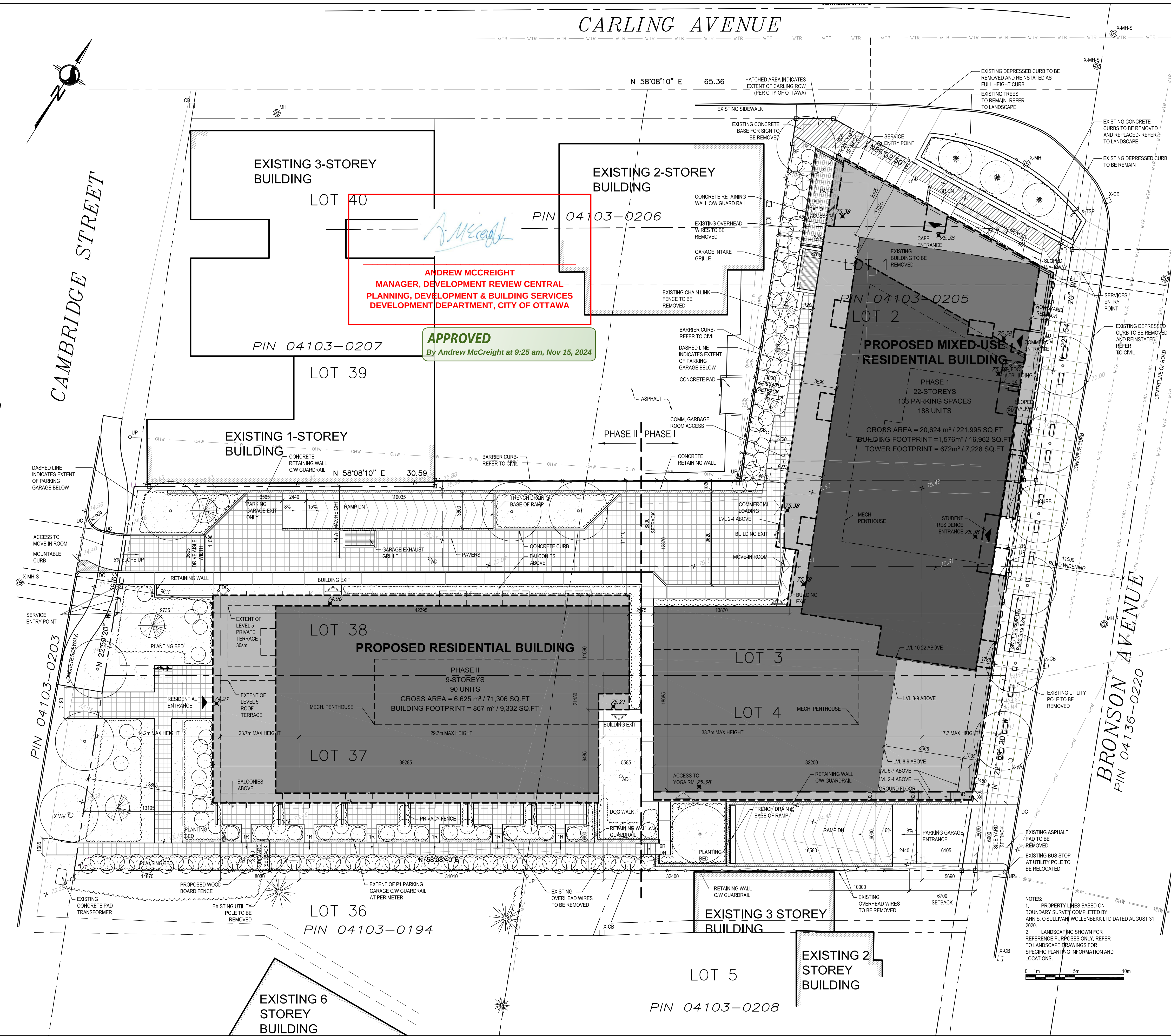




LEGEND	
	SOFT LANDSCAPING
	UNIT PAVERS REFER TO LANDSCAPE
	ASPHALT PAVING
	RIVERSTONE REFER TO LANDSCAPE
	EXISTING BUILDING ELEMENT TO BE REMOVED
	EXISTING FENCE
	PRIVACY FENCE
	LOT LINE
	SETBACK LINE
	EXISTING TREE TO REMAIN (REFER TO LANDSCAPE DRAWINGS)
	NEW TREE (REFER TO LANDSCAPE DRAWINGS)
	NEW SHRUBS (REFER TO LANDSCAPE DRAWINGS)
	NEW EVERGREEN SHRUB (REFER TO LANDSCAPE DRAWINGS)
	EXISTING GROUND ELEVATION TO DETERMINE EXISTING AVERAGE GRADE
	NEW GROUND ELEVATION REFER TO CIVIL
	FIRE DEPARTMENT CONNECTION
	DESIGNATED BUILDING ENTRANCE / EXIT
	FIRE HYDRANT. REFER TO CIVIL
	CATCH BASIN
	MANHOLE
	AREA DRAIN. REFER TO CIVIL
	UTILITY POLE
	OVERHEAD UTILITY WIRES
	UNDERGROUND POWER
	LIGHT STANDARD
	DEPRESSED CURB
	TRAFFIC SIGNAL POST

KEY PLAN

PROPOSED SITE

PROPERTY DESCRIPTION

22-STORY MIXED-USE RESIDENTIAL BUILDING
CITY OF OTTAWA PIN NUMBER 04103 0205, 04103 0125, 04103 0215
MUNICIPAL ADDRESS 770-774 Bronson Avenue & 557 Cambridge Street
PART OF LOTS 1 & 2, ALL OF LOTS 3, 4, 37, & PART OF LOT 38, REGISTERED PLAN 28

SITE INFORMATION

LOT AREA: 4563 m²
LOT FRONTAGE: 64.02 m
LOT DEPTH: 101.5 m

BUILDING INFORMATION

FLOOR AREA: 2,443 m² (26,236 SF), BELOW GRADE FOOTPRINT = 3,790 m² (40,791 SF)
GROSS AREA: 27,249 m² (293,306 SF)
PROPOSED USE: MIXED-USE RESIDENTIAL, HIGH-RISE

UNIT BREAKDOWN

LVL	STUDENT	RESIDENTIAL
LVL 1:	10 UNITS	
LVL 2-4:	63 UNITS	
LVL 5:	17 UNITS	
LVL 6-7:	36 UNITS	
LVL 8-9:	35 UNITS	
LVL 10-22:	117 UNITS	
TOTAL:	278 UNITS	

PHASE 1 (187 UNITS TOTAL)

FLOOR	STUDENT	RESIDENTIAL
FLOOR 1:	0	0
FLOORS 2-4:	0	0
FLOORS 5:	0	0
FLOORS 6-7:	0	0
FLOOR 8:	0	0
FLOOR 9:	0	0
FLOORS 10-22:	0	0
TOTAL	21-2BD, 23-3BD, 21-4BD, 6-5BD	78-1BD, 39-2BD, 117 UNITS

PHASE 2 (90 UNITS TOTAL)

FLOOR	STUDENT	RESIDENTIAL
FLOOR 1:	0	0
FLOORS 2-4:	0	0
FLOORS 5:	0	0
FLOORS 6-7:	0	0
FLOOR 8:	0	0
FLOOR 9:	0	0
FLOORS 10-22:	0	0
TOTAL	3-STUDIO, 66-1BD, 21-2BD	90 UNITS

ZONING TABLE

CITY OF OTTAWA ZONING BY-LAW No. 2008-250	REQUIRED	PROPOSED
LOT AREA	NO MINIMUM	
LOT WIDTH	NO MINIMUM	
FRONT YARD AND CORNER SETBACK	3m	3m ALONG BRONSON AVE. 3m ALONG CARLING AVE.
MINIMUM INTERIOR SIDE YARD SETBACK	ABUTTING RESIDENTIAL ZONE: 3m (LOT 37 - URBAN EXCEPTION 2003) ALL OTHER CASES: 0m	5.69m ALONG WEST OF PHASE 1 11.7m ALONG NORTH OF PHASE 2
MINIMUM REAR YARD SETBACK	RESIDENTIAL USE BUILDING - 7.5m CASE OF BACK TO BACK LOTS - NO MINIMUM	0m
MAXIMUM BUILDING HEIGHT 770 BRONSON - AM10 [2373]	30m BUT IN NO CASE GREATER THAN 9 STOREYS, OR AS SHOWN ON ZONING MAP (BY-LAW 2015-45)	TOWER (Phase 1) LEVEL 2-4 (Phase 1) LEVEL 5-7 (Phase 1) LEVEL 8-9 (Phase 1) LEVEL 1-4 (Phase 2) LEVEL 5-9 (Phase 2)
774 BRONSON & 554 CAMBRIDGE - AM1 [2003], SCHEDULE 296	VARIES (SCHEDULE 296)	
GROUND FLOOR HEIGHT/GLAZING	MINIMUM OF 50% OF THE SURFACE AREA OF THE GROUND FLOOR FACADE, MEASURED FROM AVERAGE GRADE TO A HEIGHT OF 4.5m	ALONG BRONSON AVE.: 59% ALONG CARLING AVE.: 54%
MAXIMUM FLOOR SPACE INDEX	NONE (AM10 [2373], 3.0 (AM1 [2003]))	7.2
LANDSCAPE PROVISIONS FOR PARKING LOTS	N/A	N/A
VEHICLE PARKING REQUIREMENTS (AREA X, SCHEDULE 1A)	RESIDENTIAL: 0.5 /UNIT AFTER FIRST 12 UNITS RESIDENTIAL VISITOR: 0.1/UNIT AFTER FIRST 12 UNITS PHASE 1 [1100 SPACES REQUIRED] STUDENT: 30 SPACES RESIDENTIAL: 53 SPACES VISITOR-STUDENT: 6 SPACES VISITOR-RESIDENTIAL: 11 SPACES PHASE 2 [47 SPACES REQUIRED] RESIDENTIAL: 39 SPACES VISITOR: 8 SPACES TOTAL PARKING REQUIRED= 147 SPACES	RESIDENTIAL: 80 SPACES STUDENT: 28 SPACES VISITOR: 25 SPACES TOTAL PARKING PROVIDED: 133 SPACES
LOADING	RESIDENTIAL USE: NONE REQUIRED	N/A
AMENITY AREA REQUIREMENTS	6m ² PER DWELLING UNIT (MIN. 50% OF THE REQUIRED TOTAL AMENITY AREA TO BE COMMUNAL AND AT LEAST ONE AREA OF MIN. 54m ²) 6m ² PER UNIT OF EACH DWELLING UNIT: PHASE 1- 6 X 18m ² [1,128m ²] PHASE 2- 6 X 90m ² [540m ²] TOTAL AMENITY REQUIRED= 1,668 m ² 50% COMMUNAL REQUIRED= 834 m ²	TOTAL AMENITY PROVIDED= 1714.5 m ² TOTAL PHASE 1: [1097m ²] TOTAL PHASE 2: [617.5m ²] PHASE 1- BALCONIES/TERRACES LVL 10: 33m ² LVL 11-16: 389m ² PHASE 2- BALCONIES/TERRACES LVL 1 TERRACES: 138m ² LVL 2-4: 152m ² LVL 5: 31m ² LVL 6-7: 75m ² LVL 8-9: 75m ² PHASE 1- COMMUNAL LVL 1: 46m ² LVL 8 TERRACE: 61m ² ROOF TERRACE: 114m ² PHASE 2- COMMUNAL LVL 5 TERRACE: 64m ² LVL 5 AMENITY: 60m ² LVL 1 ENTRY AREA: 22.5m ²
BICYCLE PARKING SPACES	0.5/DWELLING UNIT= 278 X 0.5 [139 SPACES REQUIRED]	TOTAL PROVIDED= 221 SPACES

22 STOREY APARTMENT BUILDING

770-774 Bronson Avenue & 557 Cambridge Street
Ottawa, ON

SITE PLAN

Desktop per / Drawn by RD, ZK
No. project / Project number 2025
Verified per / Verified by RC
No. design / Drawing number
Revision / Revision
Scale / Scale AS SHOWN
Date of creation / Date of creation 2020/10/09

1 2020-10-13 FOR COORD
2 2020-12-10 FOR COORD
3 2021-01-14 FOR COORD
4 2021-02-15 FOR COORD
5 2021-02-18 FOR COORD
6 2021-03-02 FOR COORD
7 2021-03-09 SITE PLAN CONTROL
8 2022-07-25 COORDINATION
9 2022-12-14 SITE PLAN CONTROL RESPONSE
10 2023-06-16 SITE PLAN CONTROL RESPONSE
11 2023-09-18 SITE PLAN CONTROL RESPONSE
12 2023-11-09 SITE PLAN APPROVAL
13 2024-04-29 SITE PLAN APPROVAL (ADDED ROW AREA)

Ingénieur / Engineer (Mechanical & Electrical)
Ingénieur / Engineer (Structure / Structure)
Architecte / Architect (Landscape / Landscape)
Gino J. Aiello landscape architect www.GJALIA.com
110 Didsbury Road Unit #9 | Ottawa Ontario | K2T0C2
Ingénieur / Engineer (Civil / Civil)
LRJ
Globe / Client
KATASA
GROUPE DÉVELOPPEMENT
Architecte / Architect
figuri
Droit d'auteur / Copyright
Note:
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Sceau / Seal
ROBERTO CAMPOS LORENCE
7401
Project / Project
770-774 Bronson Avenue & 557 Cambridge Street
Ottawa, ON
SITE PLAN
Date of creation / Date of creation 2020/10/09
A105