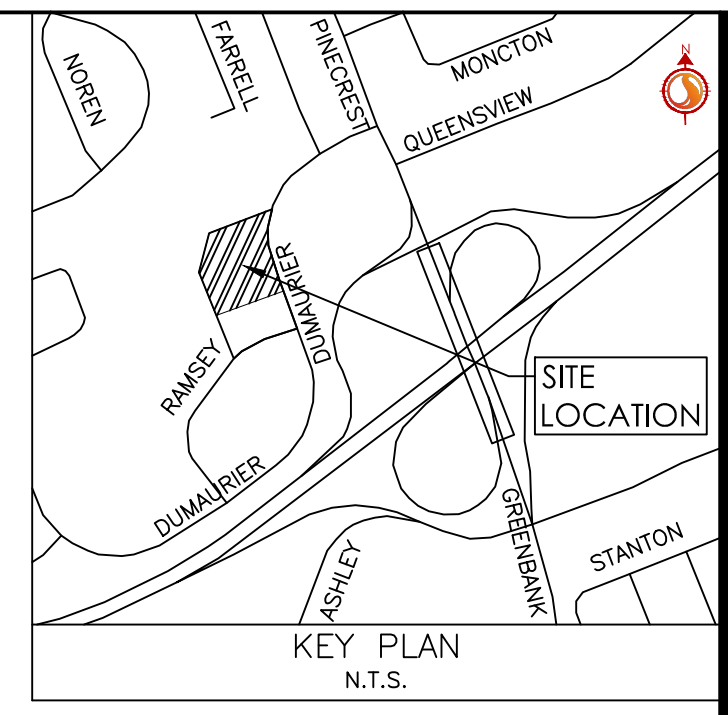




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**Legend**

- ORIGINAL GROUND ELEVATION
- PROPOSED ELEVATION
- PROPOSED LOT CORNER ELEVATION
- EXISTING ELEVATION AT LOT CORNER
- FLOW DIRECTION AND GRADE
- FINISHED FIRST FLOOR ELEVATION
- USF=100.00
- USF=97.00
- UNDERSIDE OF FOOTING ELEVATION
- ENGINEERED FILL REQUIRED
- TERRACING 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN)
- DIRECTION OF PROPOSED OVERLAND FLOW
- PROPOSED VALVE CHAMBER
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED CATCH-BASIN MANHOLE
- PROPOSED CATCH-BASIN
- PROPOSED DEPRESSED CURB LOCATION
- PROPOSED BARRIER CURB
- PROPOSED COMMUNITY MAILBOX LOCATIONS
- HEAVY DUTY ASPHALT
- OVERLAND SPILL LOCATION
- TWSI LOCATION AS PER CITY STD
- CIRCULAR ORIFICE (SEE ICD TABLE ON SSP-1 AND SD-1)
- LANDSCAPE AREAS
- ROAD CUT AS PER CITY OF OTTAWA STANDARD DETAIL R10

- Notes**
- OFF SITE SANITARY, WATER AND STORM RELOCATIONS ARE SCHEMATIC AND WILL BE FINALIZED ONCE LOCATES AND TOPO PICK UP COMPLETED.
  - BOOSTER PUMP FOR WATER SERVICING REQUIRED TO MAINTAIN DESIRED PRESSURE IN UPPER LEVELS.
  - SUMP PUMP REQUIRED TO DISCHARGE INTERNAL SANITARY SEWER (REFER TO MECHANICAL DRAWINGS FOR DETAILS)
  - FLOOR DRAINS LOCATED INSIDE PARKING GARAGE TO BE CONNECTED TO BUILDING INTERNAL SANITARY SEWER.
  - REFER TO ARCHITECTURAL DRAWINGS FOR TOP OF PARKING GARAGE AND PARKING LEVELS.
  - USF TO BE CONFIRMED BY STRUCTURAL CONSULTANT.
  - INTERNAL PLUMBING AND SUMP PUMPS TO BE DESIGNED BY THE MECHANICAL CONSULTANT.
  - STORMWATER MANAGEMENT TO BE PROVIDED THROUGH A 110m<sup>3</sup> CISTERN LOCATED IN THE UNDERGROUND PARKING GARAGE.
  - PUMP TO BE PROVIDED BY MECHANICAL ENGINEER TO ACHIEVE CISTERN ALLOWABLE RELEASE RATE OF 14.4 L/s

**LOCAL ROADWAYS, ACCESS LANES AND HEAVY DUTY USE**  
 40mm SUPERPAVE 12.5 ASPHALTIC CONCRETE  
 50mm SUPERPAVE 19.0 BINDER COURSE  
 150 OPSS GRANULAR 'A' BASE  
 400 OPSS GRANULAR 'B' TYPE II

**CAR PARKING AREAS**  
 50mm WEAR COURSE- HL 3 OR SP 12.5 ASPHALTIC CONCRETE  
 150mm OPSS GRANULAR 'A' BASE  
 300mm OPSS GRANULAR 'B' TYPE II

Revision	By	Appd.	Date	
0	ISSUED TO CITY FOR SPA	MJS	AMP	21.02.17
				YY.MM.DD

Permit-Seal	Dwn.	Chkd.	Dsgn.	Date
				21.02.17
				YY.MM.DD

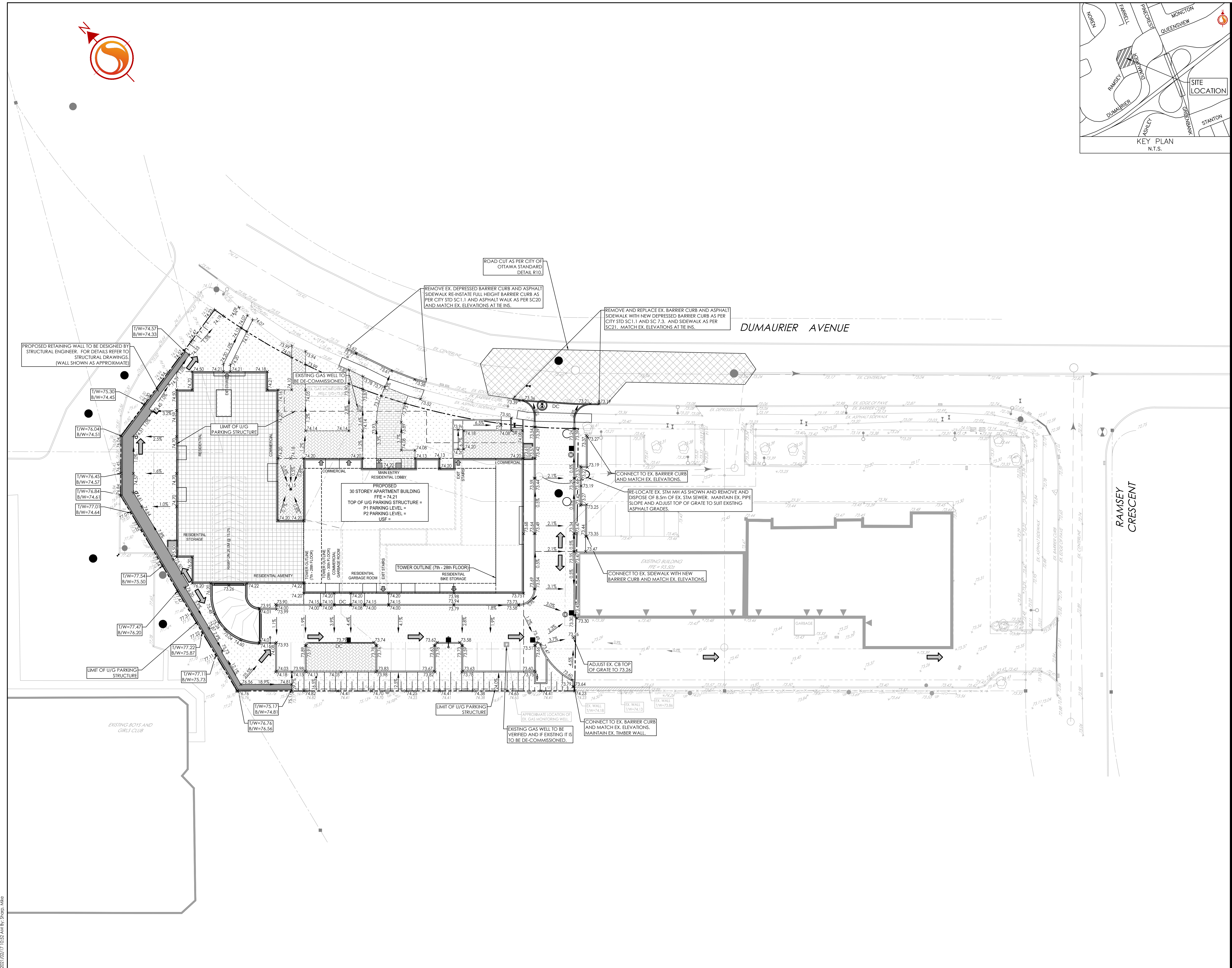
Client/Project  
**BRIGIL HOMES**

2829 DUMAUURIER AVENUE  
30 STOREY APARTMENT BUILDING  
OTTAWA, ON, CANADA

Title  
**GRADING PLAN**

Project No. 160401596	Scale 1:300	Sheet 4 of 8	Revision 0
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Drawing No. GP-1  
Revision 0  
PLAN # ?????



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 ORIGINAL SHEET - ARCH D