

LEGAL DESCRIPTION
 PLAN OF SURVEY OF
 PART OF LOT 20
 CONCESSION 2 (Ottawa Front)
 Township of Nepean
 NOW CITY OF OTTAWA
 PART OF DUMAURIER AVENUE
 (As Closed by By-Law 372-78 Inst. NS41961)
 AND PART OF THE 1ST RESERVE
 REGISTERED PLAN 479600
 CITY OF OTTAWA
 REGIONAL MUNICIPALITY OF
 OTTAWA-CARLETON
 Prepared by Annis, O'Sullivan, Vollebakk Ltd.

PROJECT DEVELOPER
BRIGIL Construction
 98, Lois street
 Gatineau, Qc, J8Y 3R7
 Tel: (819) 243-7392
 Fax: (819) 243-5126
 E-Mail: brigil@brigil.com

SURVEYOR
Annis O'Sullivan Vollebakk Ltd.
 Ontario Land Surveyors
 14 Concourse Gate, Suite 500,
 Nepean, Ontario K2E 7S6
 Tel: (613) 727-0850
 Fax: (613) 727-1079
 E-Mail: EdH@aovltd.com

URBAN PLANNER
Fotenn Consultants Inc.
 396 Cooper Street, Suite 300
 Ottawa, ON Canada, K2P 2H7
 Tel: (613) 730-5709 ex. 287
 Fax: (613) 730-1136
 E-Mail: church@fotenn.com

CIVIL ENGINEER
Stantec Engineering Ltd.
 1331 Clyde Avenue, Suite 400,
 Ottawa, ON K2C 3G4
 Tel: (613) 724-4337
 E-Mail: kris.kilbom@stantec.com

LANDSCAPE ARCHITECT
Levstek Consulting
 5871 Hugh Crescent
 Ottawa, (Osgoode) ON K0A 2W0
 Tel: (613) 826-0518
 E-Mail: rlevstek@laroquelevstek.com

DRAWING NOTES:

- PROPERTY LINE
- BUILDING / HEIGHT SETBACK LINE
- OUTLINE OF TOWER
- LINE OF PODIUM LEVEL
- LINE OF PARKING GARAGE BELOW
- RAMP TO U/G GARAGE (BELOW GRADE)
- EXISTING FIRE HYDRANT
- EXISTING COMMERCIAL BUILDING
- 2.0m WIDE CONCRETE SIDEWALK C/W DEPRESSED CURBS AT DRIVEWAY ENTRANCE
- BICYCLE RACKS, SEE LANDSCAPE PLAN FOR TYPE
- EXISTING 1.5m WIDE ASPHALT CITY SIDEWALK
- SIAMSE CONNECTION
- REAR YARD LANDSCAPE SETBACK
- LINE OF U/G HYDRO VAULT
- 2.6 X 5.2m STANDARD PARKING SPACES
- AREA OF TEMPORARY SNOW STORAGE
- NEW 2.0M W. CONCRETE SIDEWALK AS PER CITY STANDARDS C/W DEPRESSED CURB @ DRIVEWAY
- SOFT LANDSCAPING
- HARD LANDSCAPING - PAVERS
- EXISTING CITY BOULEVARD TO BE REINSTATED UPON COMPLETION OF SITE WORK
- CONCRETE RETAINING WALL C/W STONE FACE - SEE CIVIL AND LANDSCAPE
- EXISTING TREE TO BE REMOVED - SEE LANDSCAPE
- LINE OF U/G CISTERN; SEE CIVIL AND MECHANICAL FOR DETAILS
- LIGHT STANDARD - SEE ELECTRICAL LIGHTING CERTIFICATE
- CATCH BASIN / TRENCH DRAIN - SEE CIVIL
- NEW CURB TO THE INTO EXISTING - SEE CIVIL
- 1670mm W. CONCRETE B/F RAMP - SEE GRADING PLANS
- RAISED COMMERCIAL TERRACE - SEE GRADING AND LANDSCAPE PLANS
- GARBAGE TRUCK LOADING/BACKUP, HATCH INDICATES PAINTED LINES
- EXISTING STM TO BE REMOVED/RELOCATED - SEE CIVIL
- SEE CIVIL DRAWINGS FOR ALL SERVICING WORK BEYOND PROPERTY LINE OF PROPOSED APPLICATION
- RETAINING EXISTING STREET TREE - SEE LANDSCAPE
- GAS PRESSURE RELEASE STATION
- EXISTING HYDRO POLE TO BE REMOVED
- EXHAUST INTAKE FOR PARKING GARAGE
- EXISTING ASPHALT PARKING LOT & ENTRANCE
- B/F PARKING AS PER CITY STANDARD, ONE TYPE 'A' & ONE TYPE 'B' SPACE
- TWSI CROSSING AS PER CITY OF OTTAWA STANDARDS
- HEATED CONCRETE RAMP DOWN TO GARAGE ENTRY
- PAINTED LINES TO INDICATE PEDESTRIAN CROSSING
- 1200mm H. RAISED PLANTER - SEE LANDSCAPE
- LINE OF WATER ENTRY ROOM BELOW
- RETAINING WALL - SEE LANDSCAPE AND CIVIL
- CISTERN ACCESS COVERS - SEE CIVIL
- RAISED SITTING AREA - SEE LANDSCAPE
- LINE OF ELECTRICAL ROOM BELOW

SITE PLAN SYMBOLS:

- EXTERIOR COMMUNAL LANDSCAPE AREA
- ASPHALT DRIVE/SLEIPARKING
- CONCRETE SIDEWALK
- COMMERCIAL PATIO / CONCRETE PAVERS
- PAVERS @ TERRACE LEVEL
- COMMERCIAL @ L1
- RESIDENTIAL AMENITY @ L1
- U/G STORM WATER TANK BELOW - SEE CIVIL
- ELECTRICAL VAULT BELOW - SEE ELECTRICAL & CIVIL
- TWSI CROSSING AS PER CITY OF OTTAWA STANDARDS
- AREA OF MAIN TOWER ABOVE
- PROPERTY LINE
- BUILDING SETBACK LINE
- 11.5M TOWER SETBACK LINE
- PROPOSED STORM SERVICE
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- FENCE LINE
- BIKE RACK
- FIRE HYDRANT
- VEHICULAR DIRECTION
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RETAINED
- SIAMSE CONNECTION
- PRIMARY ENTRANCE / EGRESS DOOR
- SECONDARY DOOR
- GAS METER REGULATOR - SEE CIVIL & MECHANICAL DRAWINGS

NOTE: SEE LANDSCAPE FOR ALL SURFACE MATERIAL AND PATTERN

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PROJECT INFORMATION

Zoning By-Law 2008-250 GM (R2) F (0.25)

SITE AREA
 4,195.2 sq. m.
 (45,157) sq. ft.

BUILDING HEIGHT
 18.0 m
 FRONT YARD SETBACK 3.0 m
 INTERIOR YARD SETBACK 0.0 m
 REAR YARD SETBACK 7.5 m
 AMENITY SPACE (6.0 m² PER UNIT) 2,532.0 m²

PROJECT STATISTICS

BUILDING HEIGHT 128.0 m
 BUILDING HEIGHT - STOREYS 40
 AVERAGE MEAN GRADE (GEO. ELEV.) 74.20
 FRONT YARD SETBACK 5.9 m
 INTERIOR YARD SETBACK 0.0 m
 REAR YARD SETBACK 15.7 m

GROSS BUILDING - AREAS
 (PER CITY OF OTTAWA ZONING AREA DEFINITION)

PARKING LEVEL	0.0 sq. m.
GROUND FLOOR	1,212.0 sq. m.
2nd to 6th FLOOR	6,949 sq. m.
7th FLOOR	702.1 sq. m.
8th - 38th FLOOR	31 x 702.1 sq. m.
38th - 40th FLOOR	2 x 563.9 sq. m.
MECHANICAL LEVEL	6,065 sq. m.
TOTAL AREA	32,318.0 sq. m.

UNIT STATISTICS

ONE BEDROOM UNIT	259
TWO BEDROOM UNIT	158
THREE BEDROOM UNIT	422
TOTAL	839

COMMERCIAL
 TOTAL NFA, COMMERCIAL (PER CITY OF OTTAWA DEFINITION)
 300.0 sq. m.
 3,230 sq. ft.

CAR PARKING

REQUIRED BY ZONING BY-LAW

RESIDENCE	- 0.5 PER DWELLING UNIT (AFTER 12 UNITS)	205
VISITOR	- 0.1 PER DWELLING UNIT (NO MORE THAN 30 SPACES REQ'D)	30
COMMERCIAL	- 5.0 MAX PER 100 m ² NFA (PENDING UNIT USE)	15
TOTAL		250

PROVIDED

RESIDENCE (BELOW GRADE) (0.41 / UNIT)	174
VISITOR & COMMERCIAL (BLENDED)	
ABOVE GRADE: BELOW GRADE:	06 24
TOTAL	30
TOTAL	204

MAXIMUM PARKING RATE FOR RESIDENTIAL USE : 1.75 per unit (INCLUDING VISITOR)

BICYCLE PARKING

REQUIRED

RESIDENTIAL	- 0.5 PER UNIT (422 UNITS)	211
COMMERCIAL	- 1.5 PER 250 m ² GFA (300 M ²)	2
TOTAL		213

PROVIDED

EXTERIOR:	10
INTERIOR:	304
TOTAL:	314

LOT COVERAGE

PAVED SURFACE =	790.0 sq. m.	18.8%
BUILDING FOOTPRINT =	1,430.0 sq. m.	34.0%
LANDSCAPE OPEN SPACE =	1,975.0 sq. m.	47.2%
TOTAL =	4,195.0 sq. m.	100.0%

REAR PARKING/LANDSCAPE AREA

PAVED SURFACE =	509.5 sq. m.	39.4%
LANDSCAPE OPEN SPACE =	785.5 sq. m.	60.6%
TOTAL =	1,295.0 sq. m.	100.0%

AMENITY SPACE

AT GRADE COMMUNAL EXTERIOR =	960.0 sq. m.
GROUND COMMUNAL INTERIOR =	254.0 sq. m.
PRIVATE BALCONIES =	6017.2 sq. m.
7th FLOOR COMMUNAL INTERIOR =	351.0 sq. m.
7th FLOOR COMMUNAL EXTERIOR =	627.7 sq. m.
ROOF TOP COMMUNAL EXTERIOR =	0.0 sq. m.
TOTAL PRIVATE =	6017.2 sq. m.
TOTAL COMMUNAL =	2192.0 sq. m.
TOTAL OVERALL =	8209 sq. m.
REQUIRED - 6.0M ² PER UNIT (422) =	2532.0 sq. m.
REQUIRED COMMUNAL @ 50% =	1266.0 sq. m.

REFUSE REQUIREMENT (422 UNITS)

GARBAGE (COMPACTED)	- 0.053 PER UNIT	23 YARDS
RECYCLING GMP	- 0.018 PER UNIT	8 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	16 YARDS
ORGANICS	- 240L PER 50 UNITS	9

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ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

NOTATION SYMBOLS:

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- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.
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- TITLE SCALE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

ISSUED FOR SPA / RE-ZONING - R2	Mar. XX, 23
ISSUED FOR SPA / RE-ZONING	Jun. 08, 21
ISSUED FOR DESIGN CONCEPT	Nov. 06, 20
No. DESCRIPTION DATE	

ARCHITECT SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS** (Professional Seal)

ARCHITECT: **rla/architecture** roderick lahey architect inc.
 56 beech street, ottawa, ontario K1S 3J6
 t: 613.724.9932 f: 613.724.1209 rla@architecture.ca

PROJECT TITLE:
2829 DUMAURIER AVENUE

OTTAWA ONTARIO

SHEET TITLE:
SITE PLAN

DRAWN: R.V.	CHECKED: R.V.
SCALE: 1:200	SHEET No.
PROJECT No. 1922	SP-1

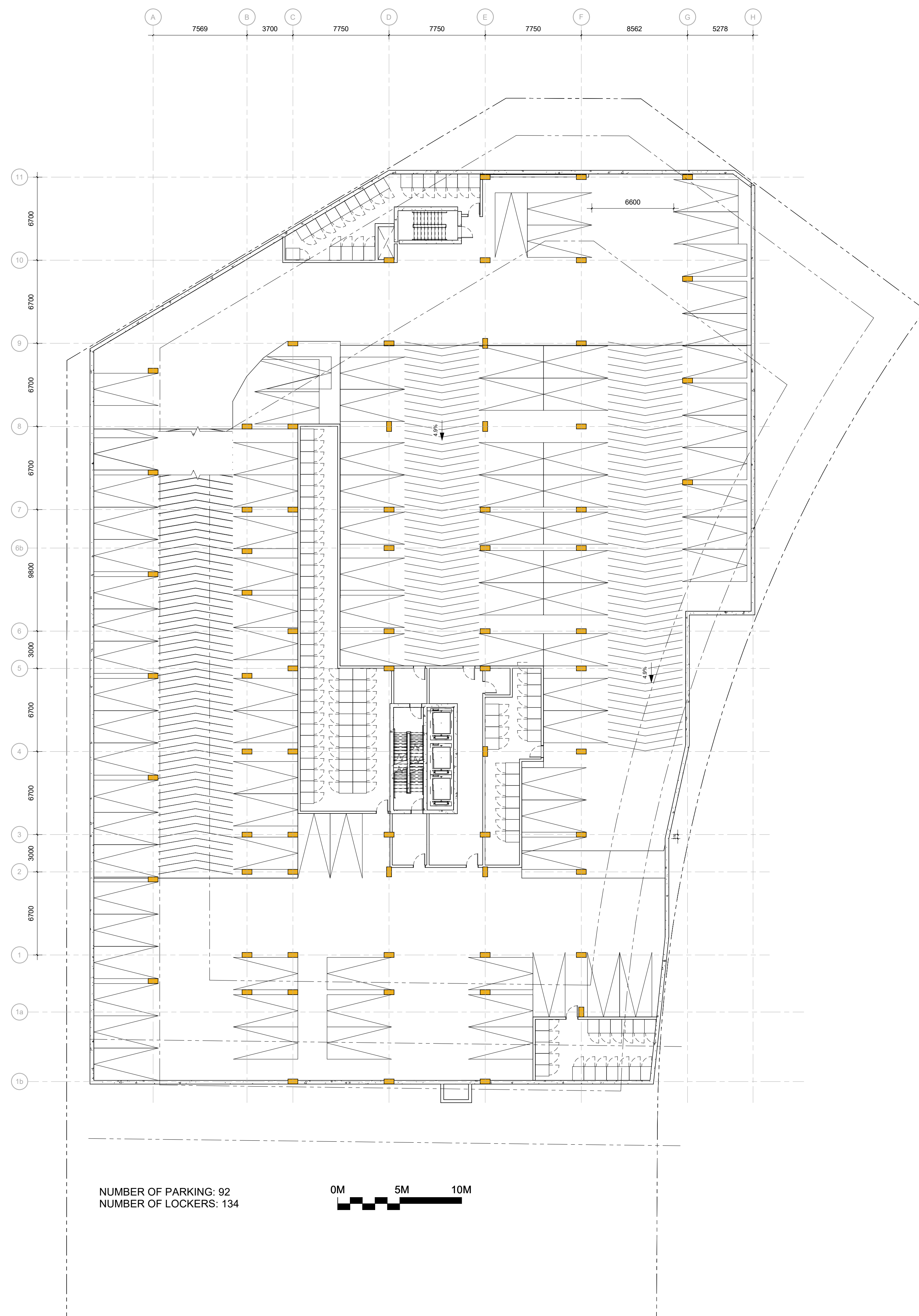
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GENERAL NOTES:

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NUMBER OF PARKING: 92
 NUMBER OF LOCKERS: 134



P2 PARKING FLOOR PLAN


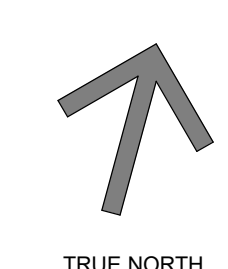


NUMBER OF PARKING: 83
 NUMBER OF BIKE PARKING: 0
 NUMBER OF LOCKERS: 212 (STACKED)



P1 PARKING FLOOR PLAN

No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03.11.22

ARCHITECT SEAL:  NORTH ARROW:  TRUE NORTH

CLIENT:
brigil

ARCHITECT:
 rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
 2829 DUMAURIER AVENUE
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:
 TYPICAL PARKING AND P1 FLOOR PLAN

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 200	SHEET No: A-01
PROJECT No: 1922	

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

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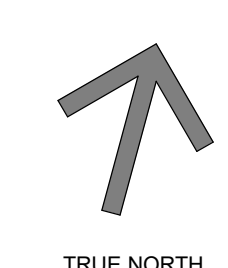
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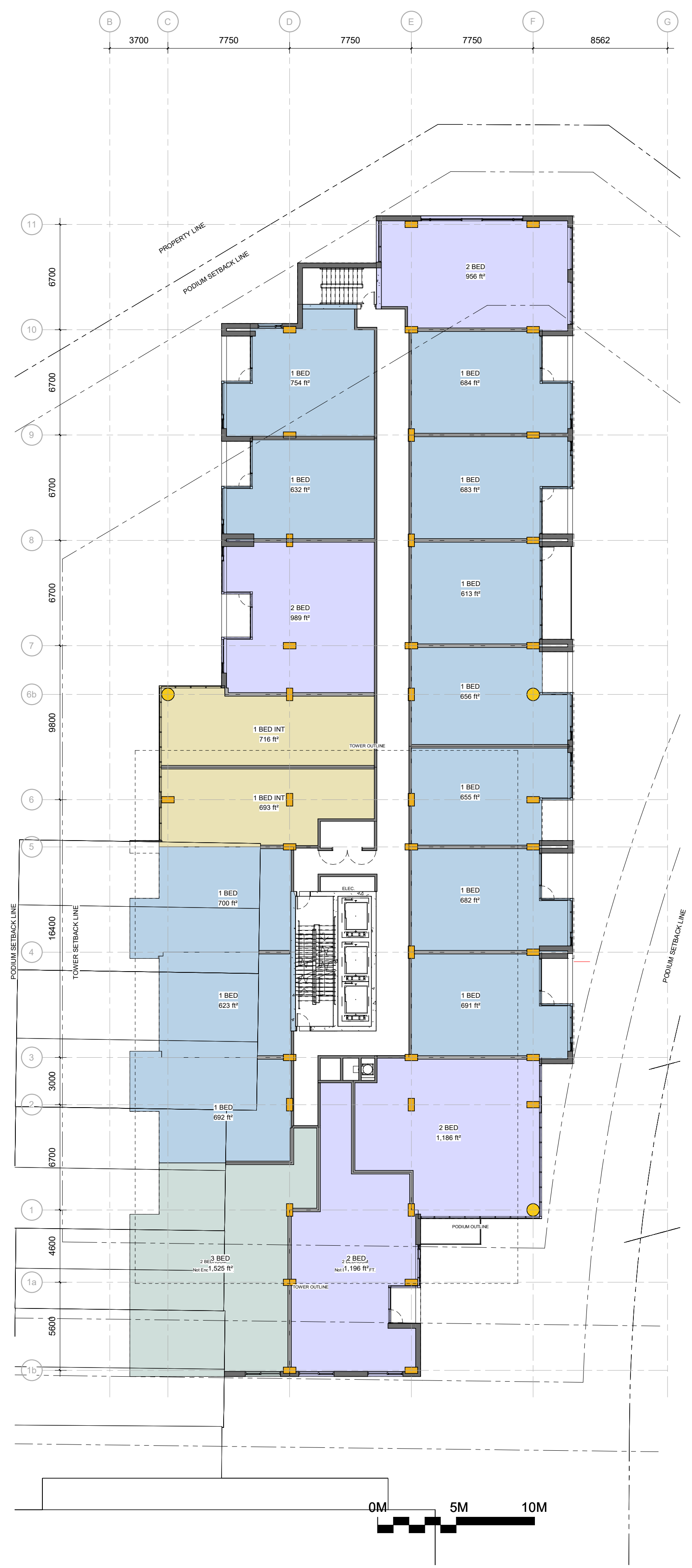
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GROUND FLOOR PLAN



TYPICAL PODIUM L2-L6 FLOOR PLAN

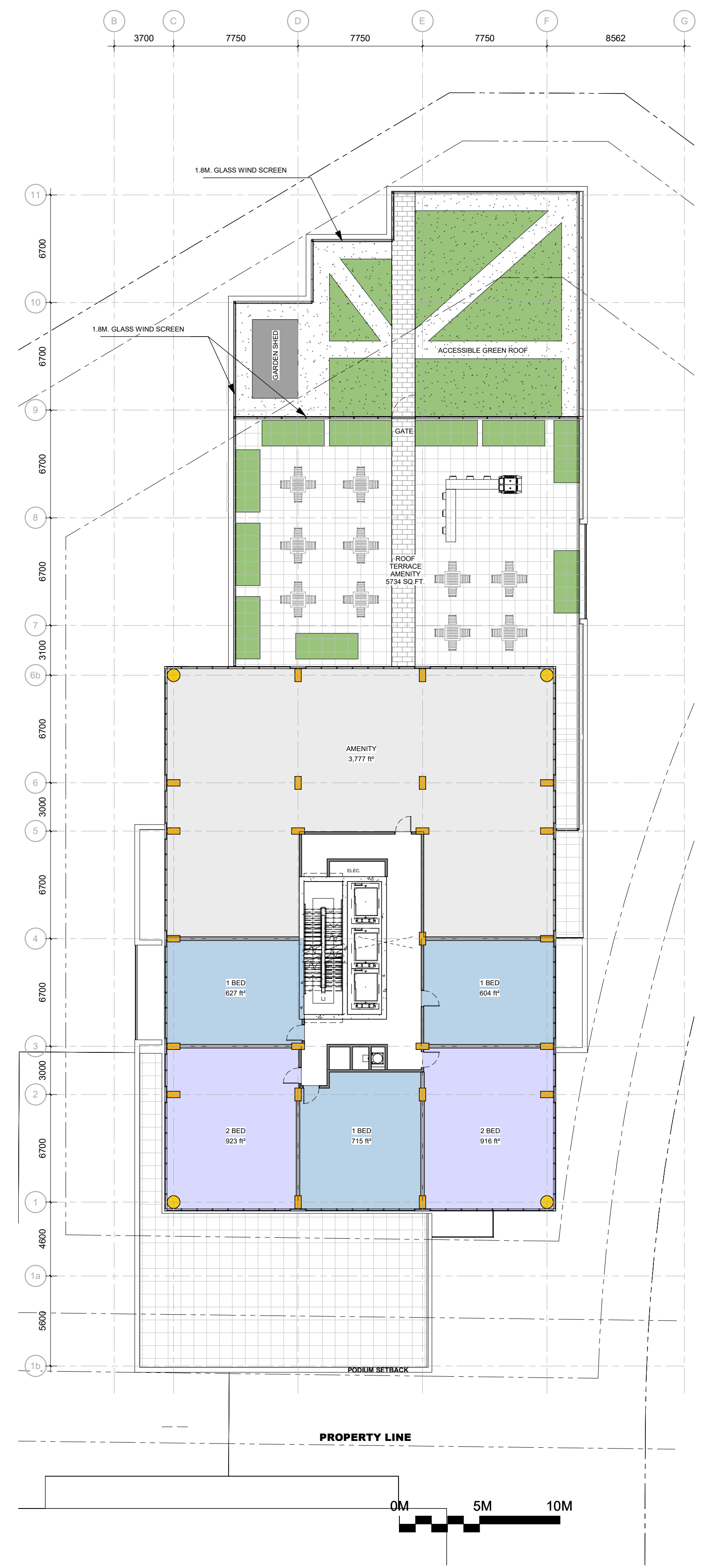
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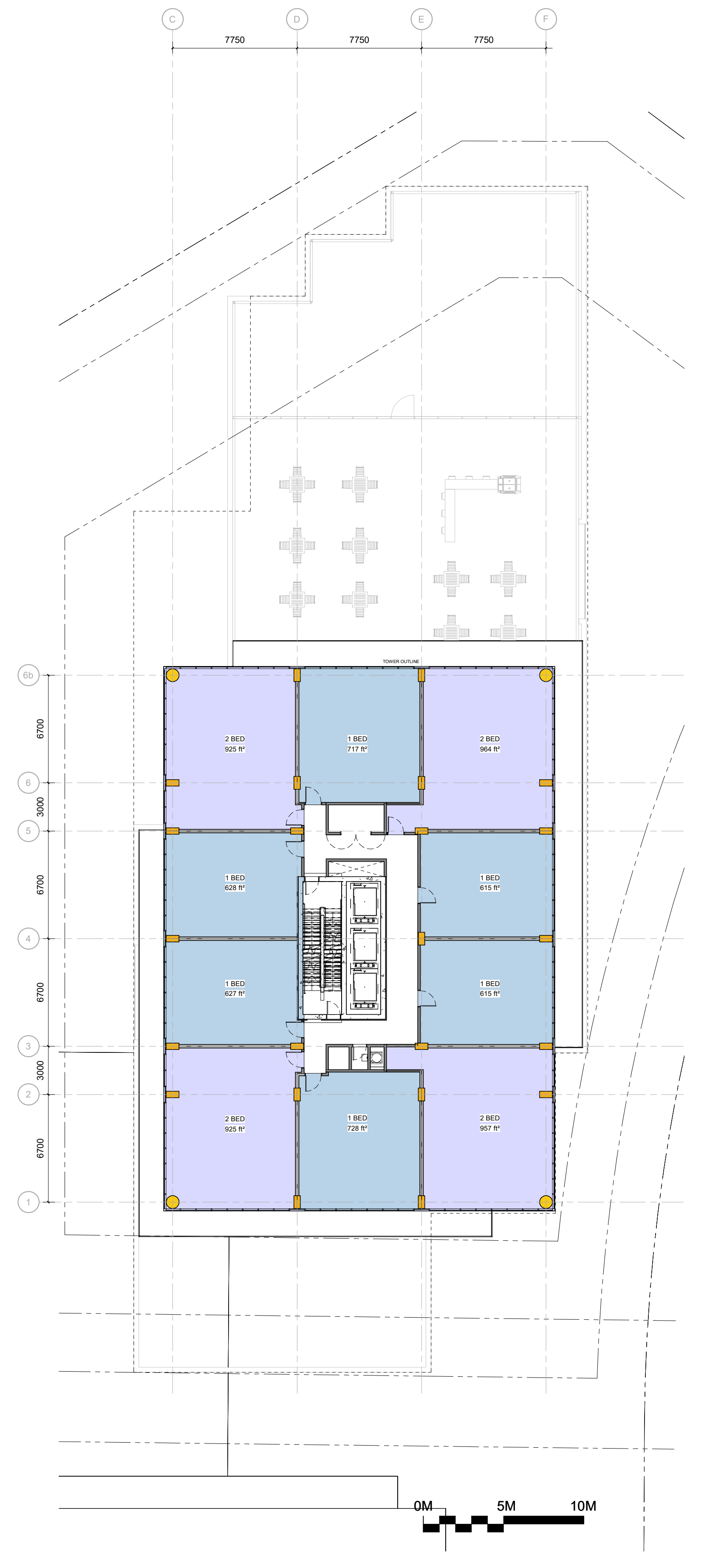
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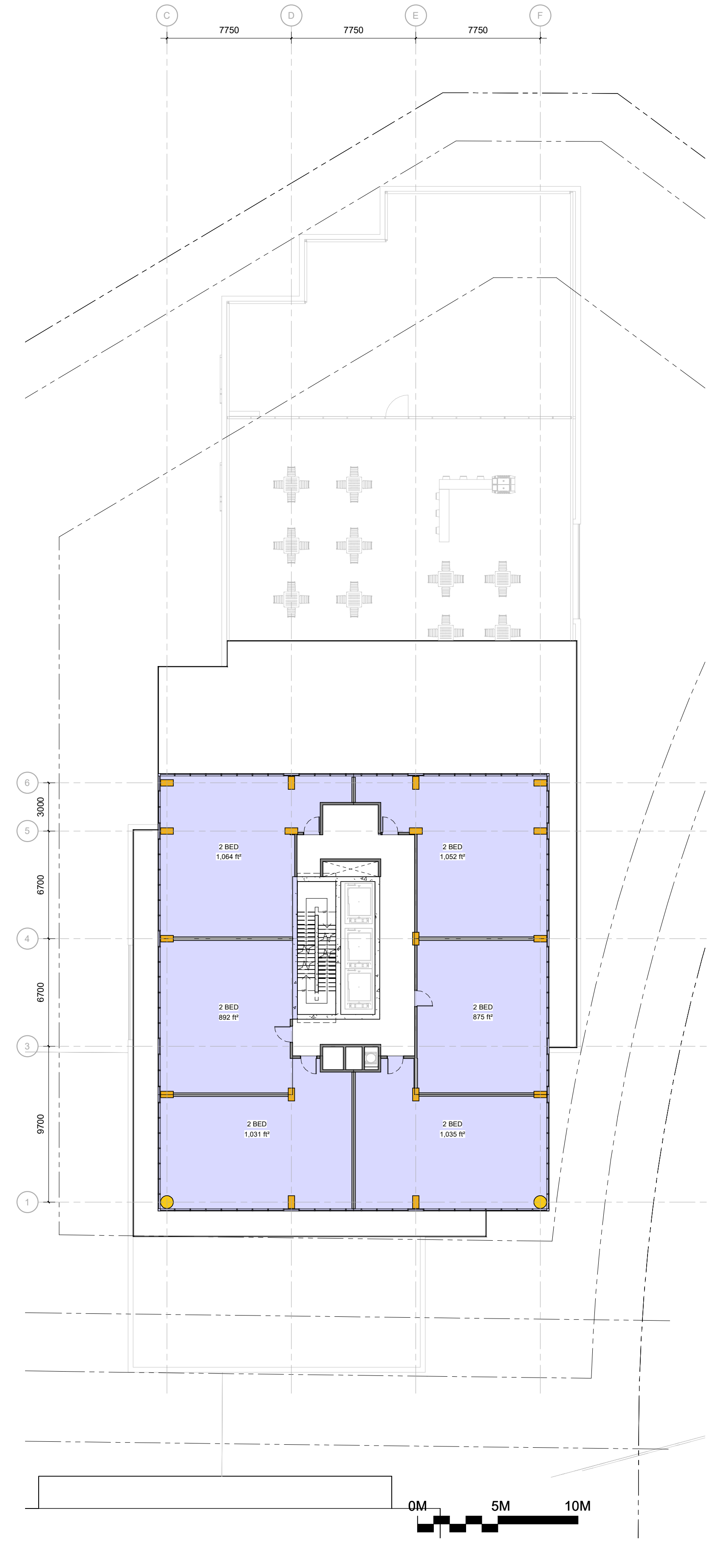
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7TH FLOOR PLAN



TYPICAL TOWER FLOOR PLAN L8 - L38



TYPICAL PH FLOOR PLAN L39 - L40

No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03.11.22

ARCHITECT SEAL:

NORTH ARROW:

TRUE NORTH

CLIENT:

brigil

ARCHITECT:

rla/architecture

56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:

2829 DUMAURIER AVENUE

2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:

FLOOR PLANS

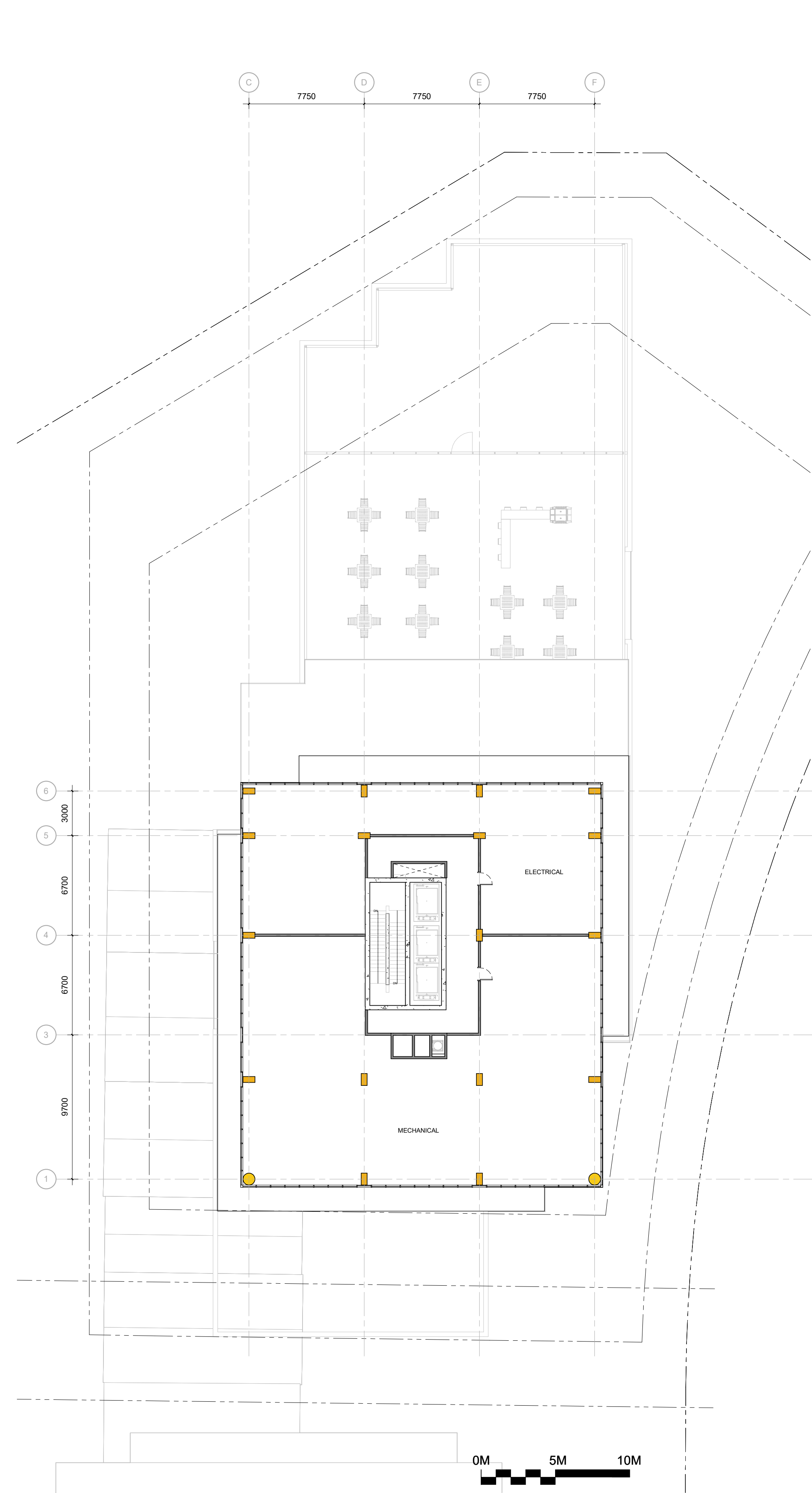
DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 200	SHEET No: A-03
PROJECT No: 1922	

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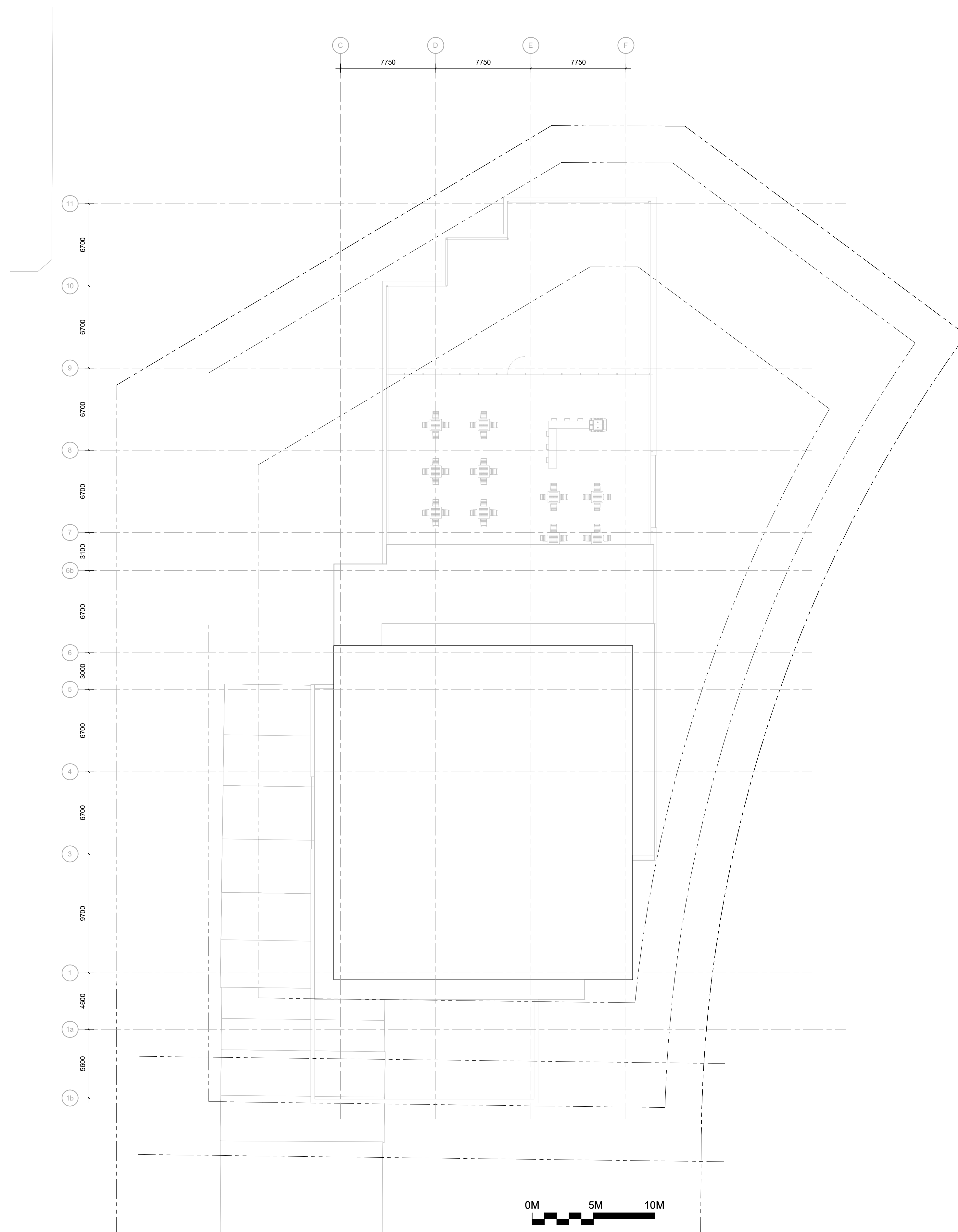
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 - (00) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
 - (00) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
 - (000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
 - (00) TITLE SCALE
 - (000000) DETAIL REFERENCE PAGE
 - (0000000) DETAIL CROSS REFERENCE PAGE

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MECHANICAL FLOOR PLAN



ROOF PLAN

No.	DESCRIPTION	DATE
REVISIONS:		

ARCHITECT SEAL:

NORTH ARROW:

TRUE NORTH

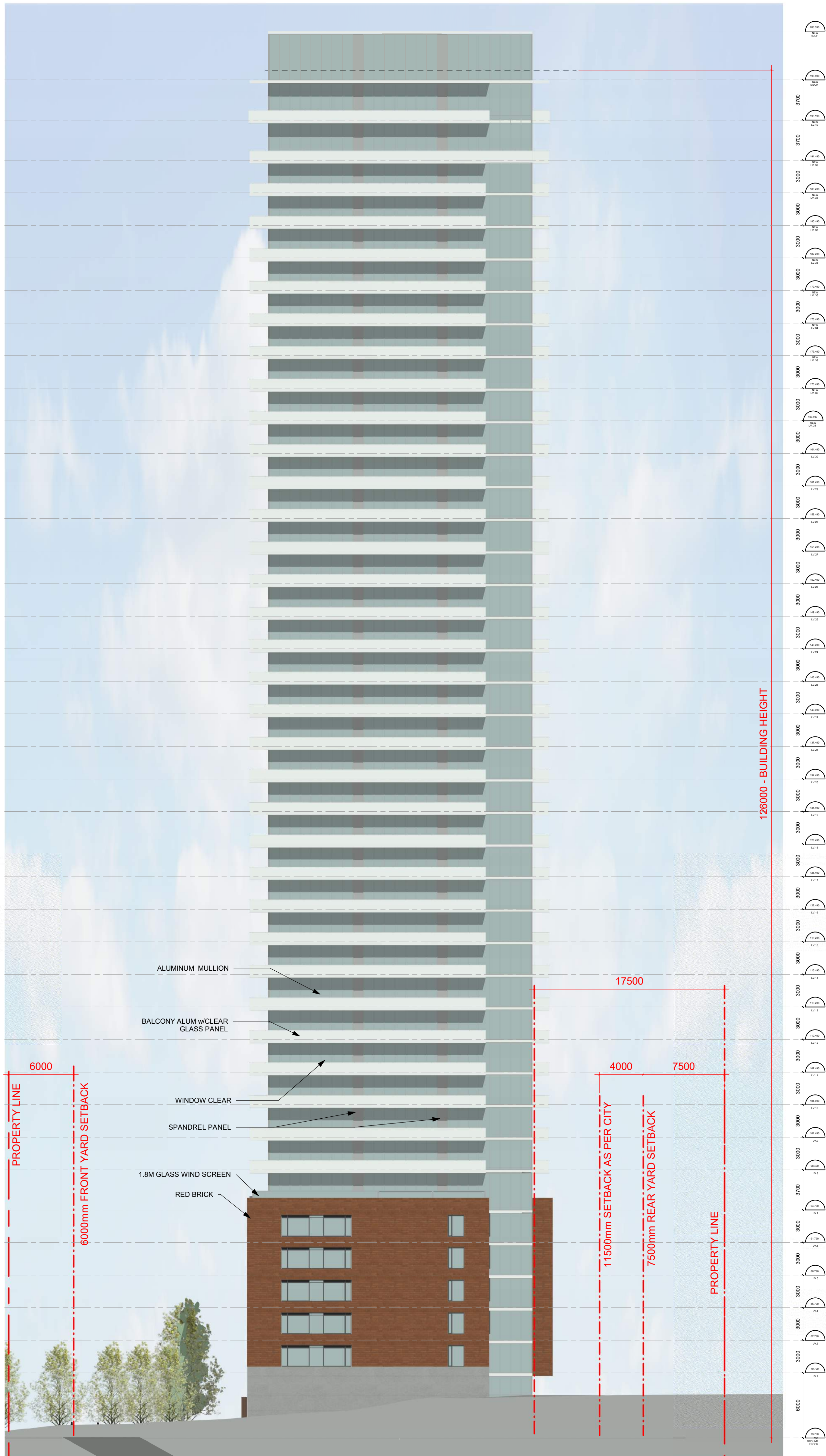
CLIENT:
brigil

ARCHITECT:
rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

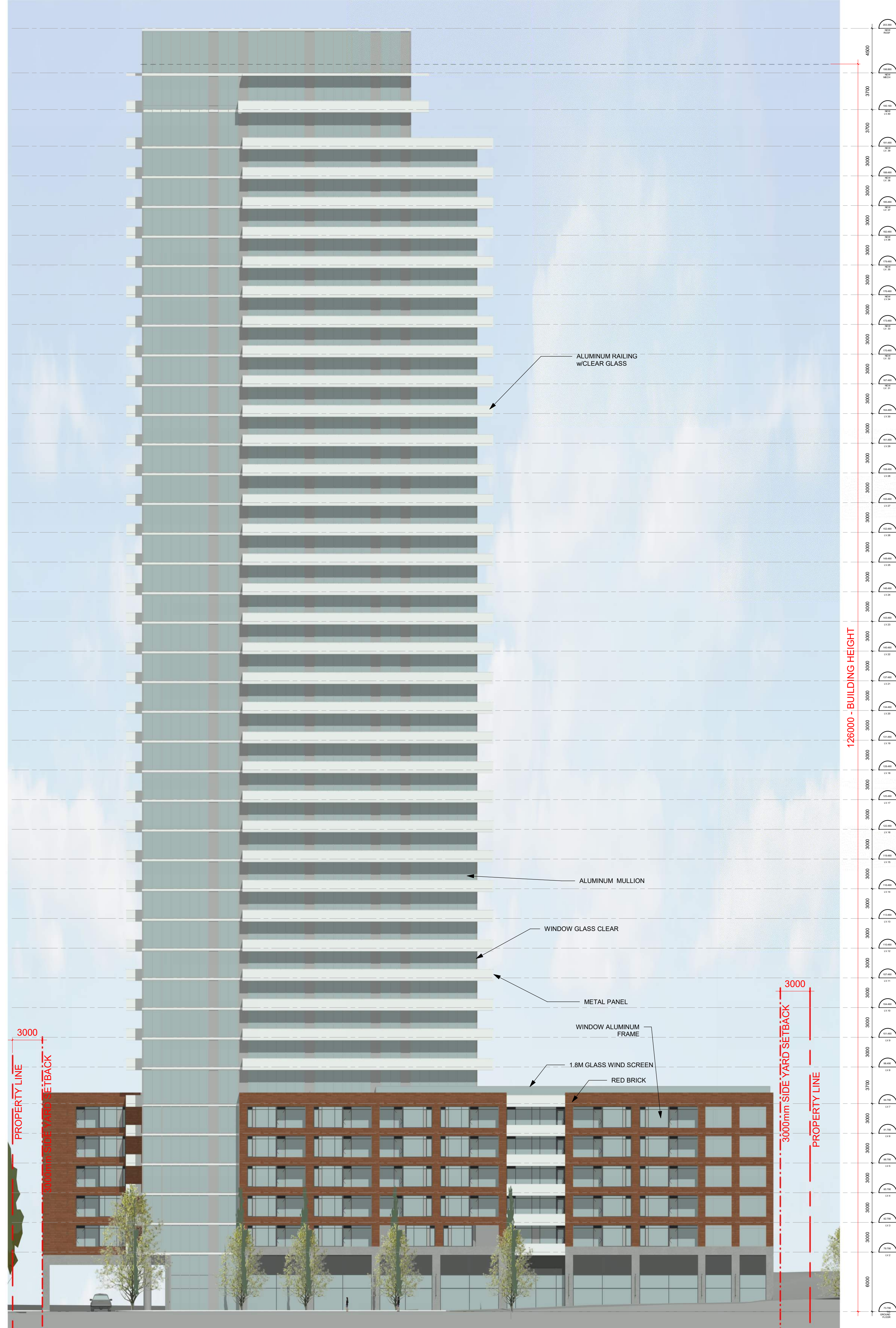
PROJECT TITLE:
2829 DUMAURIER AVENUE
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:
FLOOR PLANS

DRAWN: Author	CHECKED: Checker
SCALE: 1 : 200	SHEET No: A-04
PROJECT No: 1922	



NORTH ELEVATION



EAST ELEVATION

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- (00) TITLE
- (000000) SCALE
- (000000) DETAIL REFERENCE PAGE
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No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03/11/22
1	ISSUED FOR SPARE ZONING	08/06/21

ARCHITECT SEAL:

NORTH ARROW:

CLIENT:

brigil

ARCHITECT:

rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:

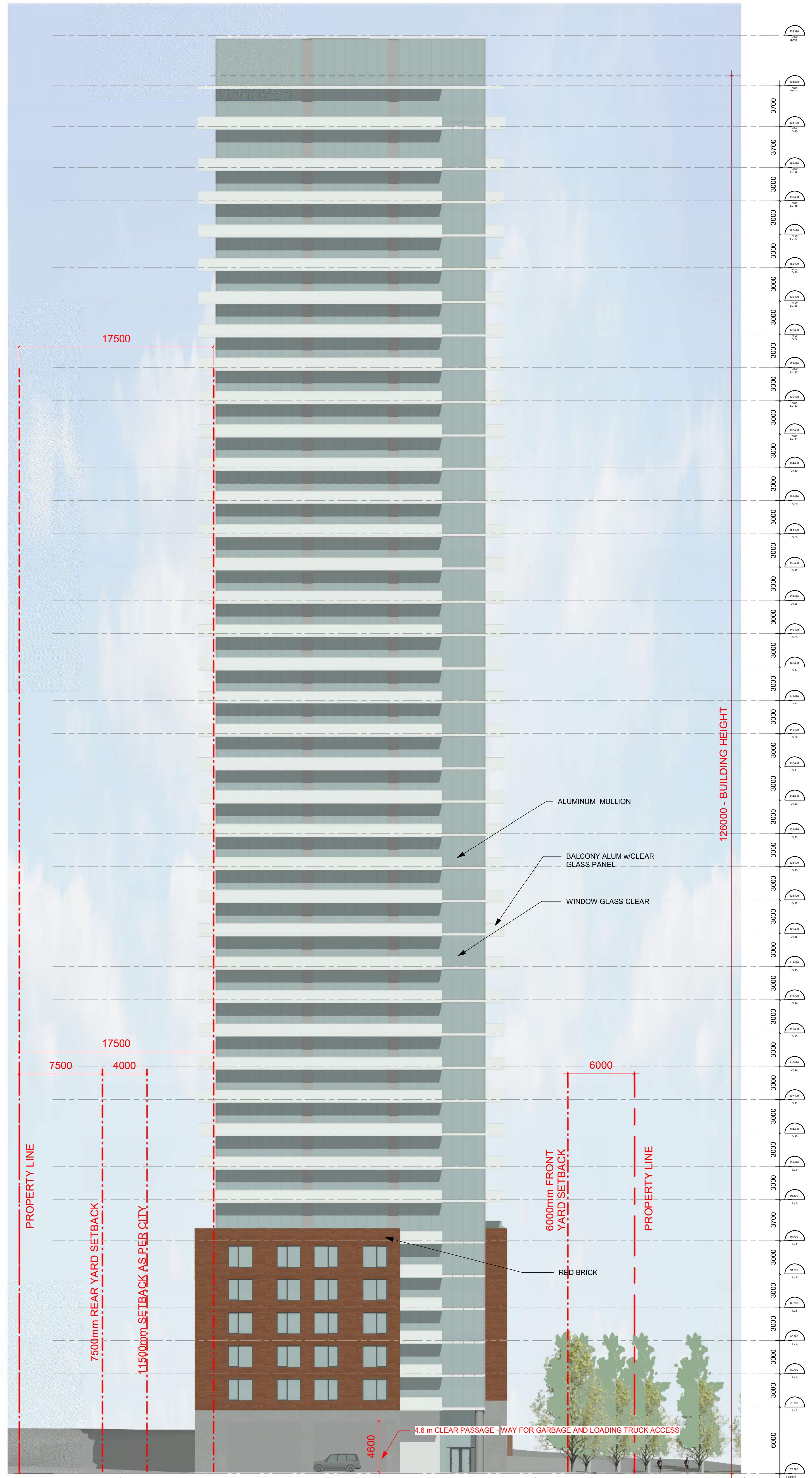
2829 DUMAUER AVENUE

2829 DUMAUER AVE, OTTAWA, ON

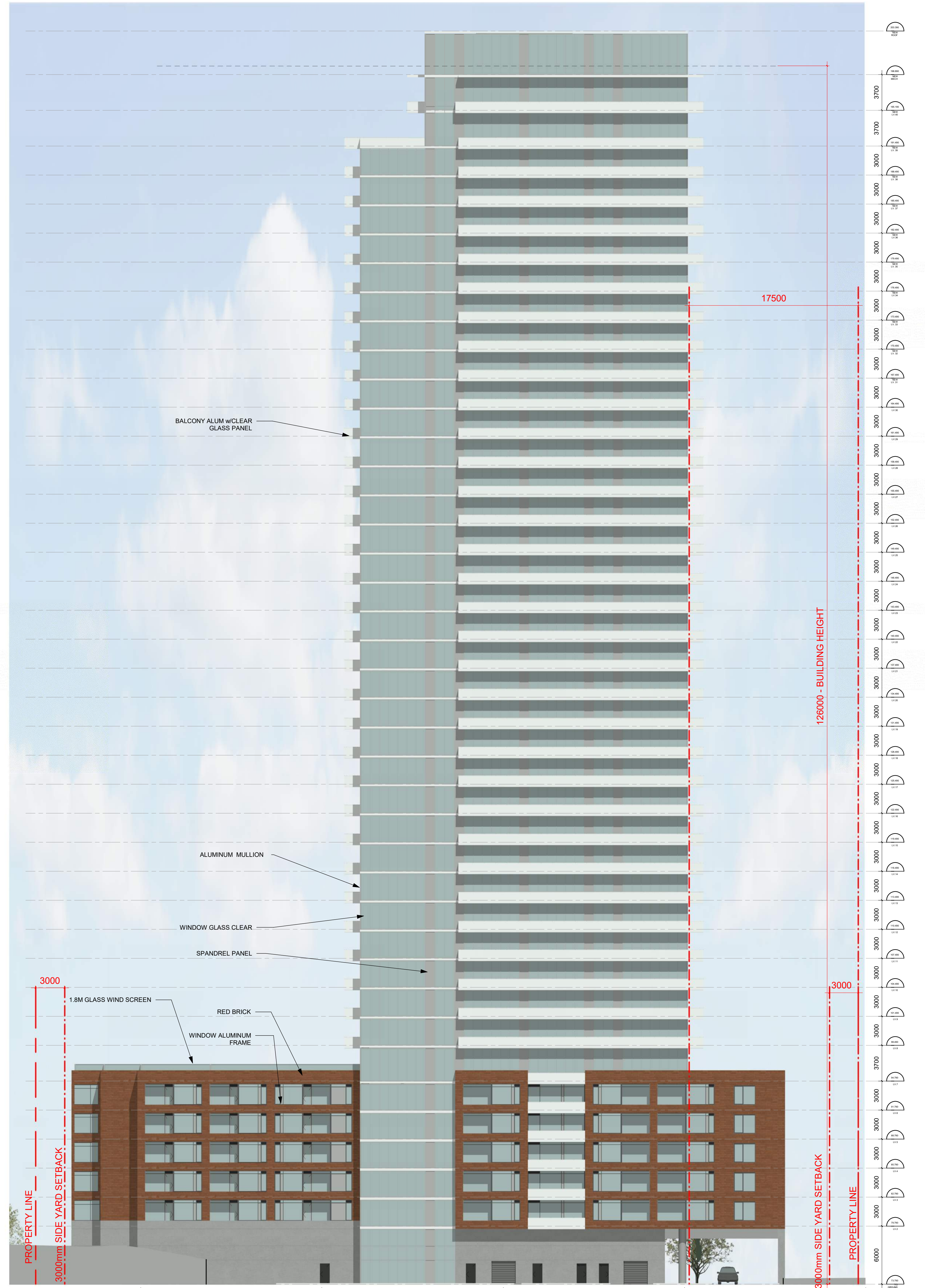
SHEET TITLE:

ELEVATIONS

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 225	SHEET No: A-05a
PROJECT No: 1922	



SOUTH ELEVATION





WEST ELEVATION

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 - (000000) SCALE
 - (000000) DETAIL REFERENCE PAGE
 - (000000) DETAIL CROSS REFERENCE PAGE

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No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03/11/22
1	ISSUED FOR SPARE ZONING	08/06/21

ARCHITECT SEAL:  NORTH ARROW: 

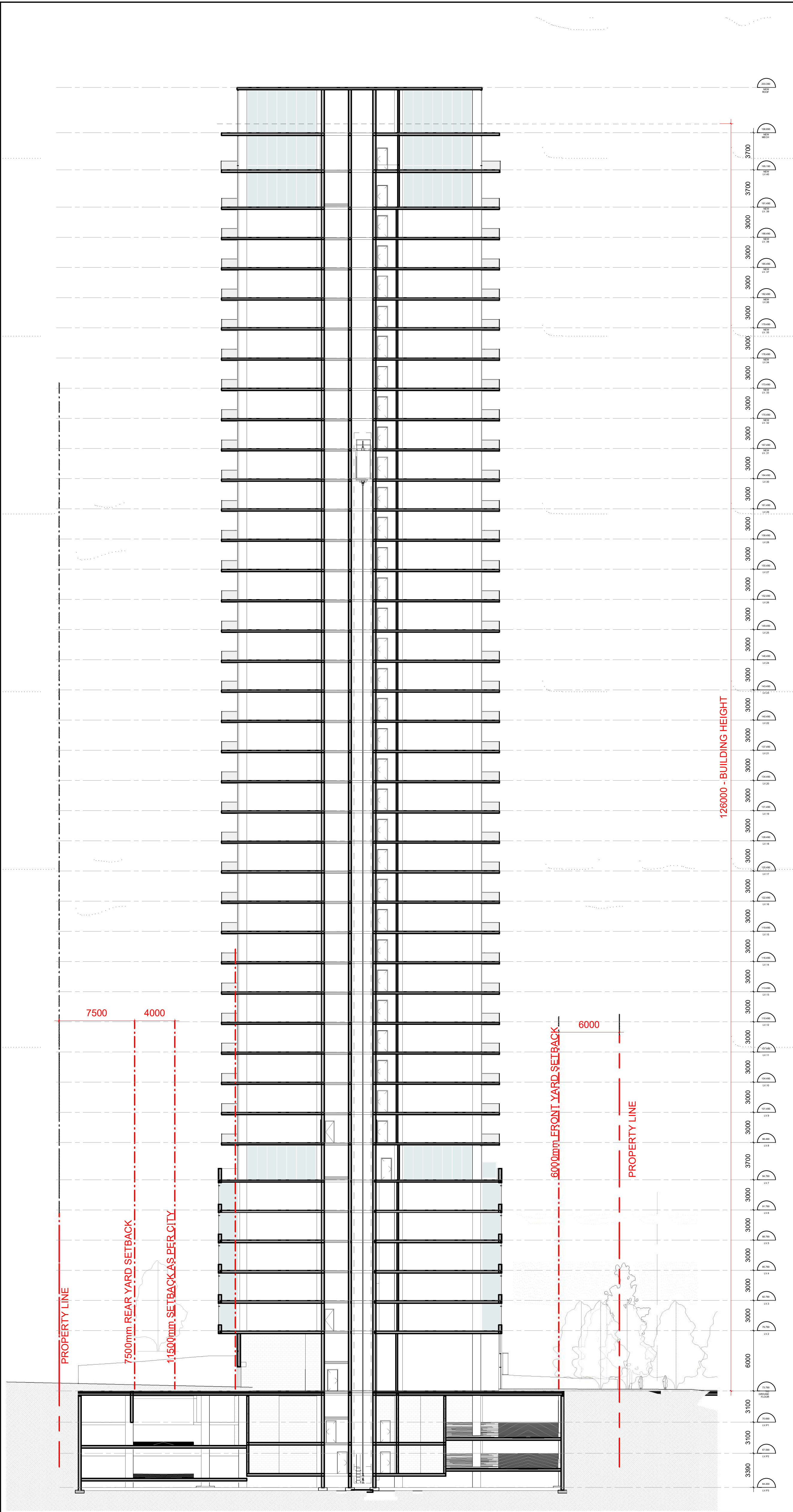
CLIENT:
brigil

ARCHITECT:
 rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

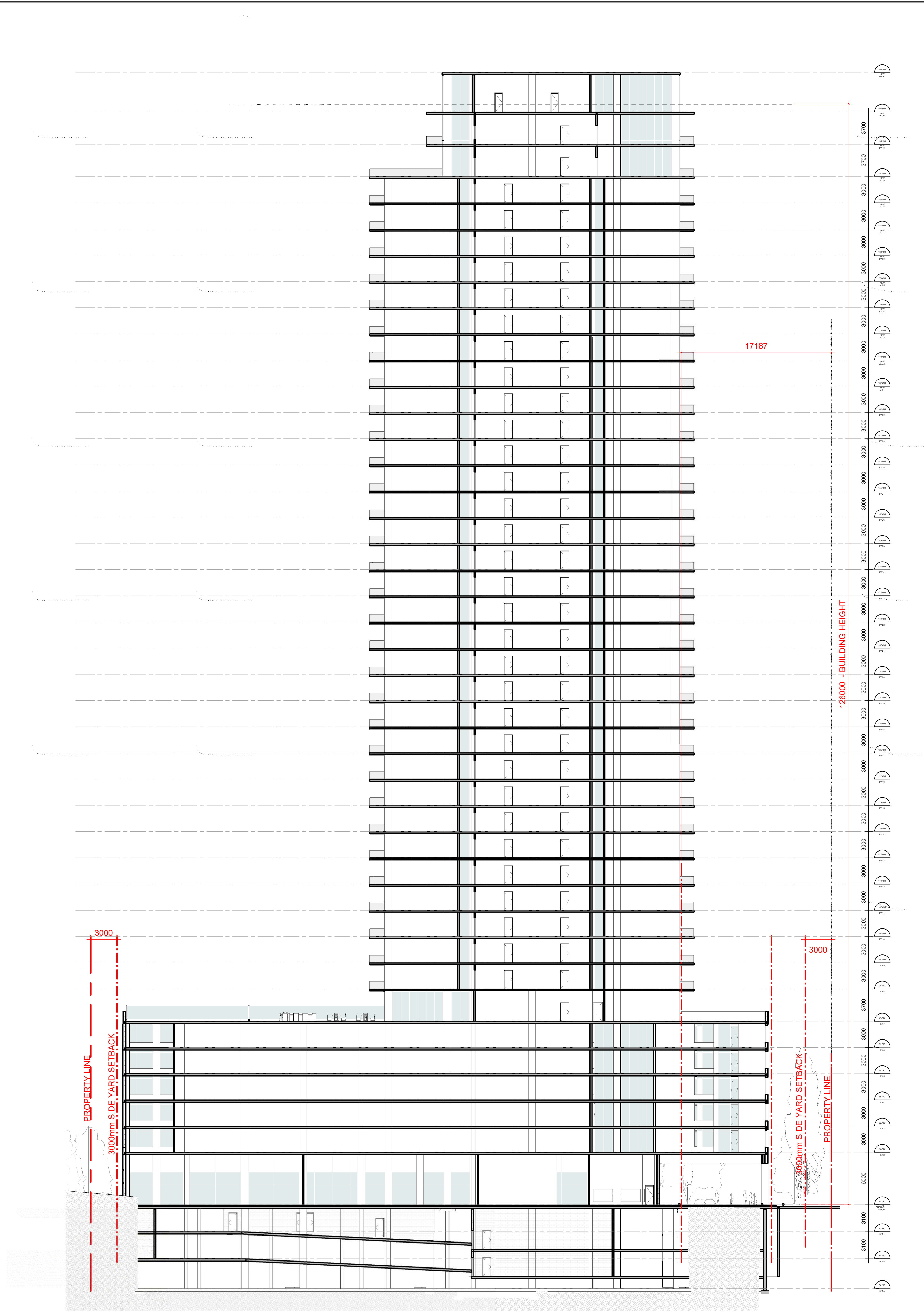
PROJECT TITLE:
 2829 DUMAURIER AVENUE
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:
 ELEVATIONS

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 225	SHEET No: A-05b
PROJECT No: 1922	



NORTH-SOUTH SECTION



EAST-WEST SECTION


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 - (00) TITLE SCALE
 - (000000) DETAIL REFERENCE PAGE
 - (000000) DETAIL CROSS REFERENCE PAGE

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No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03/11/22
1	ISSUED FOR SPARE ZONING	08/06/21

REVISIONS:

ARCHITECT SEAL:  NORTH ARROW:

CLIENT:

brigil

ARCHITECT:

rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:

2829 DUMAURIER AVENUE

2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:

SECTIONS

DRAWN: G.E.	CHECKED: J.G.
SCALE: 1 : 225	SHEET No: A-06
PROJECT No: 1922	



VIEW LOOKING NORTH-WEST



VIEW LOOKING SOUTH-EAST



VIEW LOOKING SOUTH ALONG DUMAURIER AVE.

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- Ⓝ INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- Ⓞ INDICATES DETAIL NUMBER.
- Ⓟ TITLE SCALE
- Ⓠ DETAIL REFERENCE PAGE
- Ⓡ DETAIL CROSS REFERENCE PAGE

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2	UPDATED SPA - Client Review	03/11/22
1	ISSUED FOR SPARE ZONING	08/06/21

REVISIONS:

ARCHITECT SEAL:

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ARCHITECT:
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PROJECT TITLE:
2829 DUMAURIER AVENUE
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:
PERSPECTIVES

DRAWN: G.E.	CHECKED: J.G.
SCALE:	SHEET No: A-07
PROJECT No: 1922	



VIEW LOOKING NORTH-EAST



VIEW LOOKING NORTH-WEST STREETSCAPE ALONG DUMAQUIER AVE.



VIEW LOOKING SOUTH-EAST STREETSCAPE ALONG DUMAQUIER AVE.

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- ⑤ INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- ⑥ TITLE
- ⑦ SCALE
- ⑧ DETAIL REFERENCE PAGE
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No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03.11.22
1	ISSUED FOR SPARE ZONING	08.06.21

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:
brigil

ARCHITECT:
rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
2829 DUMAQUIER AVENUE
 2829 DUMAQUIER AVE, OTTAWA, ON

SHEET TITLE:
PERSPECTIVES

DRAWN: G.E.	CHECKED: J.G.
SCALE:	SHEET No: A-08
PROJECT No: 1922	



VIEW FROM FARRELL STREET



VIEW FROM DUMAURIER AVENUE AND WATSON STREET



VIEW FROM DUMAURIER AND RAMSEY CRESCENT

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No.	DESCRIPTION	DATE

ARCHITECT SEAL:

 NORTH ARROW:

CLIENT:
brigil

ARCHITECT:
rla / architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
2829 DUMAURIER AVENUE
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:
PERSPECTIVES

DRAWN: Author	CHECKED: Checker
SCALE:	SHEET No: A-09
PROJECT No: 1922	



VIEW LOOKING SOUTH-WEST



VIEW LOOKING NORTH-WEST



VIEW LOOKING NORTH-WEST



VIEW LOOKING EAST

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- ⑥ TITLE
- ⑦ SCALE
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- E ALL INTERIOR PARTITIONS ARE TO BE TYPE TP UNLESS NOTED OTHERWISE.
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- G COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

No.	DESCRIPTION	DATE
1	ISSUED FOR SQUARE ZONING	08.06.21
2	UPDATED SPA - Client Review	03.11.22

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1	ISSUED FOR SQUARE ZONING	08.06.21
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ARCHITECT SEAL: NORTH ARROW:

CLIENT:
brigil

ARCHITECT:
rla/architecture
56 Beech Street, Ottawa, Ontario K1S 3J6
t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
2829 DUMAURIER AVENUE
2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:
PERSPECTIVES - FUTURE BUILD-OUT

DRAWN:
G.E.

CHECKED:
J.G.

SCALE:

SHEET No:
A-10

PROJECT No:
1922

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

PLOT SCALE: 1:1

PLOT DATE: 2023-03-24 12:18:36 PM

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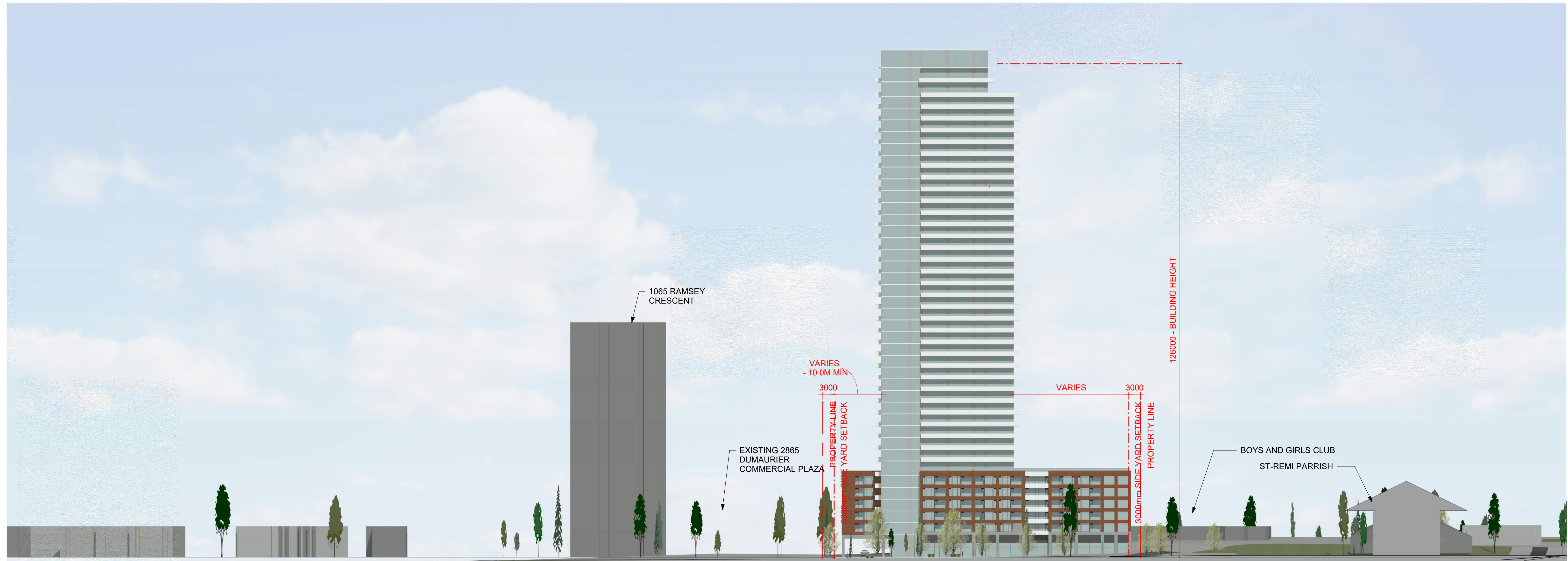
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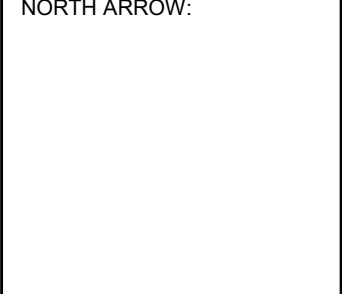
VIEW LOOKING WEST



FUTURE VIEW LOOKING WEST

No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03/11/22
1	ISSUED FOR SPARE ZONING	08/06/21

REVISIONS:

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:
brigil

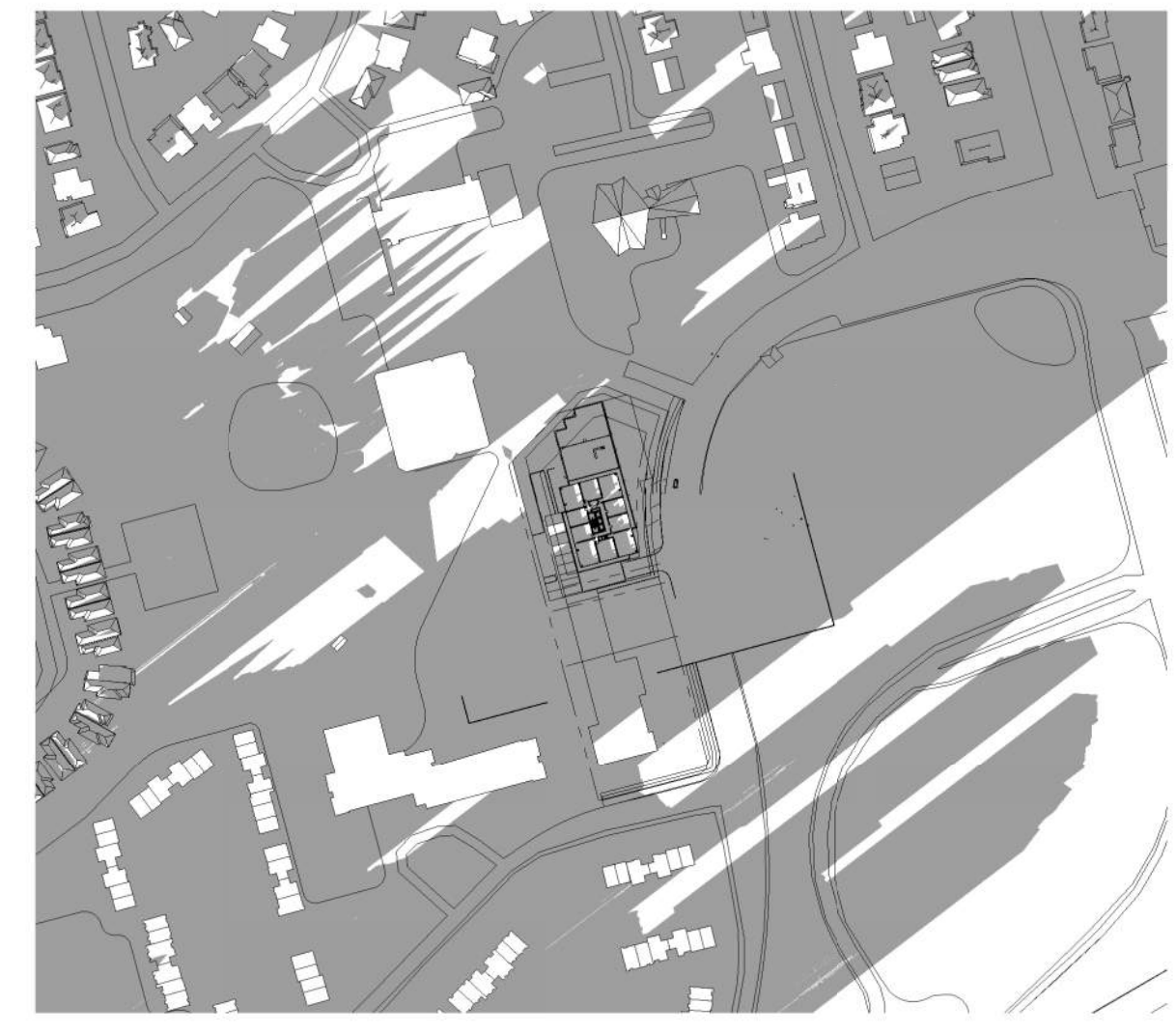
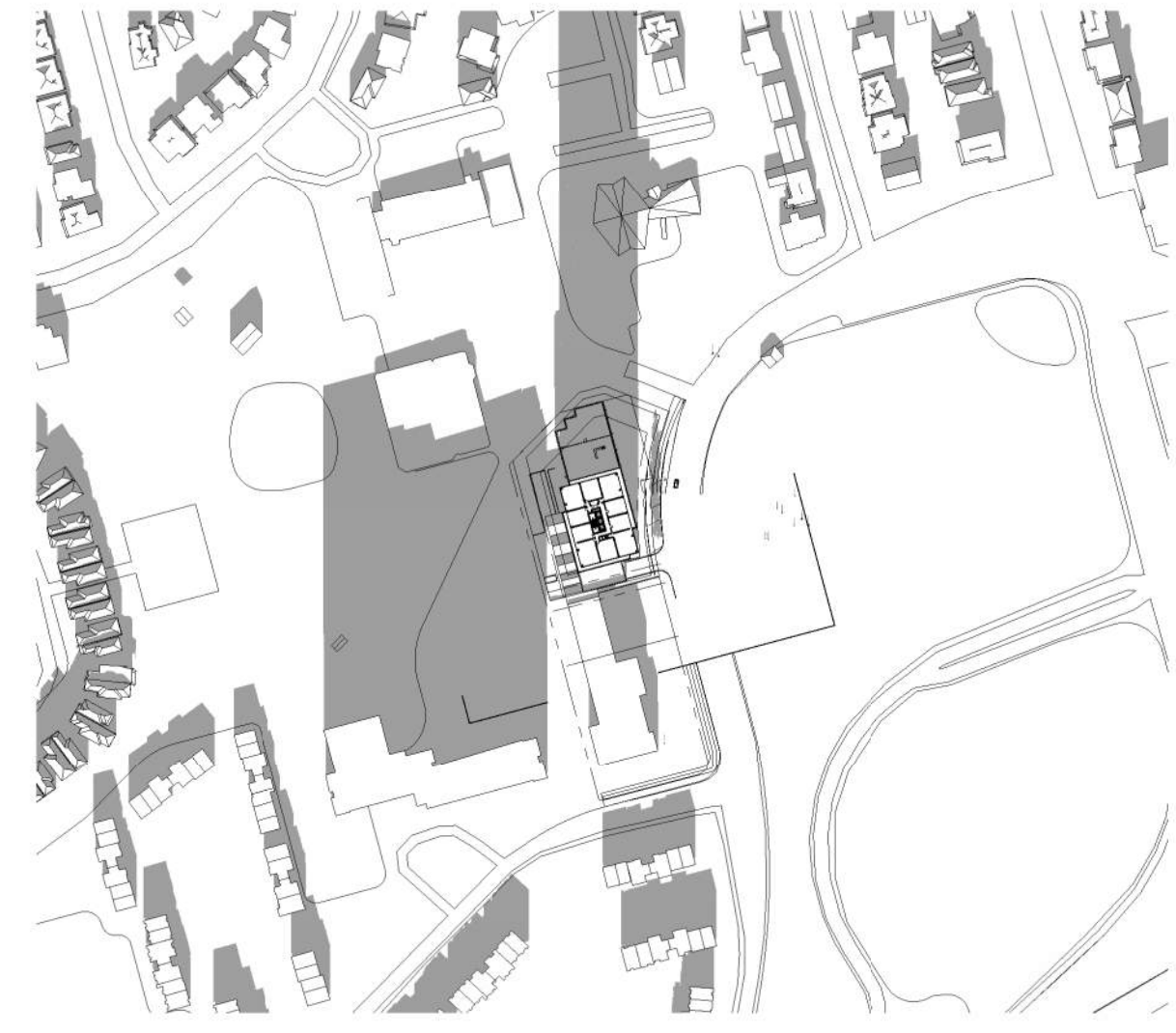
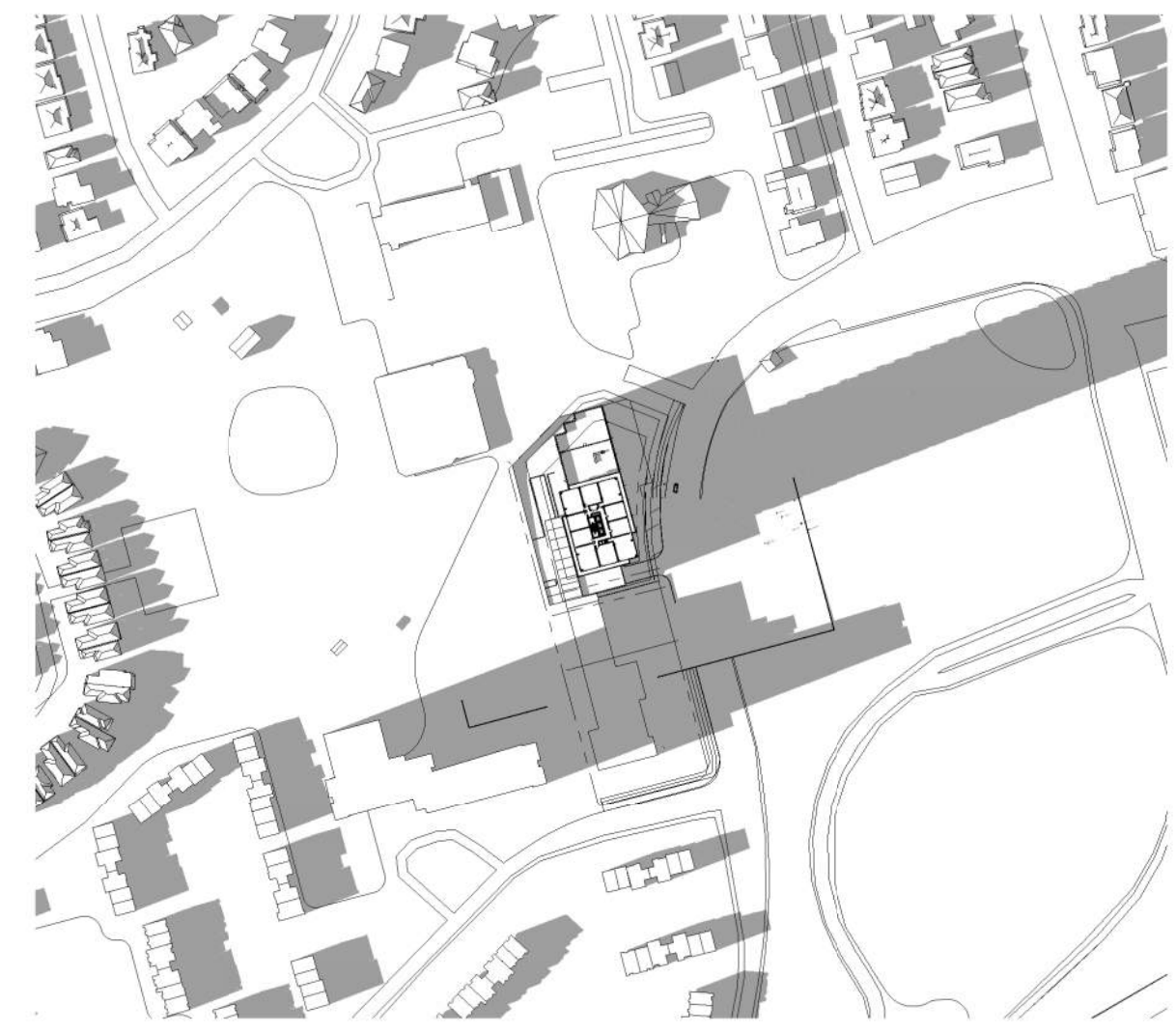
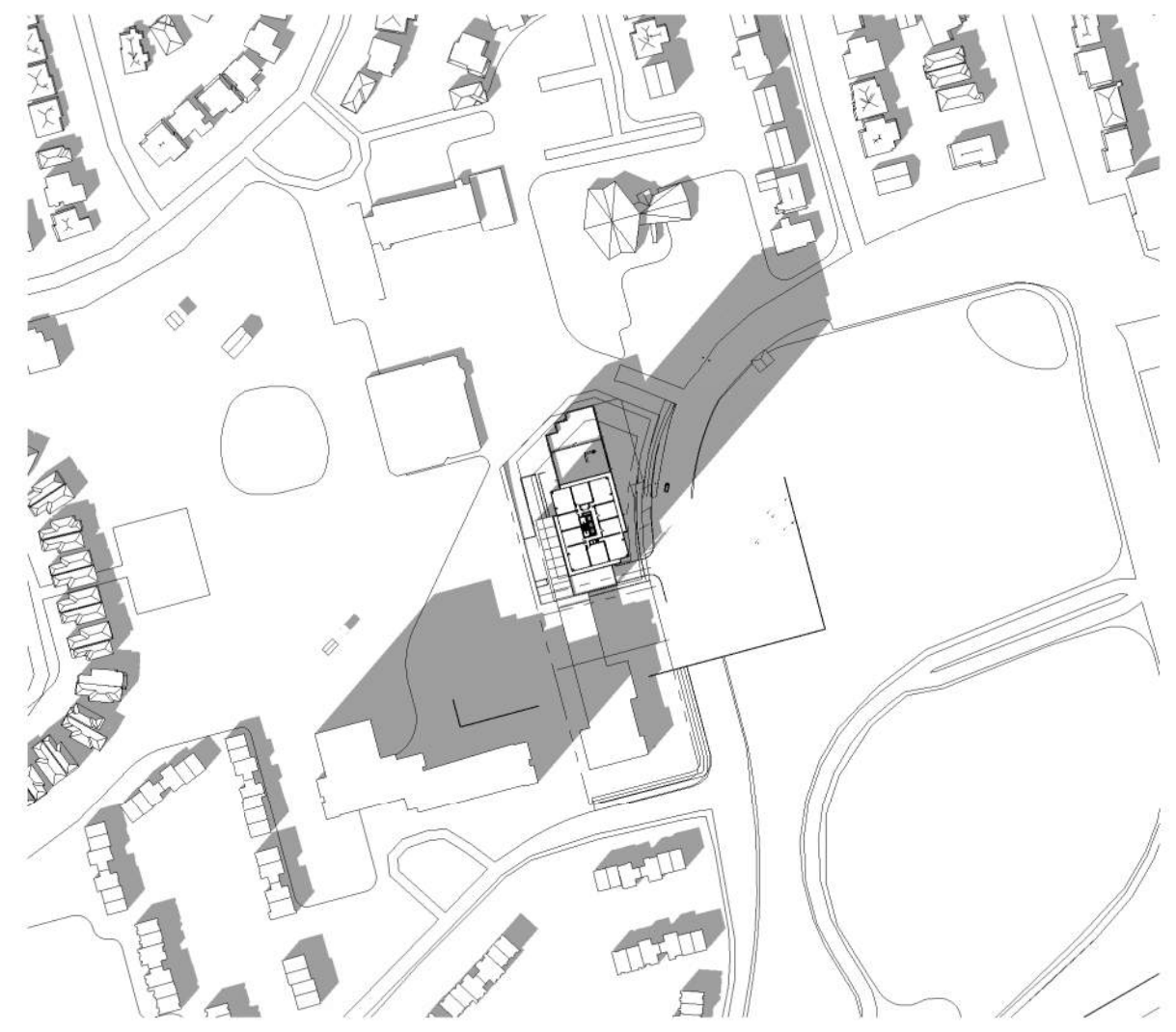
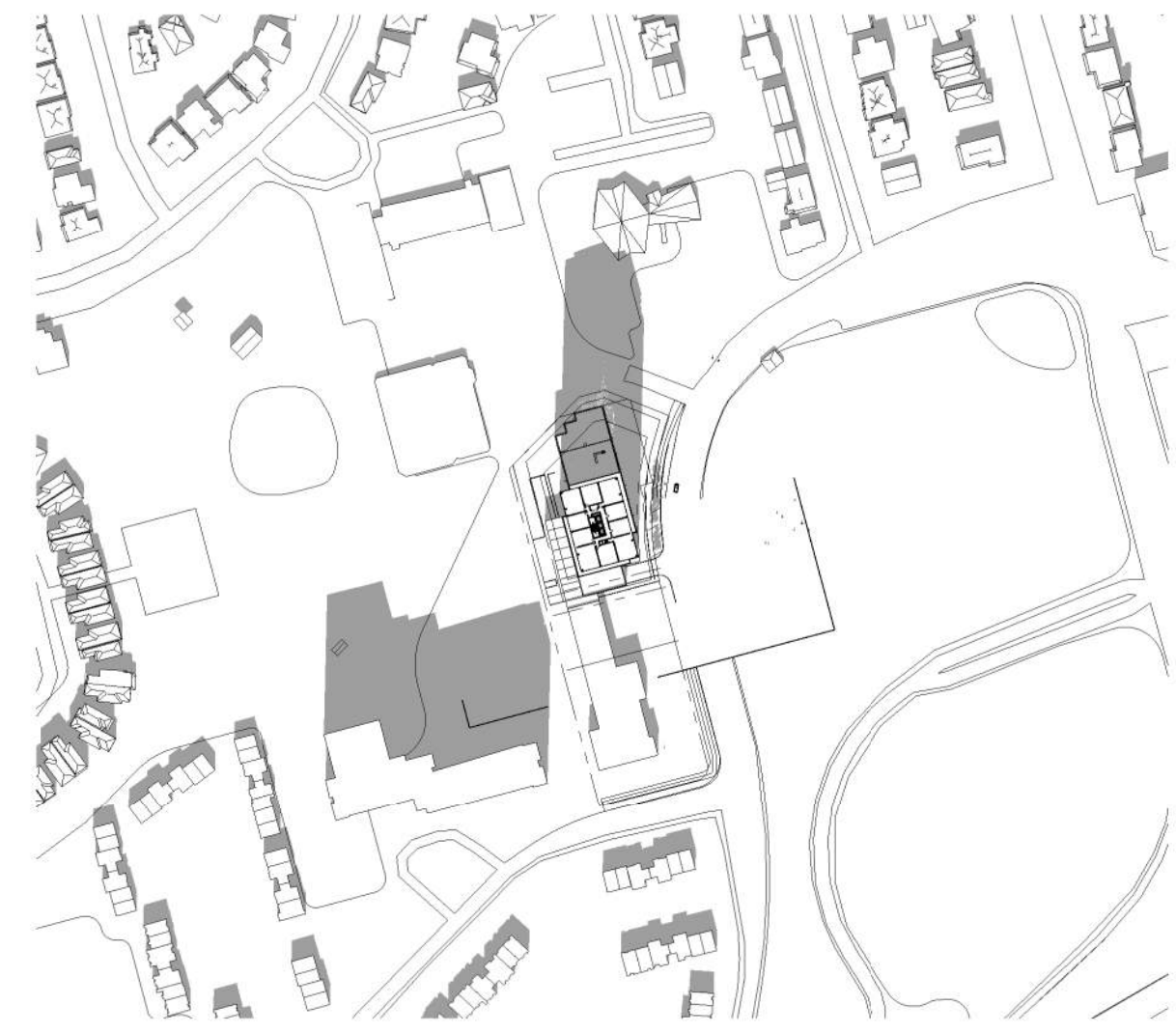
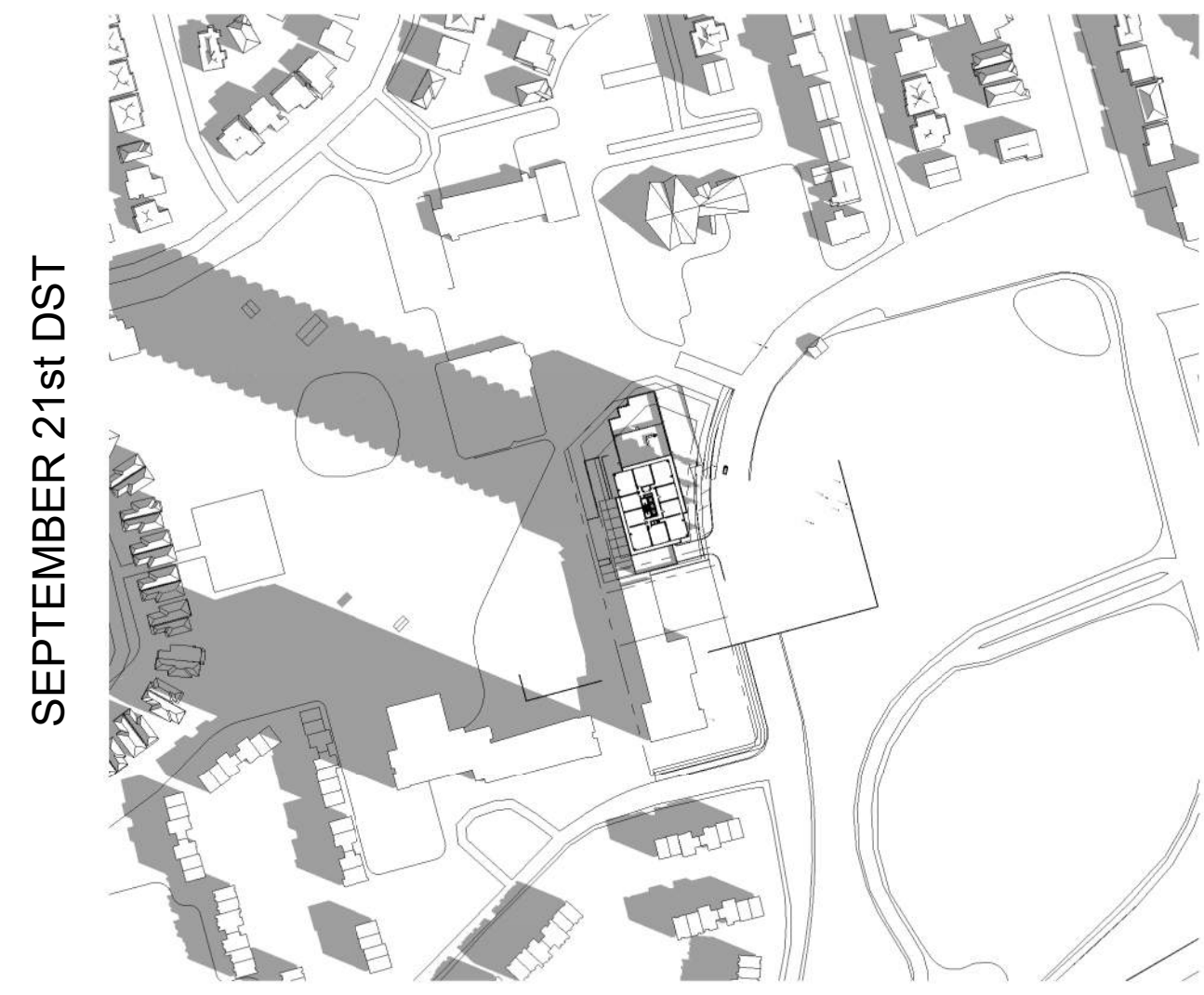
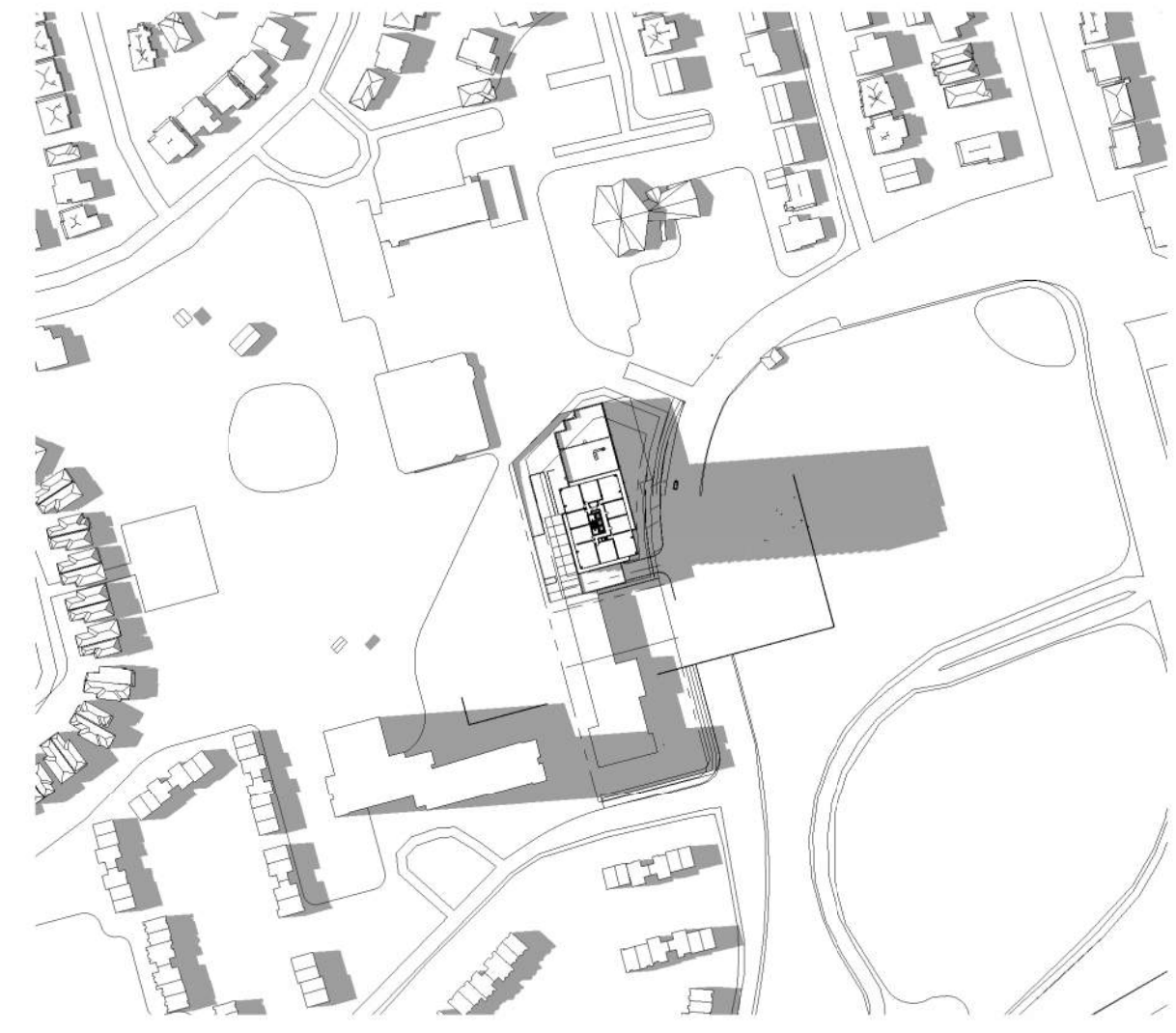
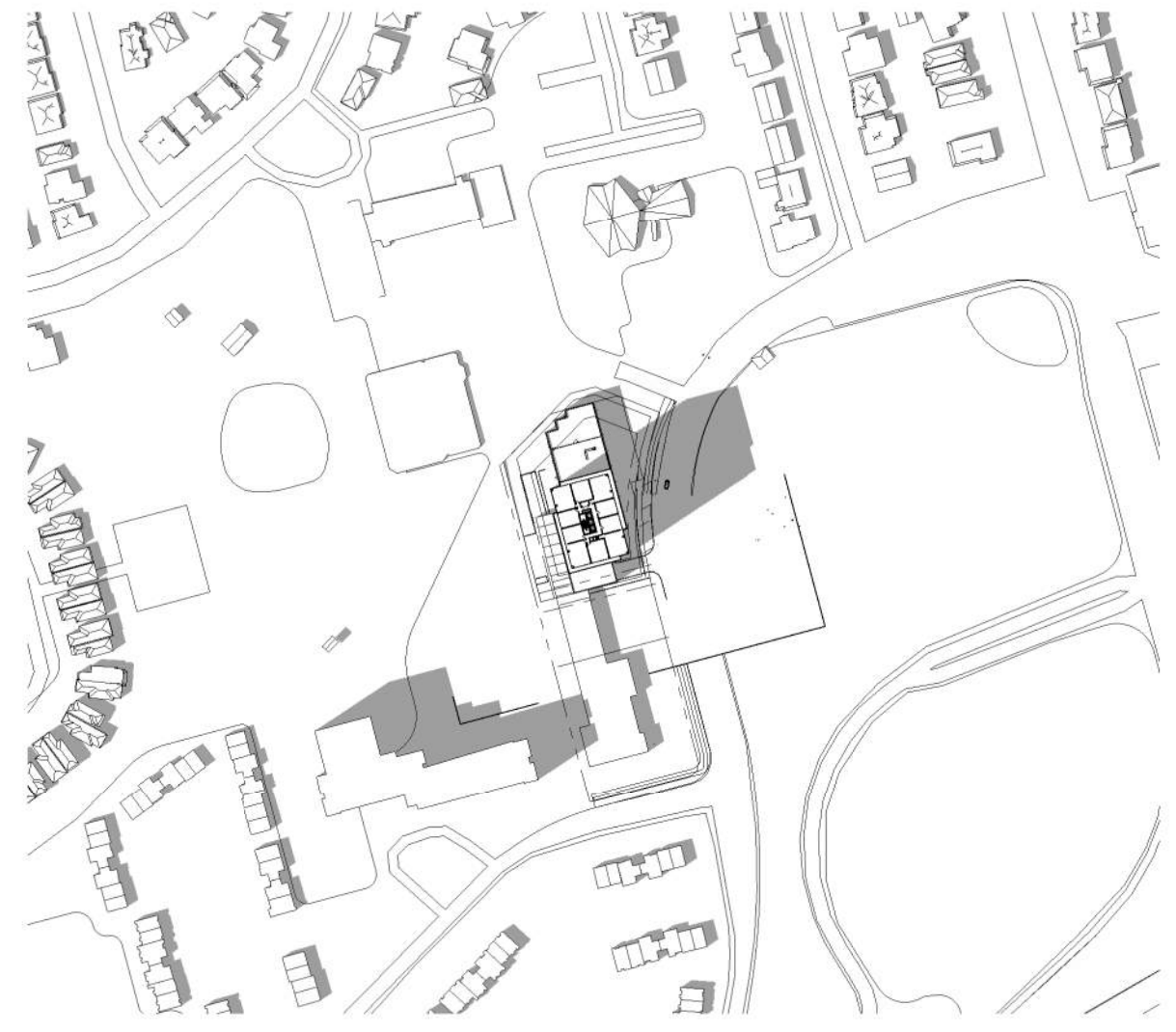
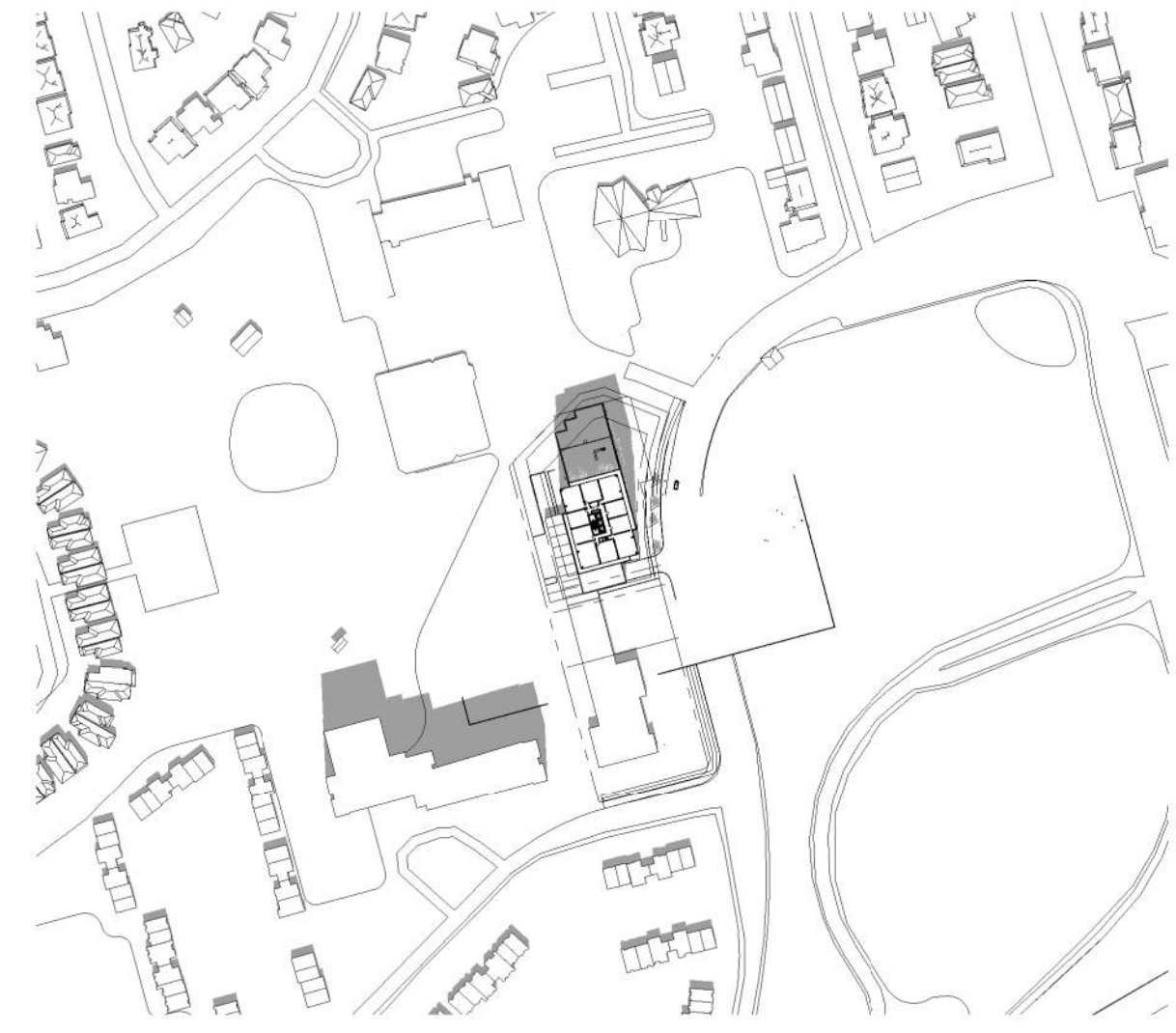
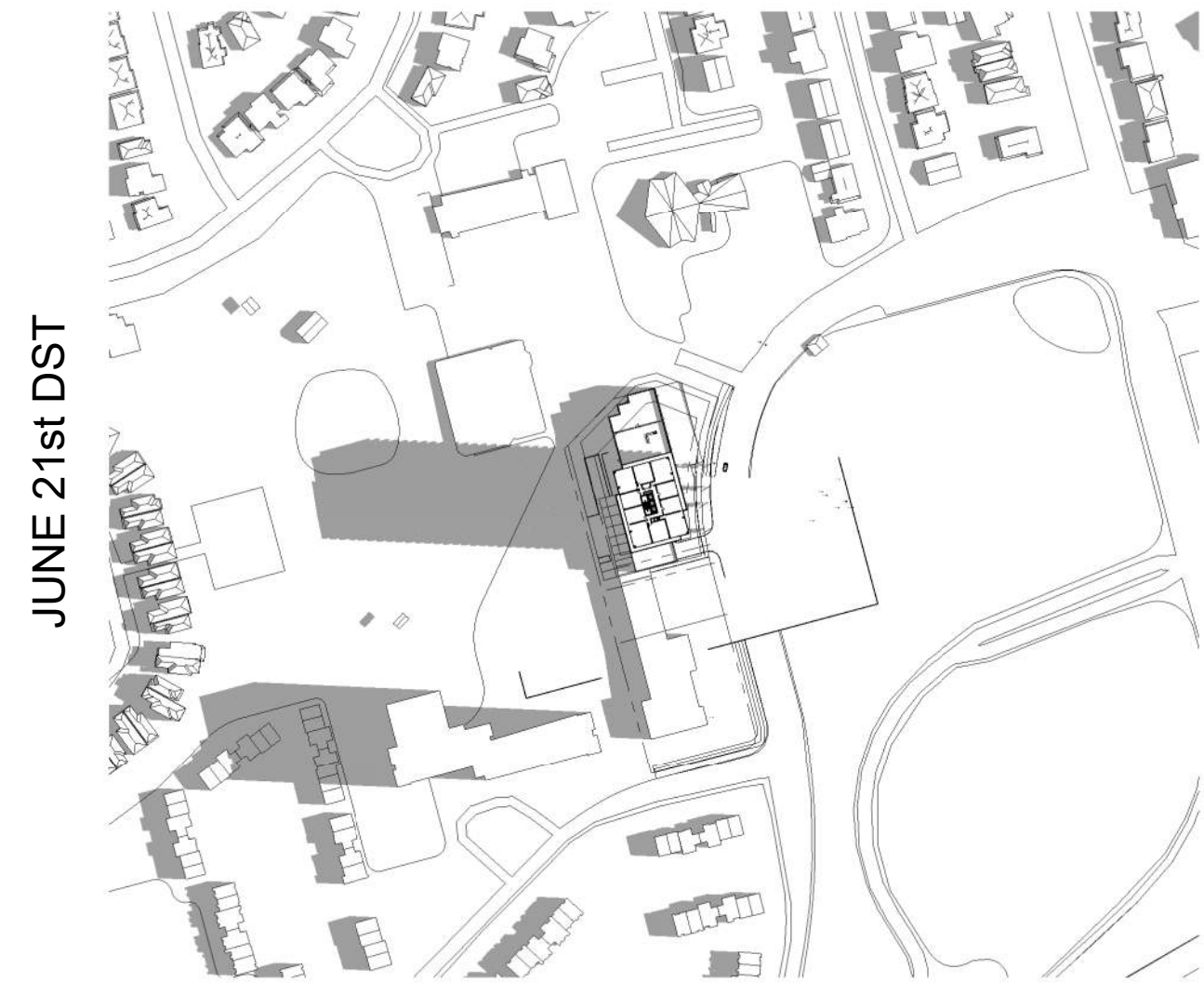
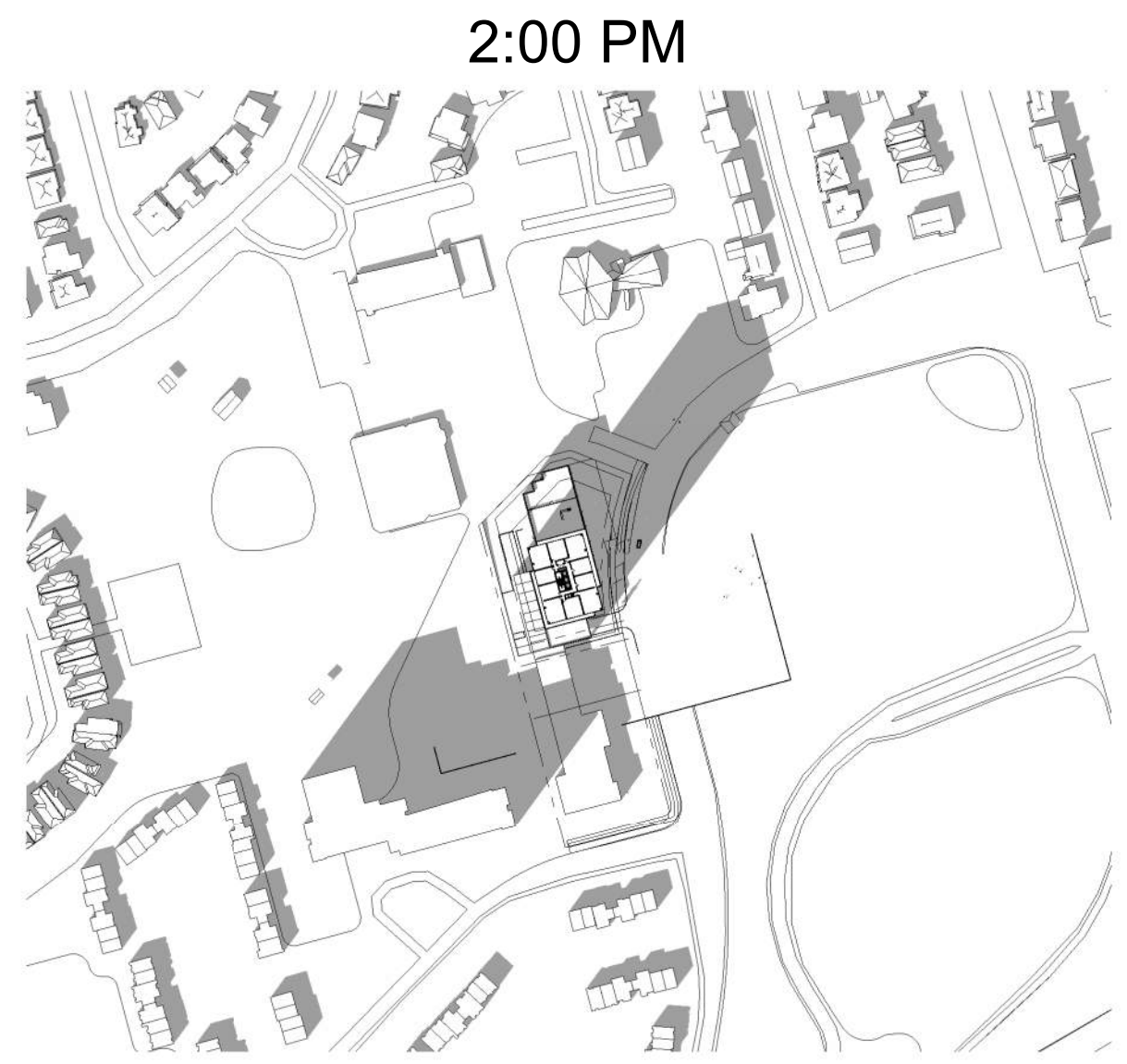
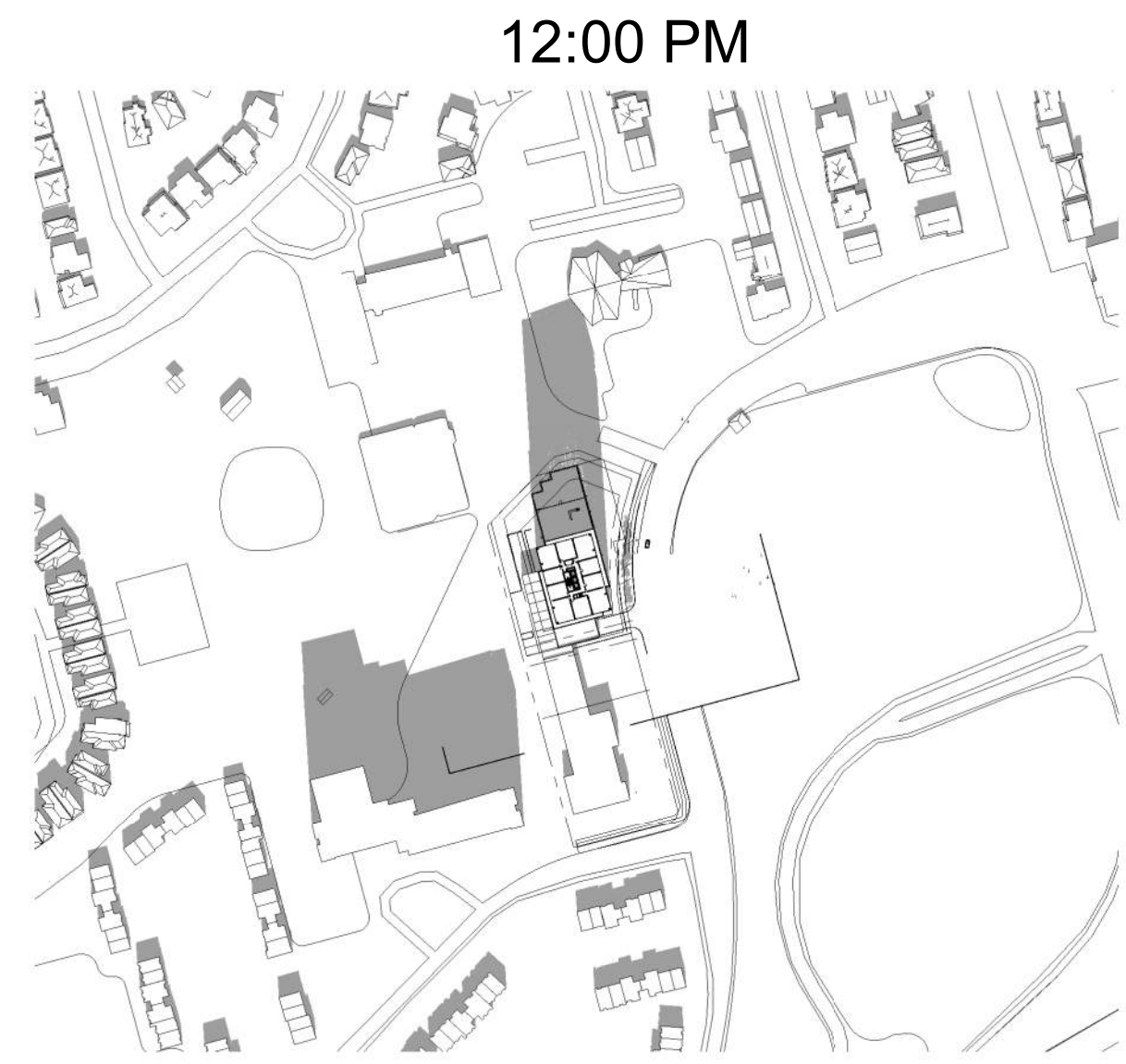
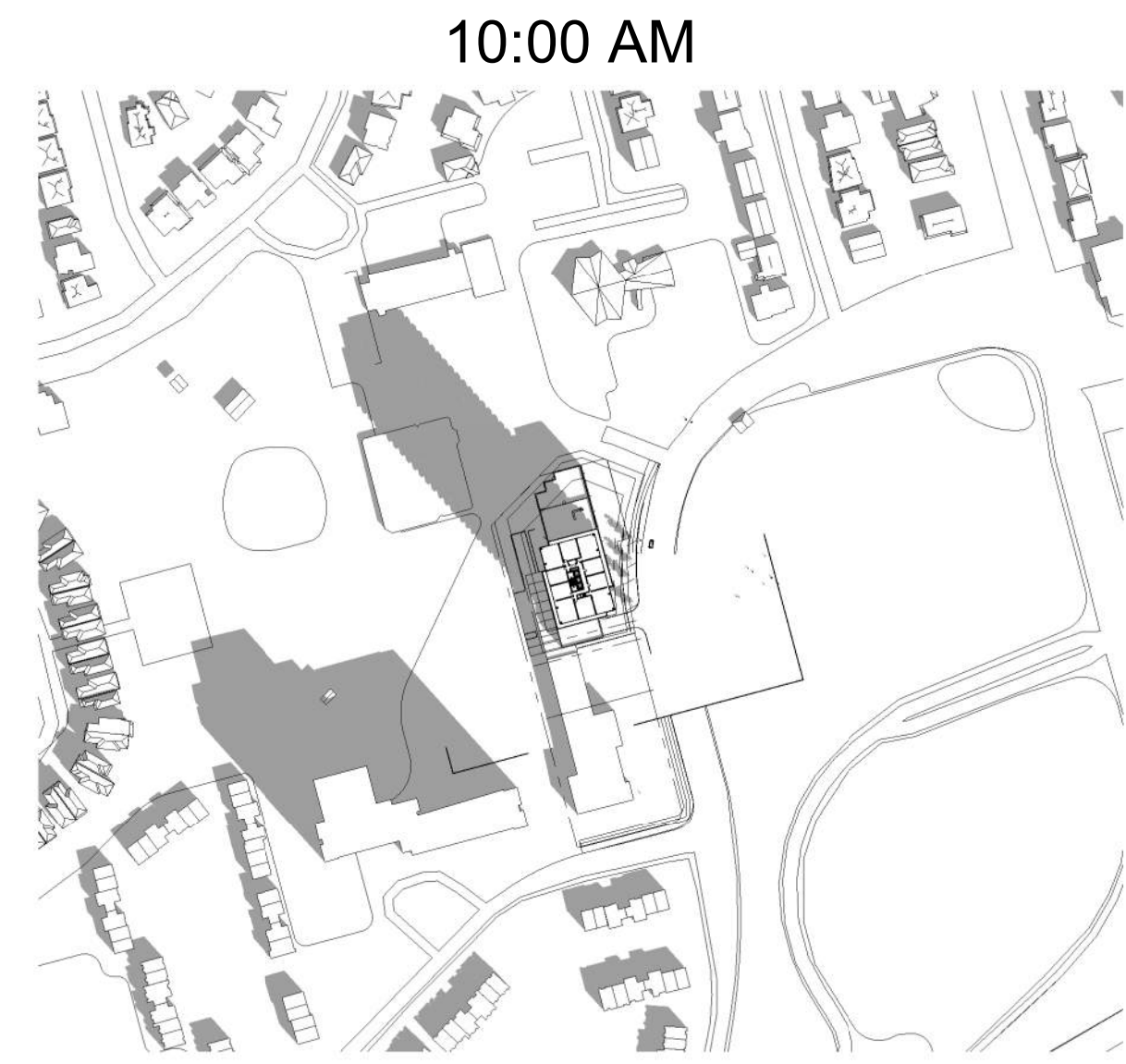
ARCHITECT:
 rla/architecture
 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.rodericklahey.ca

PROJECT TITLE:
2829 DUMAURIER AVENUE
 2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:
OVERALL SITE ELEVATIONS

DRAWN: G.E. CHECKED: J.G.
 SCALE: 1:500 SHEET No: **A-11**
 PROJECT No: 1922

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM) PLOT SCALE: 1:1 C:\Users\gasparza\OneDrive - Roderick Lahey Architect Inc\Documents\1922-2829 Dumauiier - R20_gasparza\B1_UZ.rvt D07-12-17-0063 2023-04-03 4:13:26 PM #17421



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
 ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
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NOTATION SYMBOLS:

- ① INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- ② INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- ③ INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- ④ INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- ⑤ DETAIL NUMBER
- ⑥ TITLE SCALE
- ⑦ DETAIL REFERENCE PAGE
- ⑧ DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:

- A REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
- B REFER TO DOOR TYPES AND HARDWARE REQUIREMENTS.
- C REFER TO DOOR SCHEDULE ON A900 SERIES. ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF WALL FINISH.
- D ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
- E ALL EXTERIOR WALLS ARE TO BE TYPE W1 UNLESS NOTED OTHERWISE.
- F ALL INTERIOR PARTITIONS ARE TO BE TYPE P1 UNLESS NOTED OTHERWISE.
- G ALL REINFORCED CONCRETE SUSPENDED COLUMNS & BEAMS HAVE A MIN. FRR OF 2 HRS (AS DETERMINED BY OBC S8-2) UNLESS OTHERWISE STATED.

No.	DESCRIPTION	DATE
2	UPDATED SPA - Client Review	03.11.22
	ISSUED FOR SPARE-ZONING	08.06.21

REVISIONS:

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT:


ARCHITECT:

 56 Beech Street, Ottawa, Ontario K1S 3J6
 t.613.724.9932 f.613.724.1209 www.roderricklahey.ca

PROJECT TITLE:
 2829 DUMAURIER AVENUE

2829 DUMAURIER AVE, OTTAWA, ON

SHEET TITLE:
 SUNSHADE STUDY

DRAWN: G.E. CHECKED: J.G.

SCALE: 1 : 3000 SHEET No: A-12

PROJECT No: 1922

MARCH 21st DST

JUNE 21st DST

SEPTEMBER 21st DST

DECEMBER 21st

PAPER SIZE: ISO Full Bleed B1 (707.00 x 1000.00 MM)

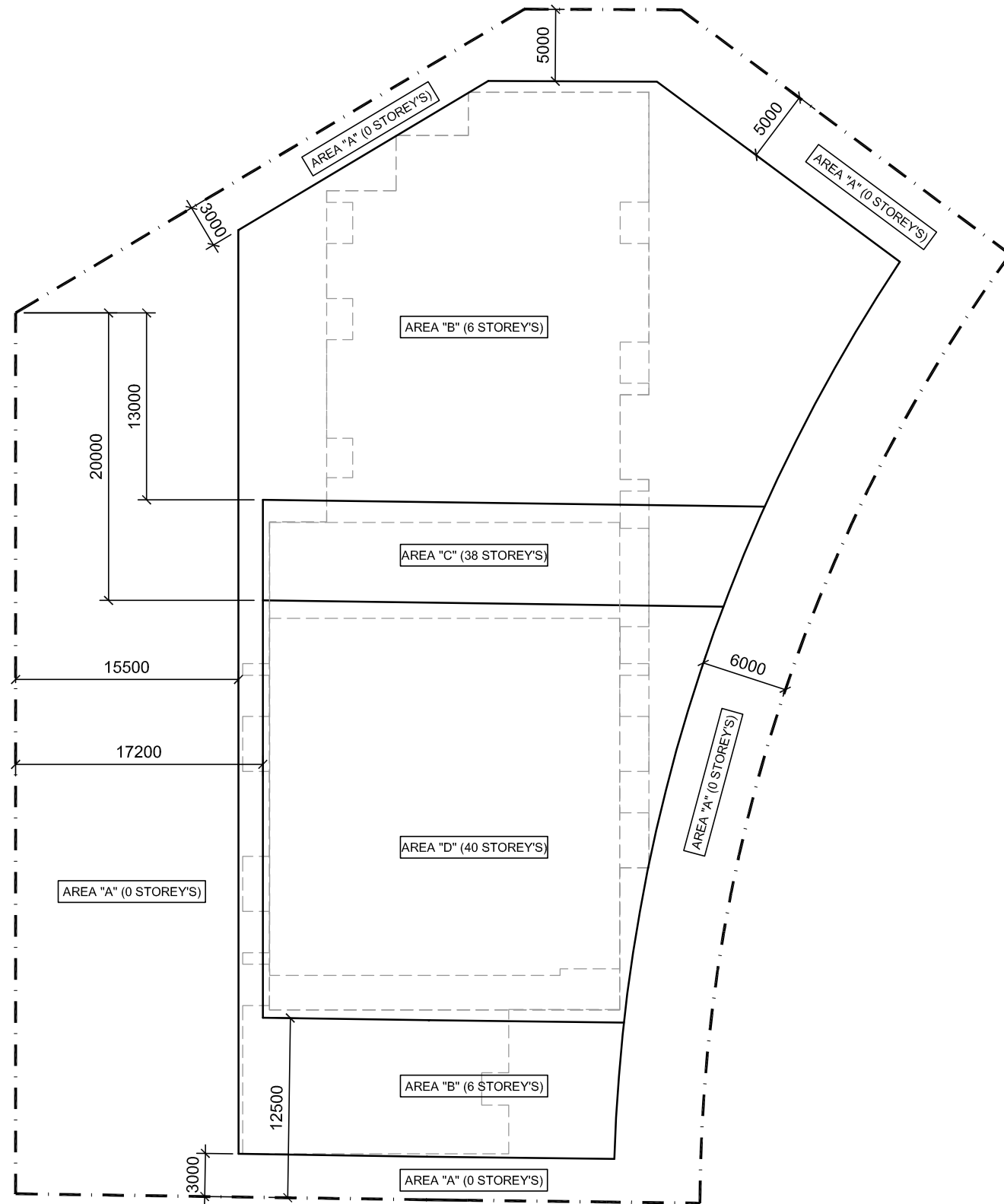
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PLOT DATE:

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D07-12-17-0063 #17421



**MAXIMUM BUILDING HEIGHTS
AND MAXIMUM NUMBER OF STOREYS**

LA HAUTEUR DE BATIMENT MAXIMALE

AREA/ SECTEUR A : 0.0m (0 storeys/ étages)
 AREA/ SECTEUR B : 23.0m (6 storeys/ étages)
 AREA/ SECTEUR C : 118.0m (38 storeys/ étages)
 AREA/ SECTEUR D : 126.0m (40 storeys/ étages)

