

NEUF

ARCHITECT(E)S



1050 CANADIAN SHIELD SITE PLAN APPROVAL DRAWING LIST			
PAGE	DRAWING TITLE	REVISION	DATE
A000 SPA	TITLE PAGE	1.7	2021 12 15
A060	SITE PLAN	1.7	2021 12 15
A100a	P2 LEVEL PARKING	1.7	2021 12 15
A100b	P1 LEVEL PARKING	1.7	2021 12 15
A101	FLOOR PLAN - 1ST FLOOR	1.7	2021 12 15
A400	NORTH & SOUTH ELEVATION	1.7	2021 12 15
A401	EAST & WEST ELEVATION	1.7	2021 12 15



12461.00
1050 CANADIAN SHIELD INC.
CARRÉ SAINT-LOUIS

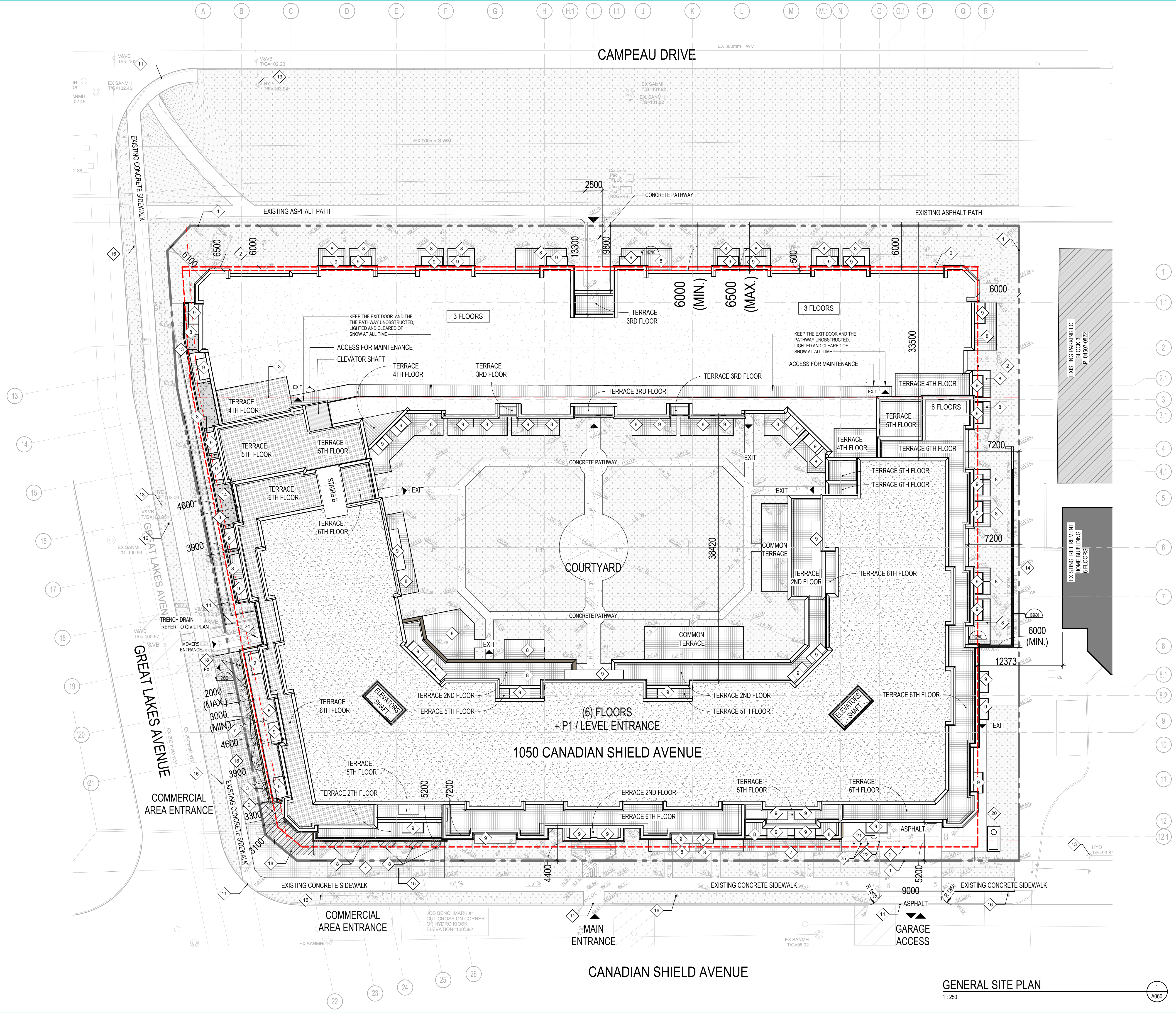
1050 Canadian Shield, KANATA, ON

CLIENT : LÉPINE CORP



RELEASE 1.7 SITE PLAN APPROVAL, REVISION 02

VERSION
2021 12 15
INCLUDES THE FOLLOWING
SITE INSTRUCTIONS, N/A



GENERAL NOTES	
#NOTE	DESCRIPTION
1	PROPERTY LINE
2	SETBACKS
3	HEIGHT LIMIT MAX. 23m OR 6 STOREYS
4	GROUND FLOOR - OUTLINE
5	2ND FLOOR - OUTLINE
6	POOL - OUTLINE
7	COMMERCIAL TERRACE
8	PRIVATE TERRACE
9	PRIVATE BALCONY
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25	BIKE RACK BY HAUSSEUR
26	ELEVATING PLATFORM

LINE TYPE LEGEND	
	PROPERTY LINE
	REQUIRED SETBACKS

SURFACE LEGEND	
	PAVING (ON-SLAB) LARGE PATIO TILES
	PAVING 2 (ON-GRADE) 300 x 600 FLAME GRANITE, NEWTON BROWN
	ASPHALT
	CONCRETE ON-GRADE
	STONE BALLAST ROOF
	LANDSCAPING
	EXISTING BUILDING

SITE STATISTICS	
LOT AREA	10 917 m ²
FOOTPRINT	6 344 m ²
GROSS BUILDING AREA ABOVE GRADE	28 418 m ²
GROSS BUILDING AREA BELOW AVERAGE GRADE (BUILDING & PARKADE)	17 737 m ²
GROSS FLOOR AREA (ABOVE + BELOW GRADE)	46 155 m ²

NUMBER OF UNITS	
P1 FLOOR	4 FLEX SPACES
FIRST FLOOR	UNITS AT STREET LEVEL
2nd FLOOR	UNITS ON A TYPICAL LEVEL
3rd FLOOR	UNITS ON A TYPICAL LEVEL
4th FLOOR	UNITS ON A TYPICAL LEVEL
5th FLOOR	UNITS ON A TYPICAL LEVEL
6th FLOOR	UNITS ON A TYPICAL LEVEL
TOTAL	234 UNITS

NUMBER OF PARKING SPACES	
1.0 Residents (parking space / dwelling unit)	238
0.2 Visitors (parking space / dwelling unit)	48
Commercial parking	16
TOTAL PARKING REQUIRED	302
TOTAL PARKING PROVIDED (INCLUDED BARRIER FREE PARKING)	346
MINIMUM BARRIER FREE PARKING REQUIRED	10
PROVIDED	10

ZONE PROVISIONS BLOCK 2 - 1050 CANADIAN SHIELD		
ZONING BY-LAW 2008 250		
CURRENT ZONING: MC15 (2027)		
PERMITTED USES	REQUIRED	PROPOSED
FRONT YARD SETBACK (GREAT LAKES AVENUE (WEST LOT LINE))	MAX. 0.5m OR 2m WHERE A PATIO IS PROVIDED	2 m MIN / 4.6 m MAX
SIDE YARD CAMPEAU DRIVE SETBACK (NORTH LOT LINE)	6.0 m MIN. 6.5 m MAX.	6.0 m MIN. 13.3 m MAX.
SIDE YARD SETBACK CANADIAN SHIELD AVENUE (SOUTH LOT LINE)	MAX. 0.5m OR 2m WHERE A PATIO IS PROVIDED	3.1 m MIN / 5.2m MAX
INTERIOR REAR YARD SETBACK (EAST LOT LINE)	6.0 m	6.0 m
BUILDING HEIGHT	23.0 m MAX.	6 STOREYS + P1 / LEVEL ENTRANCE
WINDOWS ON WALL FACING STREET	MIN 50% OF LENGTH	CAMPEAU DRIVE 55% CANADIAN SHIELD AVE. 53% GREAT LAKES AVE. 55%
LANDSCAPE AREA	30% MIN. (3 275 m ²)	32.4 % (3 541 m ²)
MINIMUM BICYCLE PARKING	0.5 PER DWELLING UNIT	124
TOTAL PRIVATE AMENITY SPACE	6 m ² PER DWELLING UNIT	2 622 m ²
TOTAL COMMUNAL AMENITY AREA	50% OF PRIVATE AMENITY SPACES	686 m ² (INDOOR) 120 m ² (OUTDOOR) 806 m ² (TOTAL)

NOTES GÉNÉRALES: General Notes

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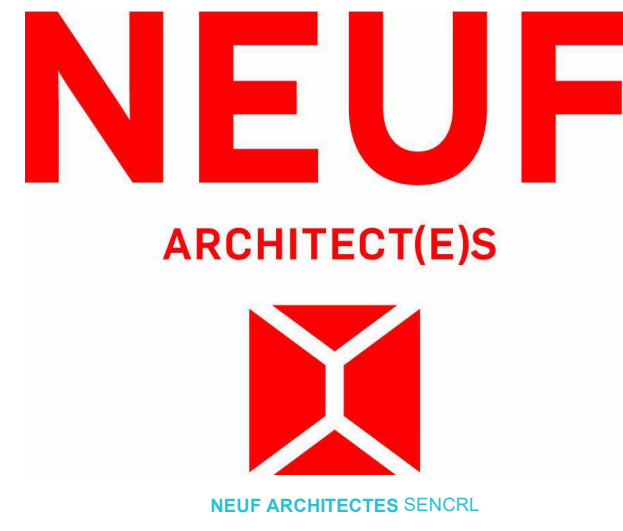
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OUVRAGE Project
 1050 Canadian Shield INC.
CARRÉ SAINT-LOUIS

EMPLACEMENT Location NO PROJET No. 12461.00
 1050 Canadian Shield, KANATA, ON

NO. RELEASE / VERSION	DATE (aa.mm.jj)
1.A ISSUED FOR SITE PLAN	2021 08 10
1.7 ISSUED FOR SITE PLAN REVISION 02	2021 12 15

DESSIN PAR Drawn by **W.W./A.G.** VÉRIFIÉ PAR Checked by **K.P. / B.S.J.**

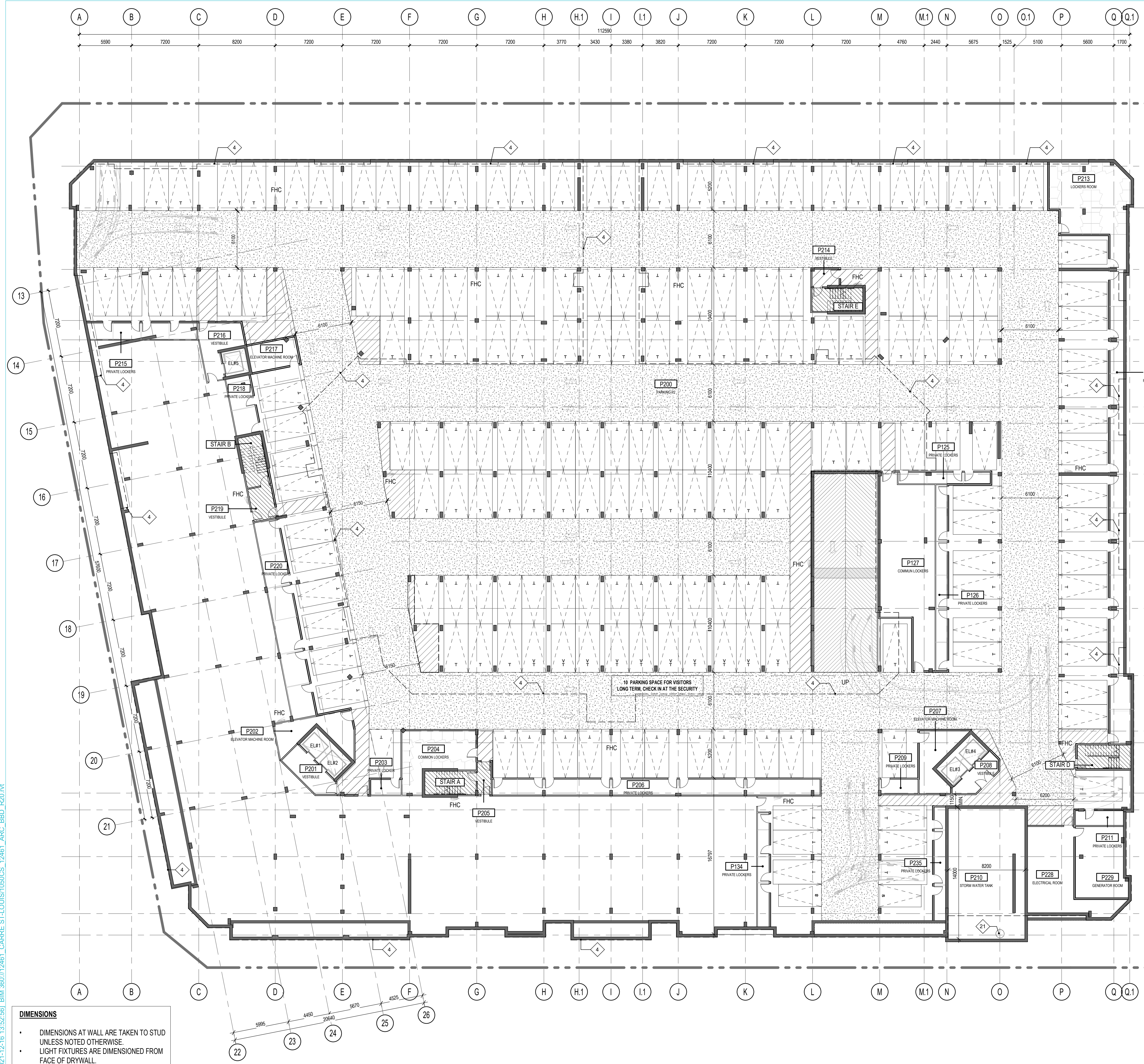
DATE (aa.mm.jj) **21/08/20** ÉCHELLE Scale **Comme indiqué**

TITRE DU DESSIN Drawing Title **SITE PLAN**

PREVIOUS REVISION: 1.6
 CURRENT REVISION: 1.7
 REVISION Revision

NO. DESSIN Dwg Number
1.7 A060

PRINTED ON: 2022-01-21 15:28:24T BIM 360://12461_CARRÉ ST-LOUIS/1050CS_12461_ARC_BBD_R20.rvt



DIMENSIONS

- DIMENSIONS AT WALL ARE TAKEN TO STUD UNLESS NOTED OTHERWISE.
- LIGHT FIXTURES ARE DIMENSIONED FROM FACE OF DRYWALL.
- FLOOR TILE LAYOUT IN INTERIOR UNITS ARE DIMENSIONED FROM DRYWALL.

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LINE TYPE LEGEND	
	PROPERTY LINE
	REQUIRED SETBACKS

PLAN SYMBOL LEGEND	
	RAILING OR GUARDRAIL TYPE • SEE PAGE A330 FOR DETAILS
	GENERAL NOTES • SEE LEGEND FOR DESCRIPTION
	WINDOW OR CURTAIN WALL TYPE • SEE PAGE A300 FOR DETAILS
	WALL TYPE • SEE PAGE A300 FOR DETAILS
	ROOF TYPE • SEE PAGE A300 FOR DETAILS
	DOOR NUMBER • SEE PAGE A300 & A301 FOR DETAILS
	ROOM NUMBER • SEE PLANS FOR DETAILS
	EXTERIOR MATERIAL TYPE • SEE PAGE A400 & A401 FOR LEGEND

LOCKER SCHEDULE	
Description	Count
P2 PARKING LEVEL	
Private Tier Locker	56
Single Tier Locker	36
	92
P1 PARKING LEVEL	
Private Tier Locker	32
Single Tier Locker	115
	147
Grand total	239

BIKE SCHEDULE	
Description	Count
P1 PARKING LEVEL	
Bicycle Rack	124
	124

PARKING LEGEND	
	TYPICAL PARKING SPACE 5.2m X 2.6m (min.)
	TYPICAL PARKING SPACE FOR VISITORS 5.2m X 2.6m (min.)
	PEDESTRIAN TRAFFIC
	ZONE WITH A CLEAR HEIGHT OF 2300mm min.
	ZONES WHICH ARE CONSIDERED PART OF THE EXIT AND THUS CANNOT BE PENETRATED BY ANY ELECTRICAL AND MECHANICAL SERVICES NOT PERTAINING TO THE EXIT

PARKING SPACES	
P2 PARKING LEVEL	
STANDARD SMALL: 2400x4600	2
STANDARD: 2600x5200	173
STANDARD: PARKING SPACE FOR VISITORS	10
P1 PARKING LEVEL	
BARRIER FREE PARKING: 2400mmx5200mm	5
BARRIER FREE PARKING: 3400mmx5200mm	5
STANDARD: 2600x5200	116
STANDARD: PARKING SPACE FOR VISITORS	35
TOTAL: 346	

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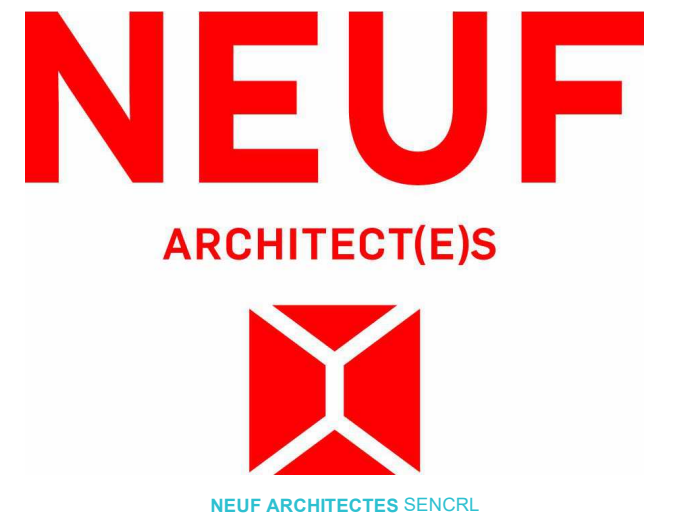
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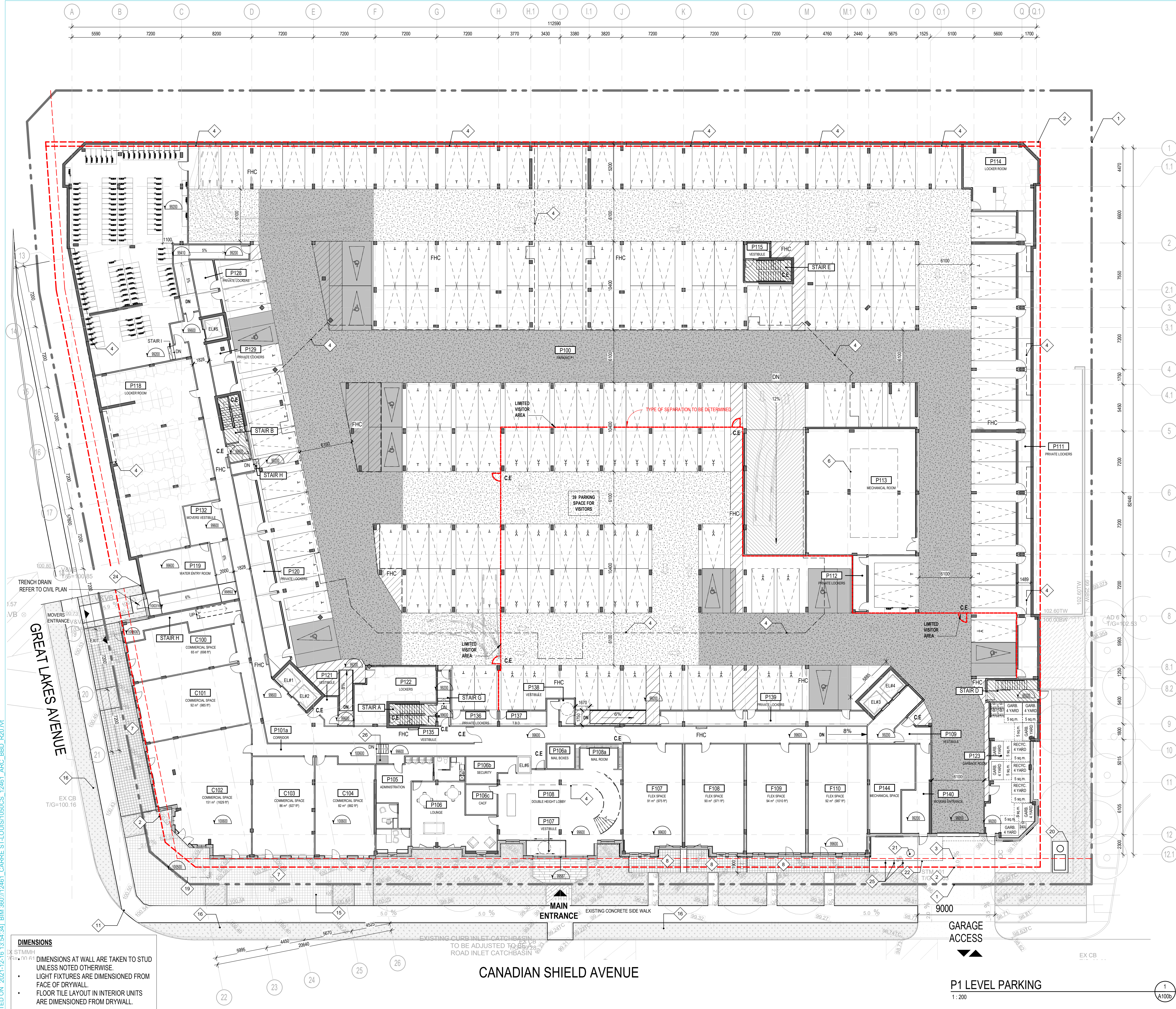
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 Comme
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P2 LEVEL PARKING

PREVIOUS REVISION: 1.6
 CURRENT REVISION: 1.7
 REVISION Revision

NO. DESSIN Dwg Number

1.7 **A100a**



DIMENSIONS

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PLAN SYMBOL LEGEND

- RAILING OR GUARDRAIL TYPE
- GENERAL NOTES
- WINDOW OR CURTAIN WALL TYPE
- WALL TYPE
- ROOF TYPE
- DOOR NUMBER
- ROOM NUMBER
- EXTERIOR MATERIAL TYPE

LOCKER SCHEDULE

Description	Count
P2 PARKING LEVEL	
Private Tier Locker	56
Single Tier Locker	36
	92
P1 PARKING LEVEL	
Private Tier Locker	32
Single Tier Locker	115
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Grand total	239

BIKE SCHEDULE

Description	Count
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Bicycle Rack	124
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- TYPICAL PARKING SPACE FOR VISITORS 5.2m X 2.6m (min.)
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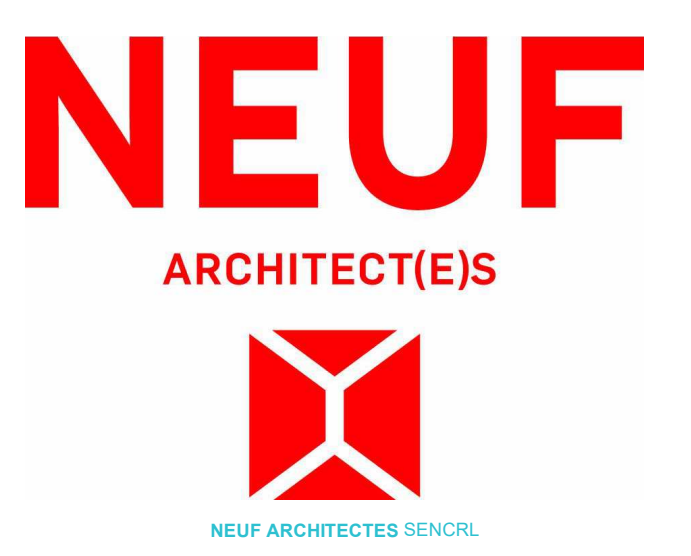
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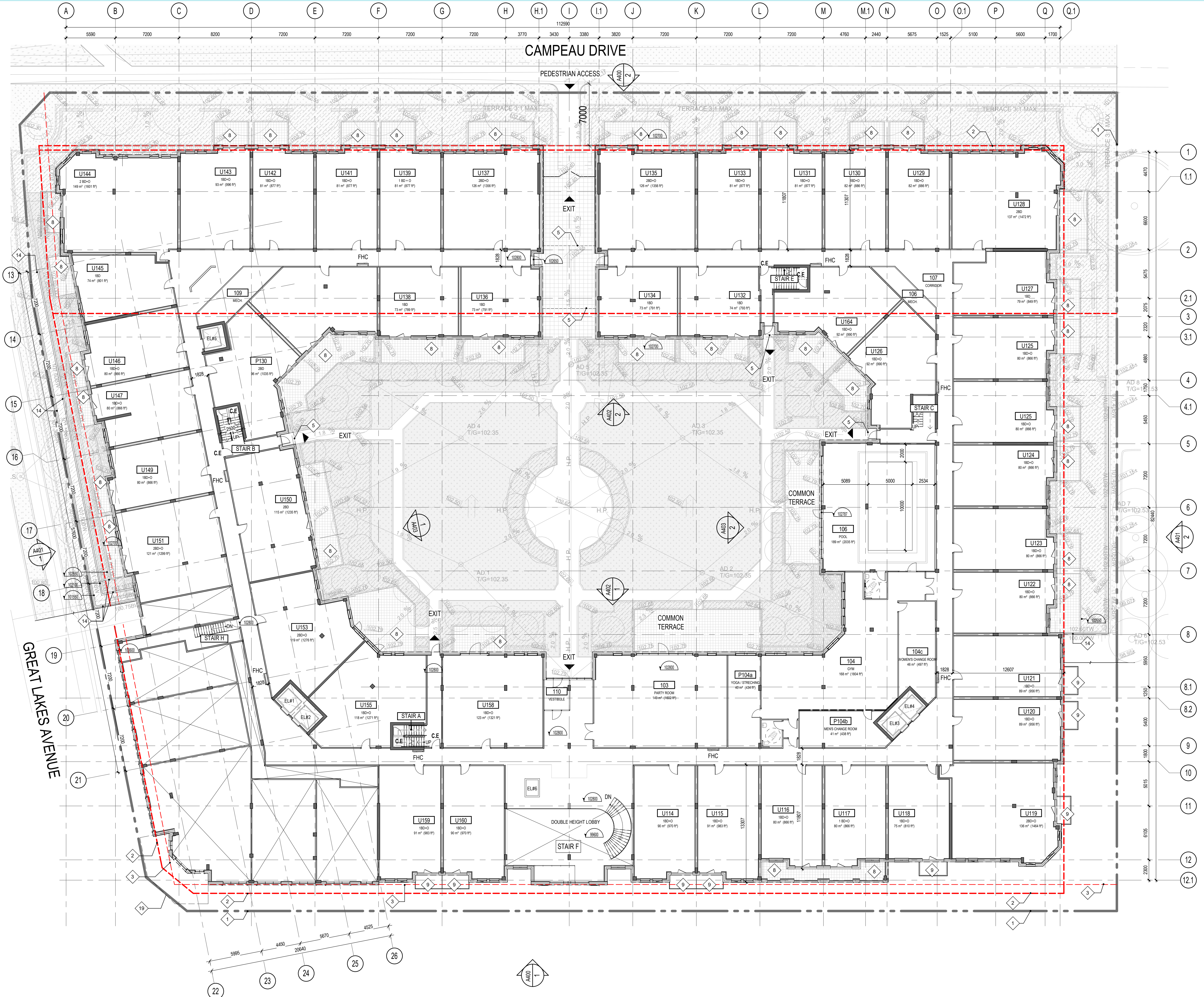
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DATE (aa.mm.jj) 21/08/20 ÉCHELLE Scale
TITRE DU DESSIN Drawing Title Comme indiqué

P1 LEVEL PARKING

PREVIOUS REVISION: 1.6
CURRENT REVISION: 1.7
REVISION Revision NO. DESSIN Dwg Number

1.7 A100b

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	PROPERTY LINE
	REQUIRED SETBACKS

PLAN SYMBOL LEGEND	
	RAILING OR GUARDRAIL TYPE • SEE PAGE A300 FOR DETAILS
	GENERAL NOTES • SEE LEGEND FOR DESCRIPTION
	WINDOW OR CURTAIN WALL TYPE • SEE PAGE A303 FOR DETAILS
	WALL TYPE • SEE PAGE A300 FOR DETAILS
	ROOF TYPE • SEE PAGE A300 FOR DETAILS
	DOOR NUMBER • SEE PAGE A300 & A301 FOR DETAILS
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	EXTERIOR MATERIAL TYPE • SEE PAGE A400 & A401 FOR LEGEND

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1ST FLOOR
1:200

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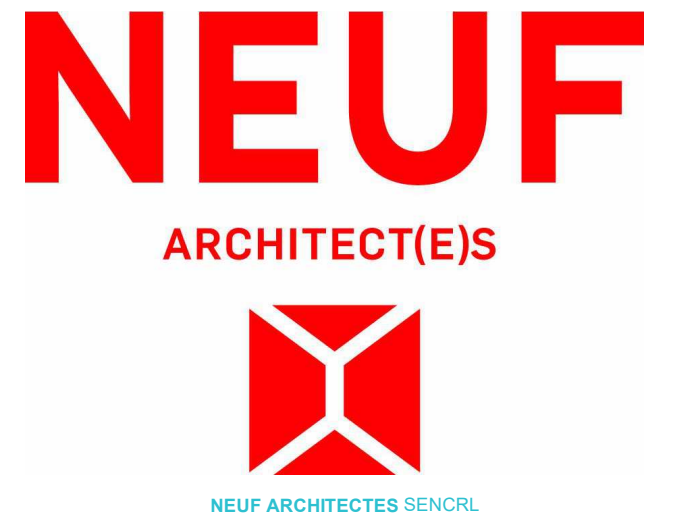
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FLOOR PLAN - 1ST FLOOR
PREVIOUS REVISION: 1.6
CURRENT REVISION: 1.7
REVISION Revision NO. DESSIN Dwg Number

1.7 **A101**

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NORTH ELEVATION (CAMPEAU DRIVE)
1:200

GENERAL NOTES	
#NOTE	DESCRIPTION
1	PROPERTY LINE
2	SETBACKS
3	HEIGHT LIMIT MAX. 23m OR 6 STOREYS
4	GROUND FLOOR - OUTLINE
5	2ND FLOOR - OUTLINE
6	POOL - OUTLINE
7	COMMERCIAL TERRACE
8	PRIVATE TERRACE
9	PRIVATE BALCONY
10	FENCE
11	DEPRESSED CURB
12	DECORATIVE FREIZE PATTERN T.B.C.
13	EXISTING FIRE HYDRANT
14	RETAINING WALL
15	HYDRO KIOSK
16	LAMP STANDARD
17	ELEVATOR PIT
18	CANOPY
19	CANOPY FOOTPRINT
20	TRANSFORMER
21	WATER TANK ACCESS
22	P2 LEVEL - OUTLINE
24	FIRE DEPARTMENT CONNECTION
25	BIKE RACK BY HAUSSER
26	ELEVATING PLATFORM

PLAN SYMBOL LEGEND	
	RAILING OR GUARDRAIL TYPE • SEE PAGE A504 FOR DETAILS
	GENERAL NOTES • SEE LEGEND FOR DESCRIPTION
	WINDOW OR CURTAIN WALL TYPE • SEE PAGE A802 & A803 FOR DETAILS
	WALL TYPE • SEE PAGE A800 & A801 FOR DETAILS
	ROOF TYPE • SEE PAGE A800 & A801 FOR DETAILS
	DOOR NUMBER • SEE PAGE A800 & A801 FOR DETAILS
	ROOM NUMBER • SEE PLANS FOR DETAILS
	EXTERIOR MATERIAL TYPE • SEE PAGE A400 - A403 FOR LEGEND

LINE TYPE LEGEND	
	PROPERTY LINE
	REQUIRED SETBACKS



SOUTH ELEVATION (CANADIAN SHIELD AVENUE)
1:200

EXTERIOR MATERIAL LEGEND	
#NOTE	DESCRIPTION
A	PRECAST - PATTERN LARGE STONE, LIGHT SANDBLAST, COLOUR LIGHT BEIGE
B	PRECAST - PATTERN STONE FINISH SANDBLAST MEDIUM, COLOUR BEIGE
B1	PRECAST - SMOOTH FINISH, COLOUR BEIGE
C	PRECAST - PATTERN STONE LIGHT SANDBLAST, COLOUR LIGHT BEIGE
D	PRECAST - FINISH SANDBLAST MEDIUM, COLOUR LIGHT BEIGE
E	PRECAST - PATTERN US FORMLINER 2711 DON, COLOUR LIGHT GREY
F	PRECAST - PATTERN US FORMLINER 2711 DON, COLOUR GREY
G	PRECAST - CORNICE
H	PRECAST - PATTERN SMOOTH FINISH COLOUR DARK GREY
I	EFS CONCRETE FOUNDATION FINISH
K	GRANITE INSERTION, COLOUR - GREY DARK

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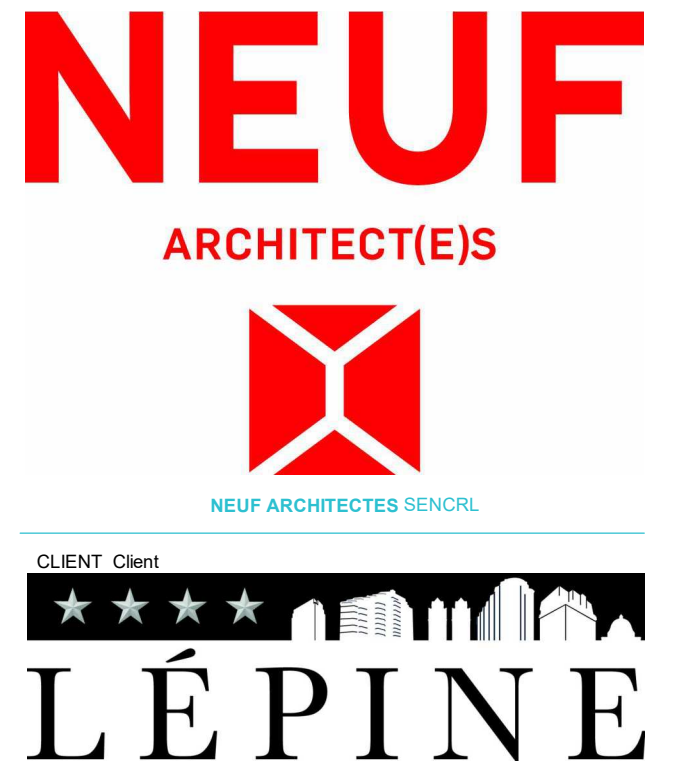
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OUVRAGE Project
1050 Canadian Shield INC.
CARRÉ SAINT-LOUIS
EMPLACEMENT Location NO PROJET No. 12461.00
1050 Canadian Shield, KANATA, ON

NO. RELEASE / VERSION DATE (aa.mm.jj)
1.A. ISSUED FOR SITE PLAN 2021 08 10
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DESIGNÉ PAR Drawn by A.G.
DATE (aa.mm.jj) 21/08/20
TITRE DU DESSIN Drawing Title NORTH & SOUTH ELEVATION

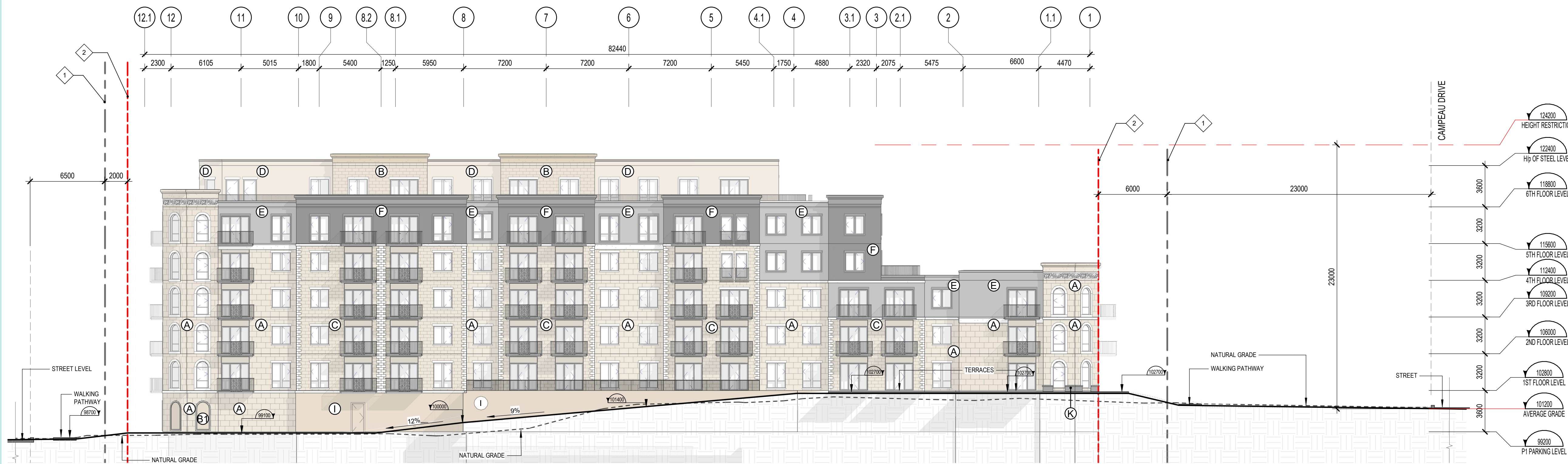
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NORTH & SOUTH ELEVATION
PREVIOUS REVISION: 1.6
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REVISION Revision

1.7 **A400**

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EAST ELEVATION (NEIGHBOUR SIDE)

1:200

2

A401

GENERAL NOTES	
#NOTE	DESCRIPTION
1	PROPERTY LINE
2	SETBACKS
3	HEIGHT LIMIT MAX. 23m OR 6 STOREYS
4	GROUND FLOOR - OUTLINE
5	2ND FLOOR - OUTLINE
6	POOL - OUTLINE
7	COMMERCIAL TERRACE
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	ROOM NUMBER • SEE PLANS FOR DETAILS
	EXTERIOR MATERIAL TYPE • SEE PAGE A400 - A403 FOR LEGEND

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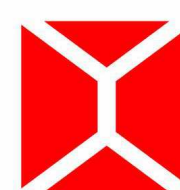
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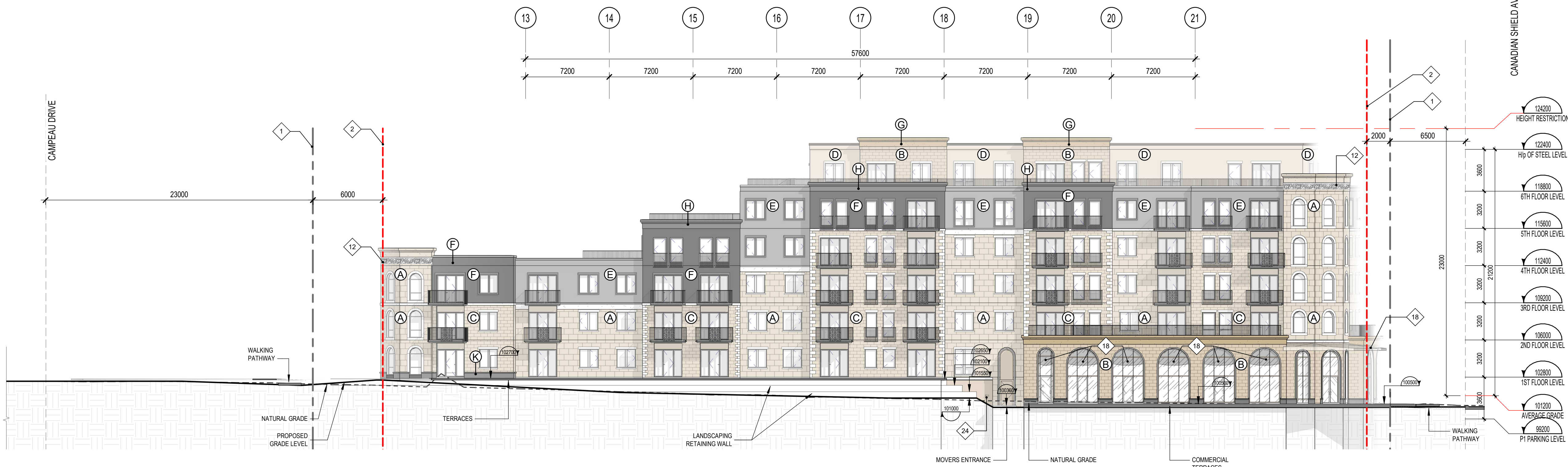
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EAST & WEST ELEVATION
 PREVIOUS REVISION: 1.6
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1.7 **A401**



WEST ELEVATION (GREAT LAKES AVENUE)

1:200

1

A401