

SUMP PUMP - To Drain Water at Footing Level

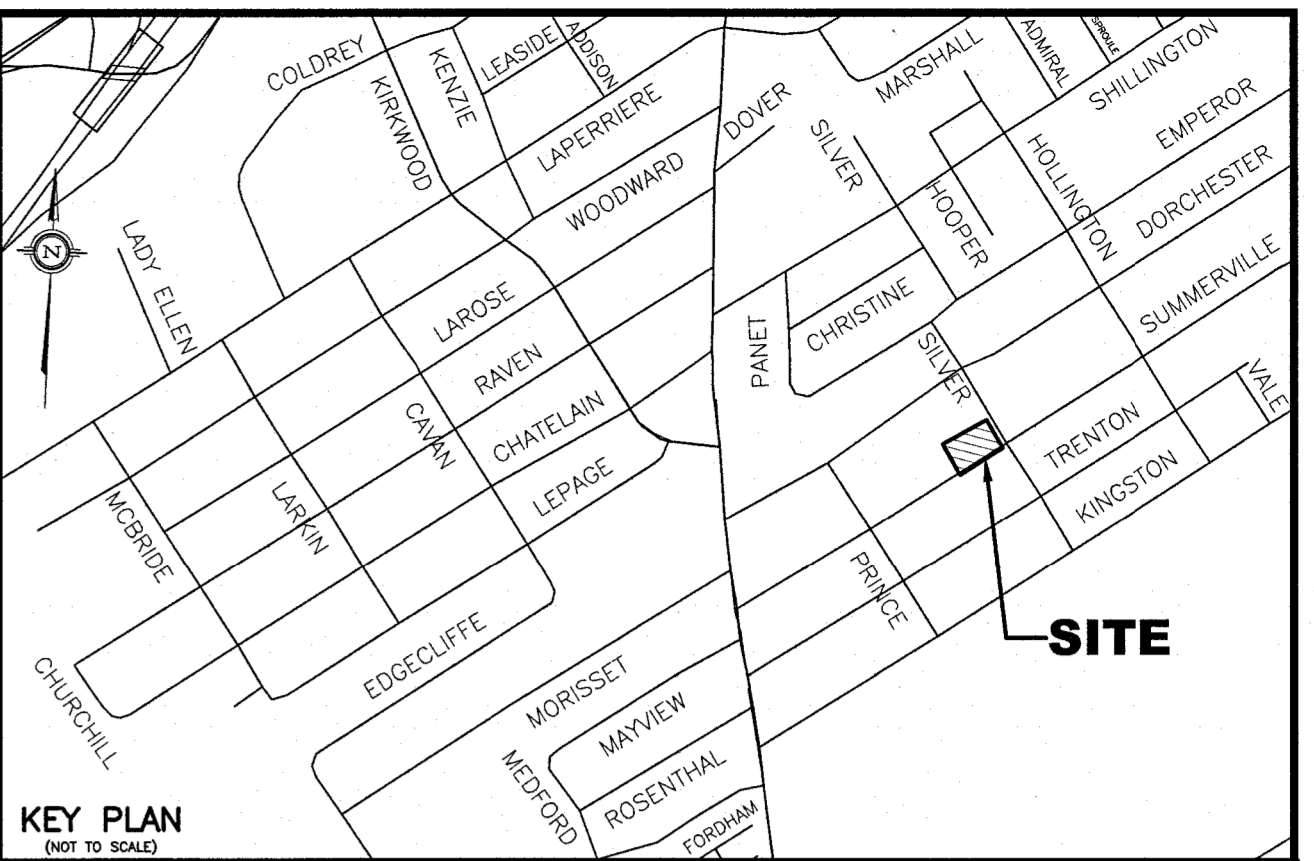
Because existing Storm Sewer Elevation is too high in street

CAUTION: SUMP PUMP USE
Because the City Municipal Storm service exists along this street is at too high an elevation to be gravity drained from the proposed storm lateral at the house to the existing storm main, we have proposed a sump pump to be installed to drain the water at the footing level. The proposed underside of footing (USF) elevation (which has been calculated based on architectural plan parameters/basement heights and/or at the instruction of client/agent) has the potential to be too low for this development with respect to possible water drainage issues at footing levels.

The Normal High Ground Water Table (NHGW) elevation must be verified prior to or at time of excavation (per City of Ottawa Building Code services requirements). If it is determined that the proposed footing elevations will be below the NHGW elevation it will be the responsibility of the owner and their representatives to mitigate/rectify the situation by either raising the footing elevation above the NHGW elevation or demonstrate the use of appropriate foundation water proofing methods as per current building code requirements. The owners and their representatives must apply for and receive any applicable permits from the city before proceeding with the aforementioned works.

T.L. Mak Engineering Consultants Ltd. assumes no responsibility or liability in regards to the impact on footings and/or basement drainage issues (at time of excavation or future) due to this design.

- LEGEND**
- 84.30 PROPOSED ELEVATION
 - EXISTING ELEVATION
 - F.F. PROPOSED TOP OF GROUND FLOOR ELEVATION
 - T.O.F. PROPOSED TOP OF CONCRETE FOUNDATION ELEVATION
 - U.S.F. PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION
 - D/W PROPOSED DRIVEWAY
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING WATERMAIN
 - PROPOSED 150mm PVC SANITARY LATERAL SERVICE @ 1% (MIN.) SLOPE
 - PROPOSED 150mm PVC STORM LATERAL SERVICE @ 1% (MIN.) SLOPE
 - PROPOSED 150mm WATER SERVICE (COPPER TYPE "K")
 - EXISTING SANITARY MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING CATCH BASIN
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING UTILITY POLE
 - EXISTING OVERHEAD WIRES
 - PROPOSED VALVE AND VALVE BOX (V&VB)
 - PROPOSED GENERAL DIRECTION OF LOT GRADING AND SURFACE FINISH
 - PROPOSED HIGH RIDGE LINE
 - PROPOSED RETAINING WALL
 - PROPOSED TOP OF RETAINING WALL ELEVATION
 - PROPOSED BOTTOM OF RETAINING WALL ELEVATION
 - PROPOSED FLAT ROOF-TOP DRAIN LOCATION AND SURFACE FINISH
 - PROPOSED WEeping TILE SUMP PIT LOCATION C/W DUPLEX SUMP PUMPS (REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS)
 - PROPOSED SANITARY TANK LOCATION C/W DUPLEX SEWAGE PUMPS
 - PROPOSED WASTEWATER SAMPLING INSPECTION CHAMBER LOCATION (PER CITY DETAIL S18.1)
 - PROPOSED DEPRESSED CURB
 - PROPOSED SCUPPER LOCATION
 - PROPOSED RIGID STYROFOAM INSULATION 50mm THICK (MIN.)
 - DEMOTES SOFT LANDSCAPING AREA AT GRADE (REFER TO LANDSCAPING PLAN FOR DETAILS)

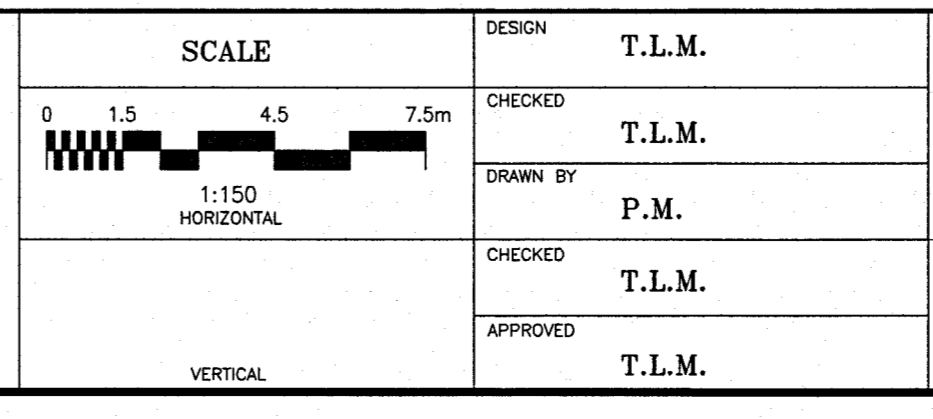
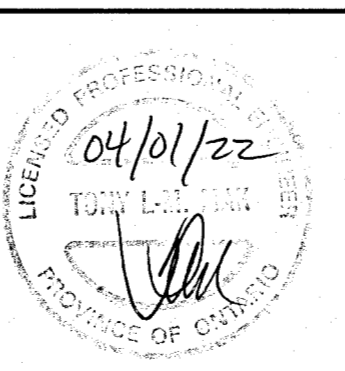


NOTES

1. EXISTING SERVICES AND UTILITIES SHOWN ON THIS DRAWING WERE TAKEN FROM THE BEST AVAILABLE RECORDS BUT ARE NOT COMPLETE. CONTRACTOR IS REQUESTED TO CHECK IN THE FIELD FOR LOCATION AND LOCATION OF PIPES AND CHECK WITH AUTHORITIES AND UTILITIES TO HIS SATISFACTION BEFORE DIGGING.
2. CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS AS DEEMED NECESSARY. REFER ALSO TO THE SITE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY THE OWNER'S GEOTECHNICAL CONSULTANTS PATERSON GROUP ENTITLED "GEOTECHNICAL INVESTIGATION - PROPOSED RESIDENTIAL BUILDING FILE NO. PG5573-LET.02 DATED APRIL 23, 2021."
3. EXISTING BUILDING AND STRUCTURE LOCATION, TOPOGRAPHICAL INFORMATION ON THIS DRAWING, GEODETIC SITE BENCHMARK, SEWER LOCATION AND MANHOLE LOCATIONS, ETC. SHOWN ON THIS PLAN WERE PROVIDED BY CHEVRIER TO MERVALS ROAD DWG. NO. K-9F REF. PLAN NO. 372 AND SILVER STREET 510 N/S/SHILLINGTON TO KINGSTON AVE. PLAN NO. K-9-b DATED MAY 28, 1954. THE CONTRACTOR SHALL FIELD SURVEY AND VERIFY THIS INFORMATION PRIOR TO HIS OR HER SATISFACTION PRIOR TO CONSTRUCTION. T.L. MAK ENGINEERING CONSULTANTS LTD. DOES NOT TAKE ANY RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN HERE. THE CONTRACTOR IS ADVISED TO OBTAIN AND REVIEW TO HIS SATISFACTION THIS SURVEY/TOPOGRAPHICAL PLAN PRIOR TO CONSTRUCTION.
4. SITE LAYOUT AND DETAILS FOR GRADING AND SHIM DESIGN WERE PROVIDED BY THE OWNER'S ARCHITECT S.J. LAWRENCE ARCHITECT INC. AS DATED ON THEIR SITE PLAN DWG. NO. A1.0 REV. NO. 4 (JOB NO. SL-1046-21) DATED MARCH 16, 2022 AND RECEIVED ON MARCH 17, 2022. SCHEMATIC ELEVATIONS PLAN DWG. NO. A4.0 RECEIVED FROM THE ARCHITECT ON FEBRUARY 7, 2022 WAS USED TO ESTABLISH THE F.F., T.O.F., TOP OF BASEMENT SLAB AND U.S.F. ELEVATIONS.
5. ALL GRADES SHOWN ARE GEODETIC AND METRIC (SEE J.D. BARNES LIMITED'S TOPOGRAPHICAL PLAN).
6. PIPE SIZES SHOWN ON THIS PLAN ARE METRIC.
7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY EQUIPMENT, LABOUR AND MATERIALS RELATING TO ALL CIVIL WORKS REQUIRED FOR THIS SITE AND BY THE CITY OF OTTAWA TO CONNECT INTO THE WATERMAIN.
8. ALL GRADING SHALL BE DONE TO THE SATISFACTION OF THE CITY OF OTTAWA.
9. CONNECTION OF THE 150mm WATER SERVICE TO THE EXISTING 150mm WATERMAIN ON SUMMERVILLE AVENUE SHALL BE BY THE CITY OF OTTAWA AND EXCAVATION, BACKFILLING AND REINSTATEMENT SHALL BE CARRIED OUT BY THE CONTRACTOR. ALL WATERWORKS TO BE CONSTRUCTED TO CITY OF OTTAWA WATER ENGINEERING STANDARDS AND SPECIFICATIONS.
10. CONSTRUCT ALL WATERMAIN, WATER SERVICES, SANITARY AND STORM SEWER SYSTEMS IN ACCORDANCE WITH CITY OF OTTAWA'S LATEST REVISED STANDARD OTHERWISE AS PER OPSS REQUIREMENT AND DONE TO THE SATISFACTION OF THE CITY.
11. BEDDING AND HAUNCHING MATERIAL FOR SEWER INSTALLATIONS TO BE GRANULAR "A" INSTALLED AND COMPACTED AS PER CITY STANDARD DETAIL DWG. NO. 58 AND 57.
12. STORM AND SANITARY LATERALS (150mm) SHALL BE PVC DR-28 OR EQUIVALENT. SEWER CONNECTION DETAILS PER CITY DETAIL S11.1 FOR FLEXIBLE PIPES AND S11 FOR RIGID PIPES.
13. ALL WATER SERVICES/MAINS SHALL HAVE 2.4m COVER (MIN.). THE 150mm WATER SERVICE SHALL BE CL-150 PVC DR-18. WATER SERVICE AND WATERMAIN TRENCH DETAILS AS PER CITY OF OTTAWA W17. THREAT BLOCK DETAILS AS PER CITY DETAIL W25.3 DATED MAY 2001. FITTINGS SHALL CONFORM TO APPROVED ANWA AND/OR CSA STANDARDS. CATHODIC PROTECTION FOR NEW WATERMAIN AND SERVICE AS PER CITY DETAIL W40 REV. DATE MARCH 2005.
14. IF WATER SERVICE IS LESS THAN 1.0m FROM SEWER, MANHOLE OR CATCHBASIN, CONTRACTOR IS REQUESTED TO INSULATE BETWEEN THEM WITH S/M RIGID INSULATION (SEE CITY DETAIL DRAWING NO. W23).
15. STORM MANAGEMENT NOTES
 - REFER TO PROPOSED ROOFTOP STORMWATER MANAGEMENT PLAN (DWG. NO. 821-10 SWM-1) FOR ROOFTOP
 - 5 YEAR AND 100 YEAR HWL
 - SEE STORM DRAINAGE REPORT NO. R-821-10 DATED JULY 2021 ALSO FOR DETAILS.
 - CONTROLLED ROOF DRAIN MAXIMUM FLOW RATE FOR EACH DRAIN SHALL BE 0.95 L/s OR 15.0 U.S. GAL/MIN.
16. ALL PROPOSED BUILDING SANITARY, STORM AND WATER SERVICES SHALL TERMINATE ±1.0m OUTSIDE THE FOUNDATION WALL AND CONNECTION TO PLUMBING BY OTHERS.
17. IT IS REQUIRED THAT A CITY APPROVED BACKWATER VALVE BE INSTALLED AT THE NEW 150mm DIA. (FOUNDATION DRAINS) STORM LATERAL SERVICE AND A FULL PORT BACKWATER VALVE BE INSTALLED FOR THE NEW SANITARY LATERAL SERVICE AS PER CITY DETAIL S14, S14.1, AND S14.2.
18. PRIOR TO CONCRETE FOOTING AND FOUNDATION POURING, THE OWNERS AND/OR CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT THE SUBGRADE ON THIS LOT IS SUFFICIENT TO SUPPORT THE PROPOSED BUILDING.
19. FOR DEVELOPMENT OF THIS LOT, THE CONTRACTOR MUST FIRST CONSTRUCT THE UNDERGROUND SANITARY, STORM AND WATER SERVICES FROM THE SEWER AND WATERMAIN TO SERVICE THE ENTIRE PROPERTY. PRIOR TO BUILDING CONCRETE FOUNDATION POURING, THE CONTRACTOR SHALL VERIFY SEWER DEPTHS TO ENSURE THAT SEWER LATERALS CAN ACHIEVE A SLOPE OF 1% (MIN.) AND STILL BE BELOW PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION. IF THIS FOUND NOT POSSIBLE, THE CONTRACTOR SHALL CONTACT THE OWNER TO REPORT THE FINDING IN ORDER TO ADJUST THE BUILDING FOUNDATION GRADES PRIOR TO CONCRETE POURING.
20. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY EQUIPMENT, LABOUR AND MATERIALS RELATING TO THE CIVIL WORKS REQUIRED FOR INSTALLATION OF NEW SITE SERVICES. PROVINCIAL HEALTH AND SAFETY REGULATIONS MUST BE FOLLOWED DURING CONSTRUCTION.
21. IT IS THE RESPONSIBILITY OF THE SITE SERVICES CONTRACTOR TO OBTAIN AND CONSTRUCT THE WORKS TO MEET THE LATEST REVISIONS IN CURRENT REGULATION OF THE CITY OF OTTAWA'S ENGINEERING STANDARDS, OPSS & OPSD STANDARDS, AND ONTARIO BUILDING/PLUMBING CODES. WHERE THE LATEST REVISION DIFFERS FROM THE REQUIREMENTS SET OUT IN THIS PLAN, THE CONTRACTOR SHALL PRICE THE WORKS TO MEET LATEST REVISED STANDARDS IN HIS PRICE BID FOR THIS PROJECT. THE CONTRACTOR SHALL INFORM THE ENGINEERS OF ANY CHANGES PRIOR TO COMMENCEMENT OF THE WORKS.
22. PROPOSED GROUND FLOOR, TOP OF CONCRETE FOUNDATION, TOP OF BASEMENT SLAB AND UNDERSIDE OF FOOTING ELEVATIONS SHALL BE REVIEWED AND APPROVED BY OWNER'S ARCHITECTS PRIOR TO CONSTRUCTION.
23. IF EXISTING GRADES ALONG ANY EXISTING ADJUTING PROPERTY LIMITS EXCEED THE PROPOSED GRADES ON THIS PROPERTY BY A HEIGHT DIFFERENTIAL THAT EXCEEDS TERRACING OF 3H TO 1V, THEN INSTALL A RETAINING WALL AS PER OWNER'S REQUIREMENTS.
24. SITE SERVING BEDDING, BACKFILL REQUIREMENTS ALONG WITH ROADWAY AND PARKING LOT PAVEMENT STRUCTURES SHALL MEET RECOMMENDATIONS AND REQUIREMENTS SET OUT IN THE OWNER'S SOILS ENGINEER'S REPORT. ALL WORKS TO BE CARRIED OUT BY THE CONTRACTOR ON THE PROPOSED ASPHALT ACCESS LANEWAY AND PRIVATE DRIVEWAY STRUCTURE SHALL BE APPROVED BY SOILS ENGINEER ON SITE PRIOR TO CONSTRUCTION.
25. CONCRETE BARRIER CURB AND DEPRESSED CURB DETAILS AS PER CITY OF OTTAWA STANDARDS (DWG. NO. SC1.1 AND SC1.4 MARCH 2007 AND SC6, MAY 2007). CONCRETE CURB AND CONCRETE SIDEWALK CONSTRUCTION AND REINSTATEMENT SHALL BE DONE TO THE SATISFACTION OF THE CITY OF OTTAWA AND IN ACCORDANCE WITH THE LATEST REVISED CITY ENGINEERING STANDARDS.
26. CONCRETE SIDEWALK, DEPRESSED CURB, AND DEPRESSED CONCRETE SIDEWALK DETAILS AS PER CITY OF OTTAWA STANDARDS (DWG. NO. SC1 AND SC1.4 REV. DATE MARCH 2007, SC4 REV. DATE MARCH 2007 AND SC7.1 REV. DATE MARCH 2007). CONCRETE CURB AND SIDEWALK CONSTRUCTION AND REINSTATEMENT SHALL BE DONE TO THE SATISFACTION OF THE CITY OF OTTAWA AND IN ACCORDANCE WITH THE LATEST REVISED CITY ENGINEERING STANDARDS.

27. THE EXISTING CONCRETE CURB AND SIDEWALK ON SUMMERVILLE AVENUE AND SILVER STREET IF DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REINSTATED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY OF OTTAWA AND IN ACCORDANCE WITH THE LATEST REVISED CITY ENGINEERING STANDARDS.
28. THE CONTRACTOR, UPON COMPLETION OF THE NEW DRIVEWAY, SHALL RESTORE THE EXISTING SUMMERVILLE AVENUE AND SILVER STREET ROADWAY BOULEVARD DISTURBED BY CONSTRUCTION WORKS ON THIS PROPERTY. ADDITIONALLY, THE ROADWAY GRADING SHALL BE RESTORED AND REGRADED TO DRAIN POSITIVELY TO EXISTING STORMWATER OUTLET AS REQUIRED BY THE CITY INSPECTOR.
29. WHERE FROST COVER FROM UNDERSIDE OF BUILDING CONCRETE FOOTING TO PROPOSED FINISHED GROUND ELEVATION IS LESS THAN 1.5m, IT IS RECOMMENDED THAT INSULATION (50mm THICK MINIMUM) BE INSTALLED AT THE BUILDING FOOTING AND FOUNDATION TO PROVIDE SUFFICIENT FROST COVER FOR THE FOUNDATION STRUCTURES. THE FOOTINGS AND WIDTH REQUIREMENTS SHALL BE AS PER CITY'S ENGINEERING STANDARDS AND PER REQUIREMENTS OF THE CITY OF OTTAWA AND OWNER'S SOILS ENGINEER.
30. INSULATE THE PROPOSED HOUSE SERVICE LATERALS ON PRIVATE PROPERTY FROM PROPERTY LINE TO THE HOUSE AND WITHIN THE ROAD RIGHT OF WAY WITH RIGID STYROFOAM INSULATION (50mm THICK MINIMUM) AND ANY OTHER LOCATION WHERE GROUND COVER IS LESS THAN 2.4m FOR WATER, STORM, AND SANITARY SERVICES. INSULATION THICKNESS AND WIDTH REQUIREMENTS SHALL BE AS PER CITY'S ENGINEERING STANDARDS AND PER REQUIREMENTS OF THE CITY OF OTTAWA AND OWNER'S SOILS ENGINEER.
31. EXISTING LATERALS AND WATER SERVICE PIPES HAVE BEEN AND/OR SHALL BE ABANDONED. THE WATER SERVICE SHALL BE BLANKED AND CAPPED AT THE MAIN AS PER CITY'S REQUIREMENTS. THE SEWER LATERAL(S) SHALL BE CAPPED AND/OR PLUGGED AT THE FRONT PROPERTY LINE. ALL WATER AND SEWER LATERAL WORKS SHALL BE CARRIED OUT TO THE CITY'S SATISFACTION.
32. ANY TREES AND UTILITY PLANT PROPOSED BY THE OWNER'S ARCHITECT SHALL MAINTAIN A 2.0m (MIN.) CLEARANCE TO THE PROPOSED WATER SERVICE AND BUILDING LATERAL TRENCH.
33. a) THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE RECEIVING STORM SEWER DURING CONSTRUCTION ACTIVITIES. THESE PRACTICES ARE REQUIRED TO ENSURE NO SEDIMENT AND/OR ASSOCIATED POLLUTANTS ARE RELEASED TO THE RECEIVING WATERCOURSE. THESE PRACTICES INCLUDE INSTALLATION OF SEDIMENT BARRIERS ON ALL CATCH BASIN AND MAINTENANCE HOLES AND A SILT FENCE BARRIER (AS PER OPSD 219.110 AND ASSOCIATED SPECIFICATIONS) ALONG THE PROPERTY LIMITS OF THE PROPOSED DEVELOPMENT AND ALL OTHER AREAS THAT SHEET DRAIN OFF SITE. MAINTENANCE HOLE SEDIMENT BARRIERS TO BE AMOCO 4555 NONWOVEN GEOTEXTILE OR APPROVED EQUIVALENT.
- b) THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE. DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
34. THE CITY OF OTTAWA RECOMMENDS THAT A PRESSURIZED DRAIN PIPE TYPE MATERIAL BE USED FOR THE ROOF DRAIN LEADER PIPE IN THE BUILDING IN THE EVENT OF SURCHARGE IN THE SYSTEM.
35. WHERE SERVICES LATERALS PASS UNDER THE BUILDING'S FRONT PORCH, THE CITY OF OTTAWA RECOMMENDS SLEEVING TO BE PROVIDED.
36. a) GIVEN THE ARCHITECTURAL REQUIREMENTS FOR THE PROPOSED DWELLING, THE UNDERSIDE OF CONCRETE FOOTING IS BELOW THE PROPOSED SANITARY LATERAL INVERT WHICH OUTLET TO THE SUMMERVILLE AVENUE SANITARY SEWER. THE OWNER'S ARCHITECT IS AWARE OF THIS CONSTRAINT. THE DEVELOPER AND HIS ARCHITECT WILL MAKE INTERNAL HOUSE PUMPING PROVISIONS TO PUMP SANITARY BASEMENT SEWAGE FLOW UP TO THE SANITARY LATERAL FROM A SANITARY TANK AND PUMPING SYSTEM FOR THIS BUILDING. LIKEWISE WITH THE STORM PIPE FOR THE WEeping TILE DRAINAGE SYSTEM OF THE BUILDING, THE ARCHITECT WILL MAKE PROVISIONS TO PUMP THE WEeping TILE WATER UP FROM A WEeping TILE STORMWATER TANK COMPLETE WITH PUMPING SYSTEM IN ORDER TO DISCHARGE WEeping TILE WATER TO THE PROPOSED 150mm PVC STORM LATERAL THAT OUTLETS TO THE CITY OF OTTAWA STORM SEWER AT SUMMERVILLE AVENUE. SEE LATEST REVISED ARCHITECTURAL PLANS FOR OUTLET LOCATION, DISCHARGE PIPE HEIGHT DETAILS, SEWAGE TANK AND WEeping TILE WATER SERVICE FOR THIS BUILDING. IT IS RECOMMENDED THAT THE SANITARY TANK AND STORMWATER TANK BE OVERSIZED. A DUPLEX PUMPING SYSTEM SHALL BE IN THE SANITARY AND STORM TANK(S).
- b) THE ARCHITECT AND OWNER'S/DEVELOPER'S MECHANICAL ENGINEER SHALL ENSURE THAT SANITARY SEWAGE FLOW FROM FLOOR LEVELS ABOVE THE BASEMENT LEVEL OF THIS BUILDING BE DIRECTED AND OUTLETTED TO THE PROPOSED GRAVITY FLOW SANITARY LATERAL PIPE AND NOT INTO THE BASEMENT SEWAGE TANK FOR PUMPING.
- c) THE PROPOSED SANITARY TANK AND PUMPING SYSTEM ARE FOR DRAINAGE OF BASEMENT FIXTURES AND GARAGE FLOOR DRAINS AS PER ARCHITECT'S DRAWINGS IN ACCORDANCE WITH THE LATEST REVISED ONTARIO BUILDING CODE.
- d) SANITARY AND WEeping TILE WATER PUMP AND TANK LOCATION AS PER ARCHITECT'S APPROVED BASEMENT FLOOR PLAN.
37. THE OWNER'S ARCHITECTS/CONTRACTORS SHALL INFORM THE OWNERS THAT AN ONGOING YEAR ROUND MAINTENANCE PROGRAM IS REQUIRED FOR THIS BUILDING TO ENSURE THAT THE SANITARY AND STORMWATER TANKS IN PARTICULAR SHALL BE ANNUALLY INSPECTED AND CLEANED IF NECESSARY. ALL PUMPS USED IN THIS BUILDING ARE TO BE DETERMINED BY THE OWNER'S MECHANICAL ENGINEER BASED ON THEIR SPECIFIC USAGE UNDER THE PRESENT PLUMBING CODE AND CITY OF OTTAWA REQUIREMENTS.
38. THE ARCHITECTS SHALL INFORM THE OWNERS TO HAVE AVAILABLE AT ALL TIMES A BACKUP GENERATOR ON STANDBY AT THE BUILDING IN THE EVENT OF A POWER BLACKOUT OR OTHER EMERGENCIES.
39. NO EXCESS DRAINAGE, DURING AND AFTER CONSTRUCTION, WILL BE DIRECTED TOWARDS THE NEIGHBORS' PROPERTIES.
40. ALL TREES ON THE RIGHT-OF-WAY ARE TO BE MAINTAINED BEFORE AND AFTER CONSTRUCTION AND ALL TREES WITHIN THE PROPERTY SHALL BE PROTECTED AS PER THE "MUNICIPAL TREES AND NATURAL AREAS PROTECTION BY-LAWS" AND THE "URBAN TREES CONSERVATION BY-LAW" AS AMENDED FROM TIME TO TIME.
41. THERE WILL BE NO ALTERATION TO THE EXISTING GRADE AND DRAINAGE PATTERN ON THE PROPERTY LIMITS.

NO.	REVISION	DATE	BY
5	REVISIONS AS PER LATEST REVISED LANDSCAPING PLAN PROVIDED ON MARCH 31, 2022	04/01/22	TLM
4	REVISIONS AS PER ARCHITECT'S LATEST SITE PLAN DETAILS OF MARCH 17, 2022 AND CITY'S REVIEW COMMENTS OF OCTOBER 15, 2021	03/22/22	TLM
3	REVISIONS AS PER NEW SITE PLAN DETAILS OF FEBRUARY 7, 2022 FOR A 32 UNITS APARTMENT BUILDING	02/11/22	TLM
2	REVISIONS AS PER LATEST REVISED SITE AND LANDSCAPING PLAN OF JULY 9, 2021	07/20/21	TLM
1	REVISIONS TO LOWER GRADE AROUND THE AMENITY AREA PER LANDSCAPE ARCHITECT'S COMMENTS OF MAY 21, 2021	06/14/21	TLM
NO.	REVISION	DATE	BY



DESIGN	T.L.M.	PROJECT
CHECKED	T.L.M.	1058, 1062 AND 1066 SILVER STREET PART OF LOT 31 REGISTERED PLAN 294 CITY OF OTTAWA
DRAWN BY	P.M.	
CHECKED	T.L.M.	DRAWING TITLE
APPROVED	T.L.M.	PROPOSED SITE GRADING AND SERVICING PLAN

		T.L. MAK ENGINEERING CONSULTANTS LTD. CONSULTING ENGINEERS	
PROJECT No.	DATE	DRAWING No.	
821-10	APRIL 2021	G-1	

D02-02-21-0073; D07-12-21-0112