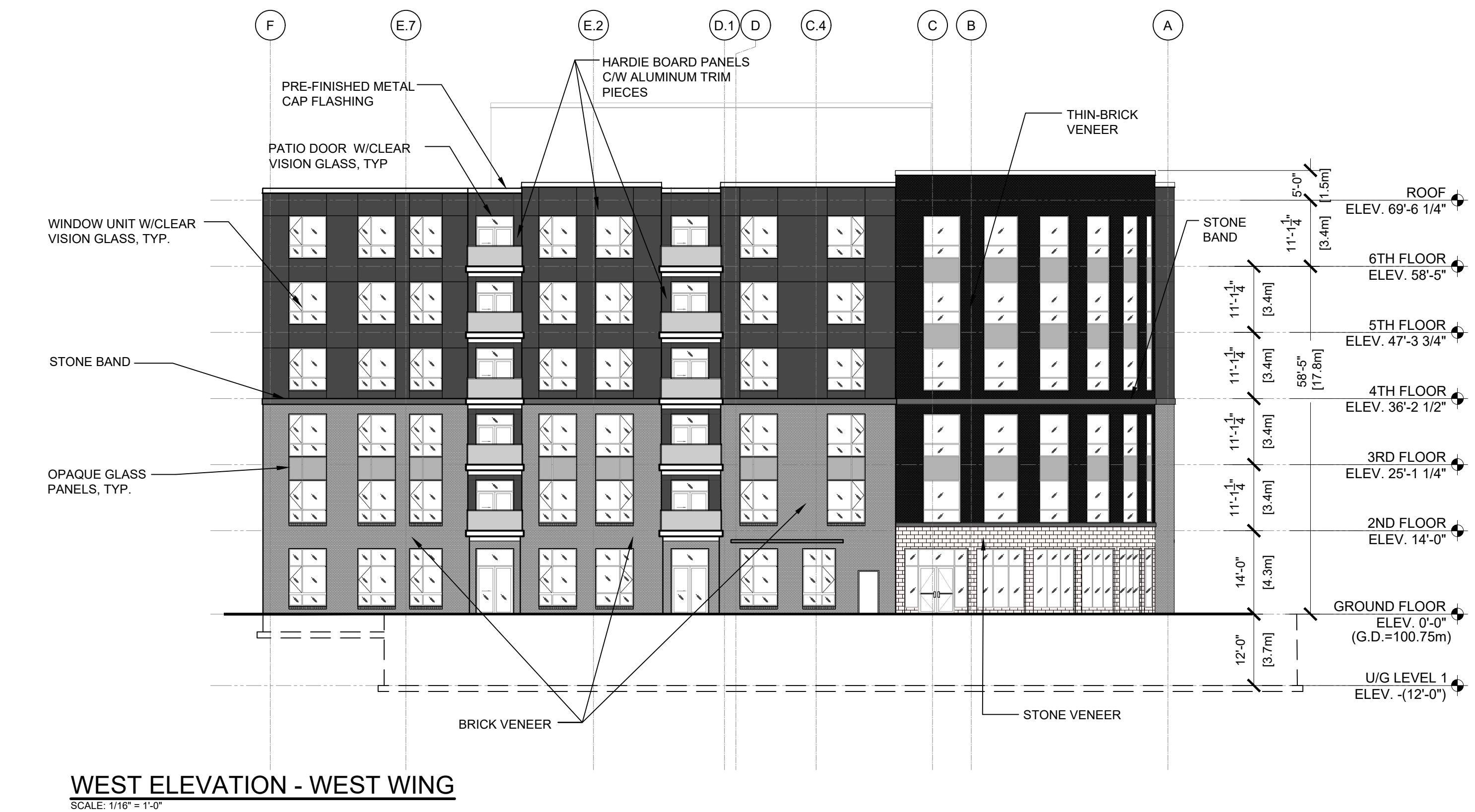
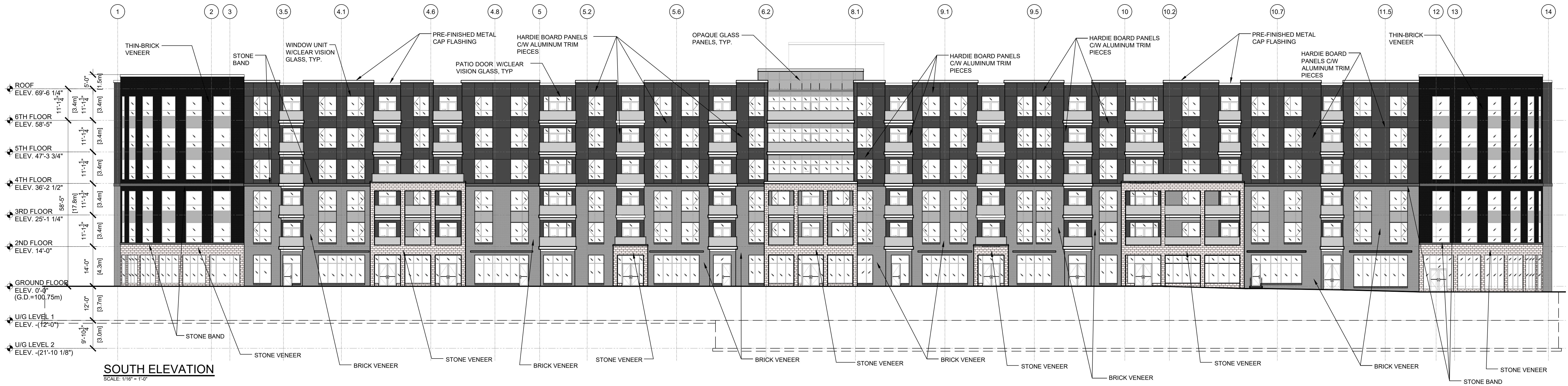
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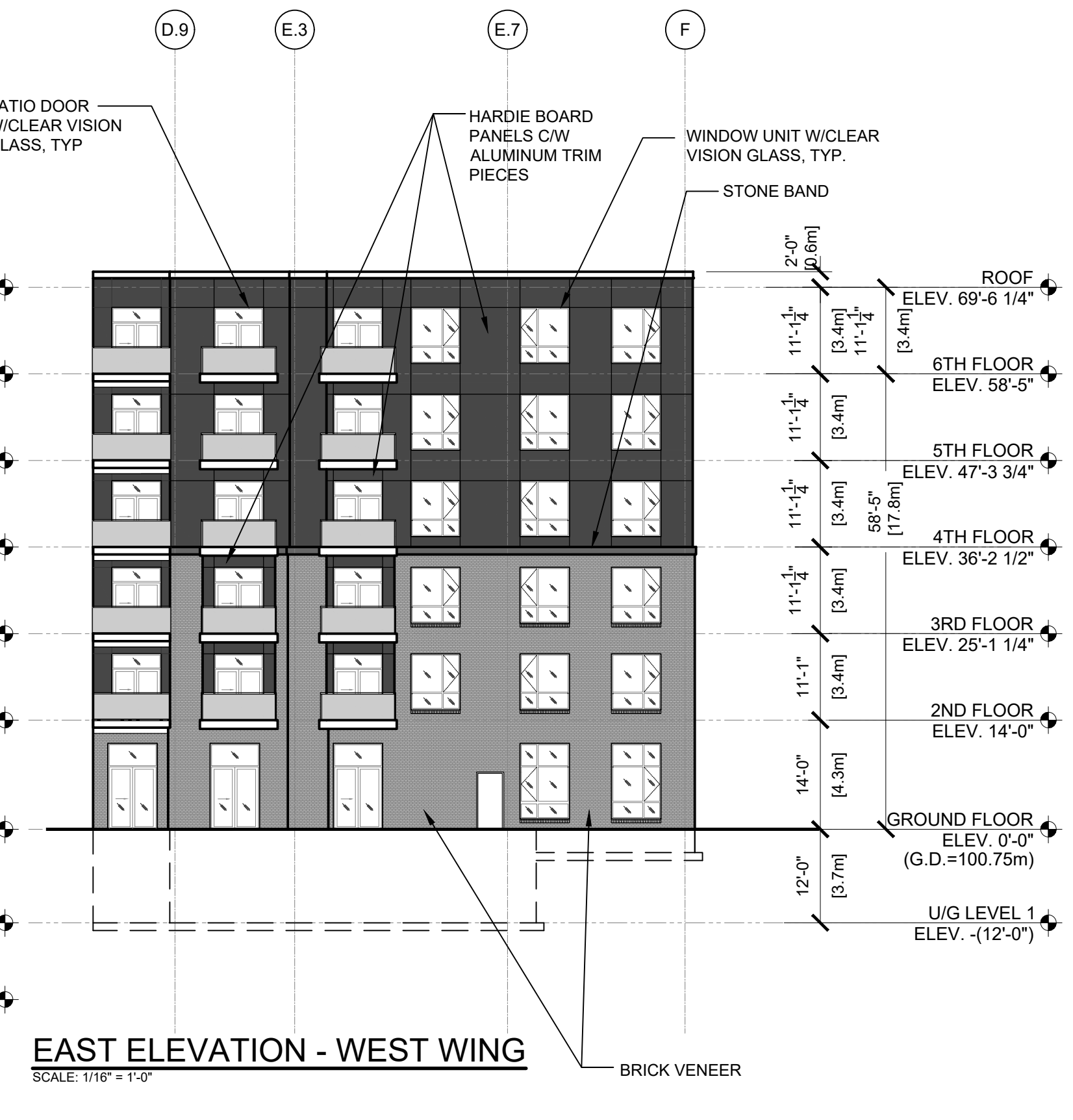
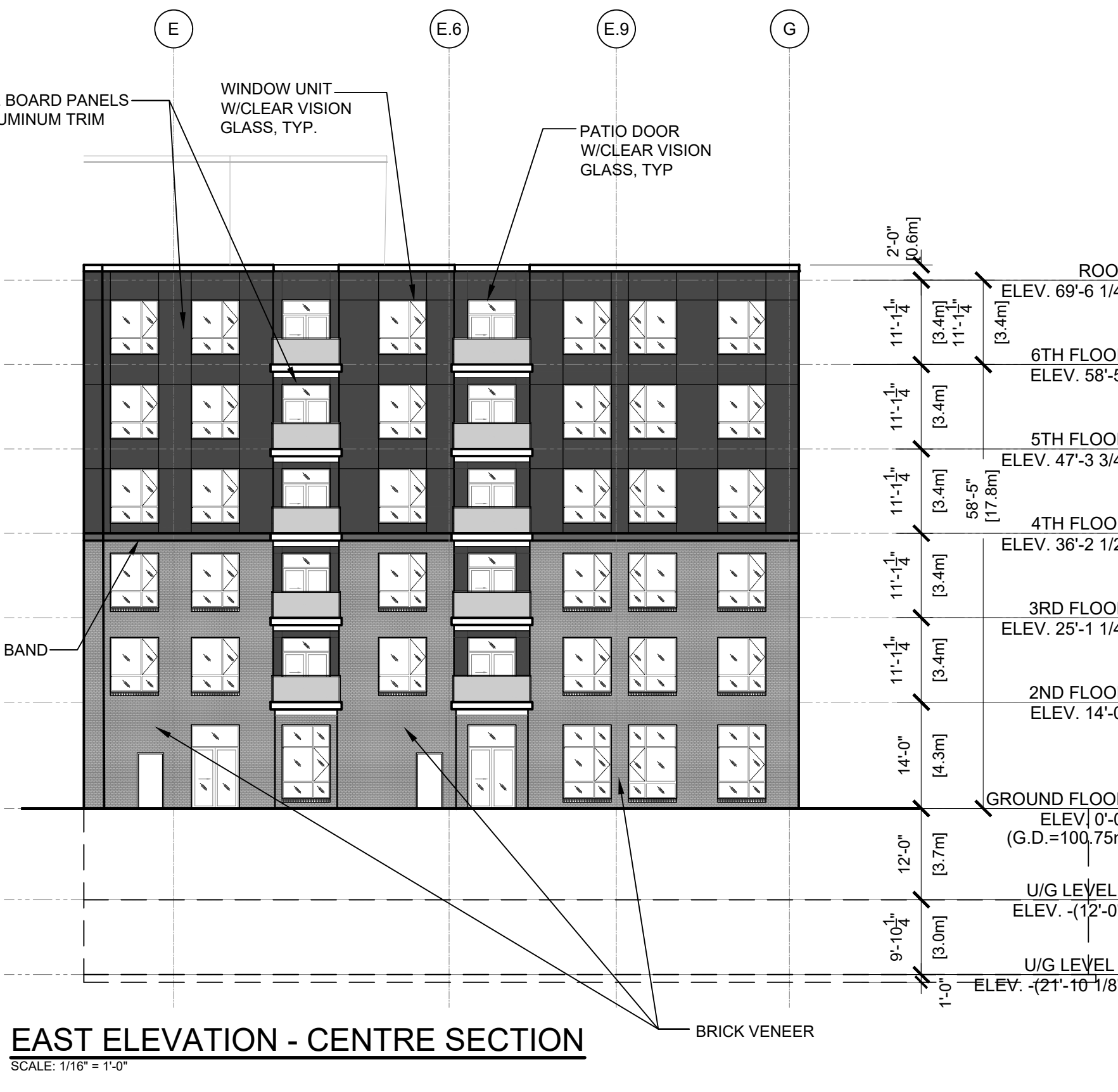
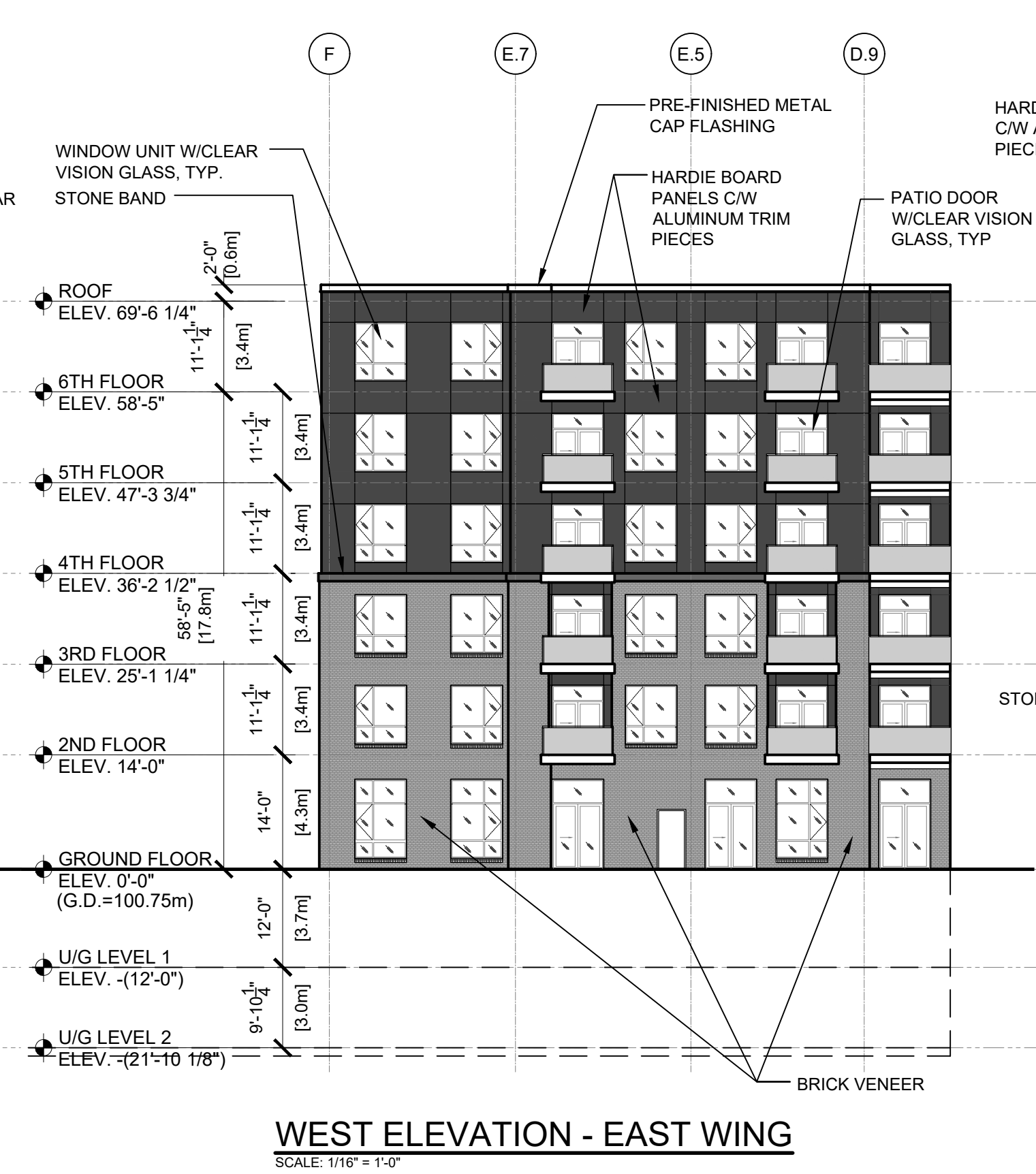
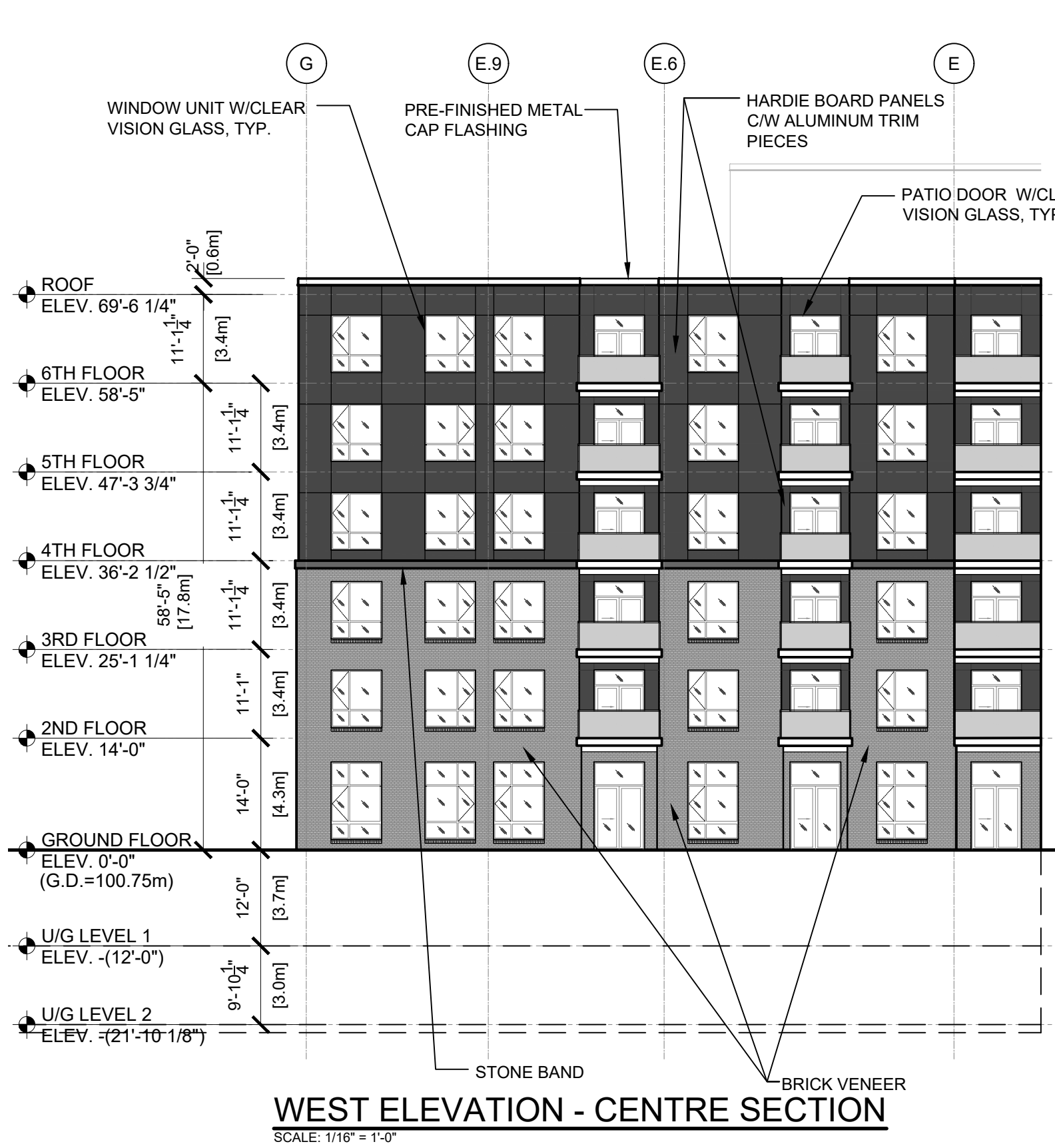
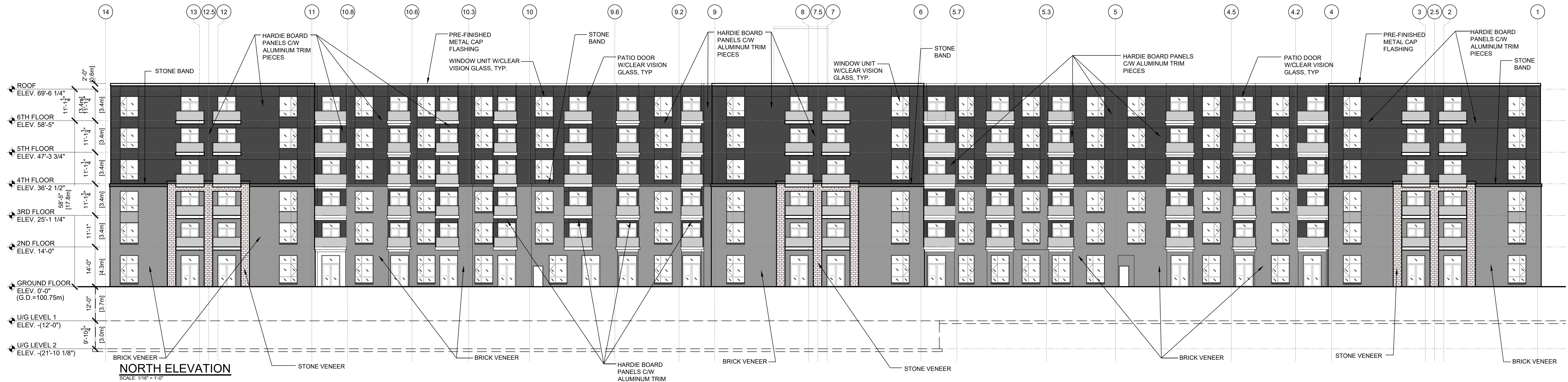
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2	OCT. 20.21	UDRP	10		
1	JUNE 30.21	ZONING	9		

project: THE WOODS ON KANATA AVE.
 address: OTTAWA, ON
 sheet name: ROOF PLAN

project no.: 21-0044
 sheet no.: A-400



rev.	date	issued for	rev.	date	issued for
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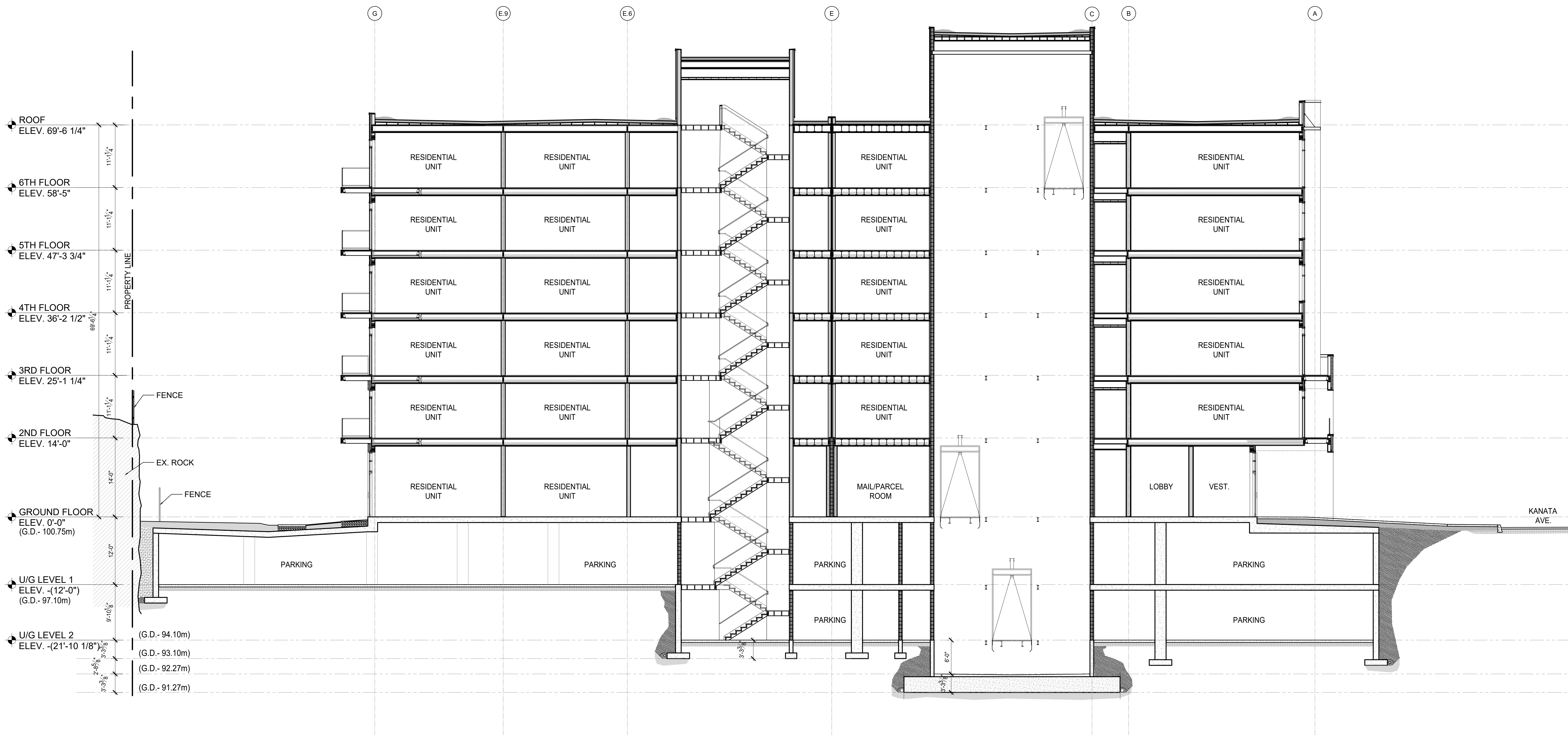
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project: THE WOODS ON KANATA AVE.
address: OTTAWA, ON
sheet name: ELEVATIONS

project no.: 21-0044
sheet no.: A-402



1 BUILDING SECTION
 A-201 SCALE: 1/8" = 1'-0"

8		16	
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