



March 10, 2022

Rob Haslett  
Haslett Construction Inc.  
414 Churchill Avenue  
Ottawa, ON  
K1Z 5C6

**RE: TREE CONSERVATION REPORT FOR 1058, 1062 AND 1066 SILVER STREET**

This Tree Conservation Report (TCR) was prepared by IFS Associates Inc. (IFS) on behalf of Haslett Construction Inc. in support of the proposed redevelopment of 1058, 1062 and 1066 Silver Street in Ottawa. The redevelopment of the subject properties includes the demolition of the three existing single family dwellings and construction of a multi-storey residential building with underground parking.

The need for this report is related to trees protected under the City of Ottawa's Tree Protection By-law (By-law No. 2020-340). The By-law reflects Section 4.8.2. of the City of Ottawa's Official Plan which calls for the retention of the City's urban forestry canopy and, in particular, the protection of large, healthy trees.

Under the Tree Protection By-law a TCR is required for all Plans of Subdivision, Site Plan Control Applications, Common Elements Condominium Applications, and Vacant Land Condominium Applications where there is a tree of 10 cm in diameter at breast height (DBH) or greater on a site and/or if there is a tree on an adjacent site that has a critical root zone (CRZ) extending onto a development site. Trees of any size on adjacent City lands must also be documented in a TCR. A "tree" is defined in the By-law as any species of woody perennial plant, including its root system, which has reached or can reach a minimum height of at least 450 cm at physiological maturity. The CRZ is calculated as DBH x 10 cm.

The approval of this TCR by the City of Ottawa and the issuing of a permit by them authorize the removal of approved trees. **Importantly, although this report may be used to support the application for a City tree removal permit, it does not by itself constitute permission to remove trees or begin site clearing activities. No such work should occur before a tree removal permit is issued by the City's General Manager authorizing the injury or destruction of a tree in accordance with the by-law. Further, if any trees fully on or shared with adjacent private property are to be removed written consent of the neighbouring property owner must first be obtained.**

The inventory in this report details the assessment of all individual trees on and adjacent to the three subject properties, including trees on City of Ottawa property. Only one of the City owned



trees directly adjacent to the subject properties conflicts with the proposed development and so is slated for removal. Two other City owned trees are slated for removal solely due to their poor condition. All but one of the trees fully on the three subject properties conflict with the proposed construction and so are all slated for removal. Trees on adjacent private property and one on City lands will be preserved, unless noted otherwise. Field work for this report was completed in March 2021 and January 2022.

### **TREE SPECIES, CONDITION, SIZE AND STATUS**

Table 1 on pages 3 and 4 details the species, condition, size (diameter), ownership and status of the individual trees on and adjacent to the subject properties. Each of these trees are referenced by the numbers plotted on the tree conservation plans included on page 5 and 6 of this report. Pictures 1 through 5 on pages 8 to 11 show selected trees on and adjacent to the three subject properties.

### **PROVINCIAL REGULATIONS**

Provincial regulations are applicable to trees on private property. In particular, the Endangered Species Act (2007) mandates that tree species on the Species at Risk in Ontario (SARO) list be identified. Butternut (*Juglans cinerea*) is present in Eastern Ontario and is listed as threatened on the SARO. Because of this it is protected from harm. No trees of this species were identified on the subject property or nearby on adjacent properties.

### **TREE PRESERVATION AND PROTECTION MEASURES**

Preservation and protection measures intended to mitigate damage during construction will be applied for the trees to be retained on and adjacent to the subject properties. The following measures are the minimum required by the City of Ottawa to ensure tree survival during and following construction:

1. As per the City of Ottawa's tree protection barrier specification, erect a fence as close as possible to the CRZ of the tree(s);
2. Do not place any material or equipment within the CRZ of the tree(s);
3. Do not attach any signs, notices or posters to any tree;
4. Do not raise or lower the existing grade within the CRZ without approval;
5. Tunnel or bore instead of trenching within the CRZ of any tree;
6. Do not damage the root system, trunk or branches of any tree;
7. Ensure that exhaust fumes from all equipment are NOT directed towards any tree's canopy.

<sup>1</sup> critical root zone (CRZ) is established as being 10 centimetres from the trunk of a tree for every centimetre of DBH. The CRZ is calculated as DBH x 10 cm.

Table 1. Species, condition, size (diameter) and status of trees at 1058, 1062 & 1066 Silver Street

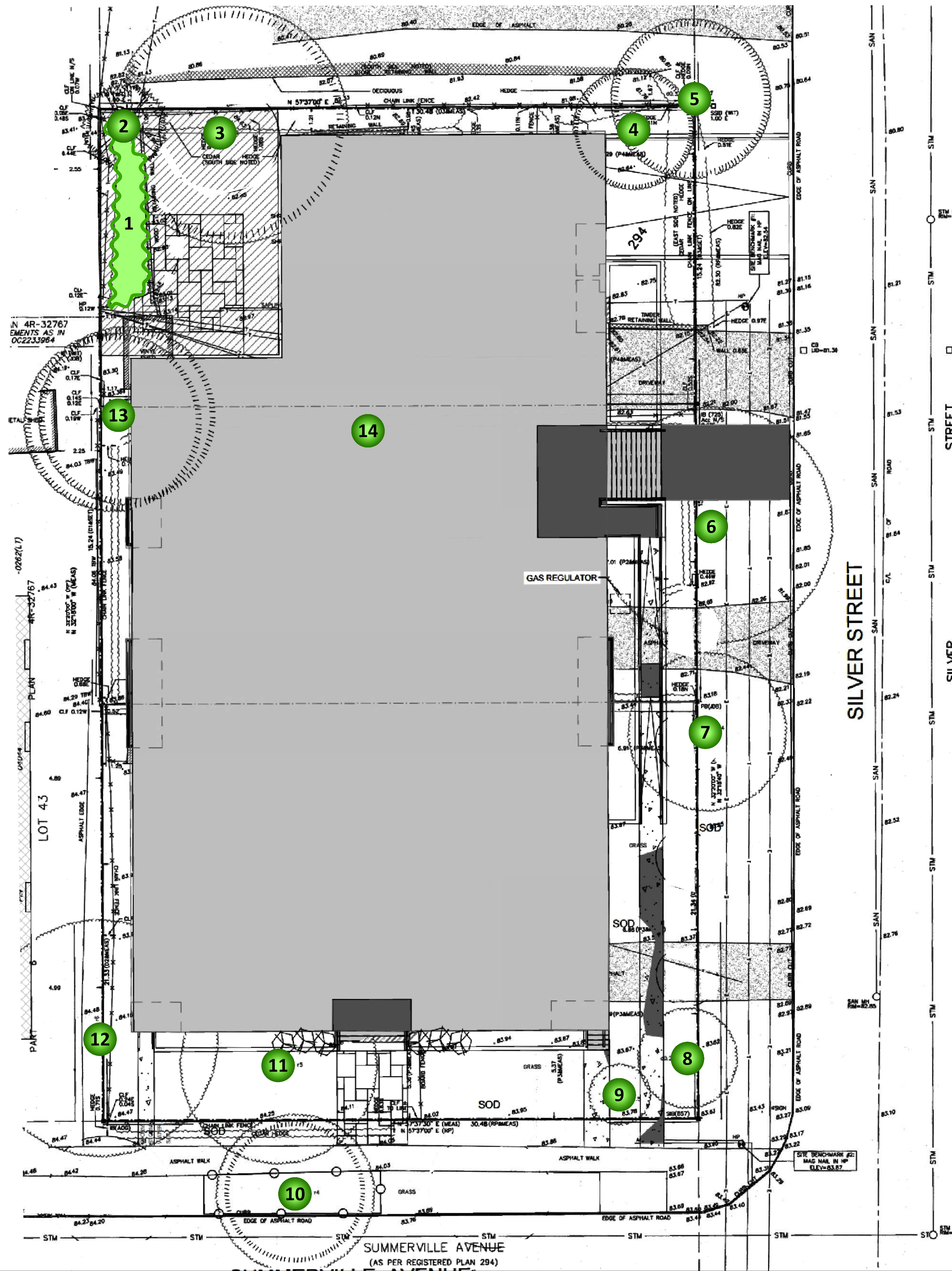
Tree No.	Tree species	Condition (VP→E)	DBH <sup>1</sup> (cm)	Owner -ship	Age class, tree condition notes & <b>preservation status</b> (to be removed or preserved and protected)
1	Eastern white cedar ( <i>Thuja occidentalis</i> )	Fair	10 avg.	Private	Maturing hedge; unmaintained; fair crown density, growth increment and needle colour; native species; <b>to be removed</b> (conflicts with grading)
2	White spruce ( <i>Picea glauca</i> )	Fair	38	Private	Mature; crown asymmetric towards west due to influence of trees #3; fair crown density, growth increment and needle colour; native species; <b>to be preserved and protected</b> (within proposed amenity area)
3	Norway maple ( <i>Acer platanoides</i> )	Poor	69	Private	Very mature; co-dominant stems at 3m from grade; multiple barkless wounds on main stem – poor vigour; broad crown; introduced invasive species; <b>to be removed</b> (conflicts with grading)
4	Norway maple ( <i>Acer platanoides</i> )	Good	10	Private	Immature; single dominant upright stem and leader; introduced invasive species; <b>to be removed</b> (conflicts with construction)
5	Norway maple ( <i>Acer platanoides</i> )	Poor	19 & 24	City	Mature; double stemmed at grade; smaller stem topped by Hydro, larger divergent over Silver Street; introduced invasive species; <b>to be removed</b> (due to poor condition - will become hazardous in future)
6	Sugar maple ( <i>Acer saccharum</i> )	Poor	57	City	Mature; central stem with five divergent laterals at 1.5-2m from grade due to pruning from overhead Hydro lines; native species; <b>to be removed</b> (due to poor condition and conflicts with construction)
7	Norway maple ( <i>Acer platanoides</i> )	Poor	41	City	Mature; crown completely asymmetric towards southwest due to pruning from overhead Hydro lines; multiple longitudinal seams in lower bole – opening in freeze-thaw cycles; introduced invasive species; <b>to be removed</b> (due to poor condition - will become hazardous in future)
8	Cherry ( <i>Prunus</i> spp.)	Poor	10	Private	Mature; tri-stemmed at 0.4m – one topped at with decay and bacterial ooze; laterals now dominant; cultivar; <b>to be removed</b> (conflicts with construction access)

Table 1. Con't

Tree No.	Tree species	Condition (VP→E)	DBH <sup>1</sup> (cm)	Owner -ship <sup>2</sup>	Age class, tree condition notes & <b>preservation status</b> (to be removed or preserved and protected)
9	Japanese tree lilac ( <i>Syringa reticulata</i> )	Very good	10	Private	Mature; tri-stemmed at 1.5m from grade; good increment (vigour); cultivar; <b>to be removed</b> (conflicts with construction access – could be preserved via transplanting)
10	Norway maple ( <i>Acer platanoides</i> )	Fair	35	City	Mature; tri-stemmed at 2.5m from grade; competing lateral at 2m on southwest; generally upright form, but crown asymmetric towards southeast due to influence of tree #8; introduced invasive species; <b>to be preserved and protected</b>
11	Norway maple ( <i>Acer platanoides</i> )	Fair	47	Private	Mature; central stem with suppressed laterals at 2m and competing laterals at 3 and 4m from grade on north and east – broad crown; introduced invasive species; <b>to be removed</b> (conflicts with construction)
12	Norway maple ( <i>Acer platanoides</i> )	Very poor	57	Shared	Mature; co-dominant stems at 4m with very weak union; crown very asymmetric towards southwest due to past loss of third stem on northeast side – major wound; introduced invasive species; <b>to be removed</b> (hazardous)
13	Norway maple ( <i>Acer platanoides</i> )	Fair	45, 40 & 17	Private	Mature; tri-stemmed from grade; two larger stems moderately divergent, smaller one suppressed; largest stem with major wound; introduced invasive species; <b>to be removed</b> (conflicts with construction)
14	Eastern white cedar ( <i>Thuja occidentalis</i> )	Fair	22	Private	Mature; co-dominant stems at 2m from grade; weak primary union; fair crown density, growth increment and needle colour; native species; <b>to be removed</b> (conflicts with construction)

<sup>1</sup> diameter at breast height, or 1.3m from grade (unless otherwise indicated); average diameters indicate multi-stemmed trees; <sup>2</sup> based on topographic survey





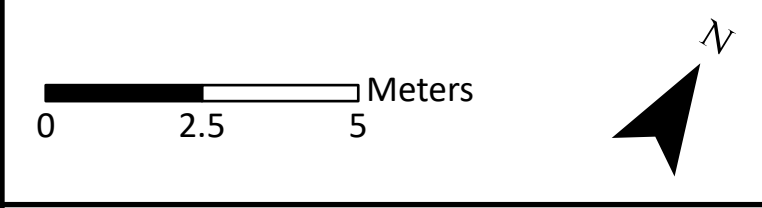
**GENERAL NOTES**

- GENERAL**
1. Read and interpret this drawing/drawing set in conjunction with all the contract details and specifications, including related civil, utility, structural, architectural, mechanical, electrical, environmental, geotechnical, and survey information.
  2. The Contractor is to determine the exact location, size, material, and elevation of all existing utilities prior to commencing construction. Protect and assume responsibility for all existing utilities regardless of being shown on the drawings.
  3. It is essential to use the plans and details in conjunction with the specifications and notes.
  4. Do not scale drawings. Work to dimensions only.
  5. Protect all existing and retained vegetation for the duration of construction according to the contract details and specifications.
  6. Reinstatement all areas and items damaged or disturbed, beyond the Limit of Work, because of construction activities, including but not limited to construction staging areas, haul roads, stockpile areas, etc., to the satisfaction of the Consultant. Unless otherwise noted, Contractor is to reinstate all areas to pre-construction condition or better to the satisfaction of the Contract Administrator.

**TREE PROTECTION**

- Implement the following protection measures for retained trees, both on site and on adjacent sites, prior to any work activity, including tree removal. Maintain tree protection fence in place and in good condition for the duration of site works:
1. Refer to Tree Conservation Report by IFS Associates.
  2. The Landscape Architect or Certified Arborist is to determine the location of the tree protection fencing and detail it on any associated plans for the site (e.g. tree conservation report, tree disclosure report, etc.).
  3. Under the guidance of a Certified Arborist, erect a fence at the critical root zone (CRZ) of trees. Diameter at breast height (DBH) is the trunk diameter measured at 1.3m height on the tree trunk. The CRZ is calculated as DBH x 10. Refer to the Tree Protection Fence detail.
  4. Refer to the Landscape Plan for fence location. City Forestry Staff are to approve both the plan and the installed fence prior to work commencement.
  5. Do not place any material or equipment within 2m of the CRZ of any tree, including outhouses.
  6. Do not attach any signs, notices, or posters to any tree.
  7. Do not disturb, raise, or lower the existing grade within the CRZ without approval.
  8. Only tunnel or bore when digging within the CRZ of a tree. Hand work only where required within the CRZ; absolutely no machinery permitted.
  9. Do not damage the root system, trunk, or branches, or any tree.
  10. Do not extend hard surface or significantly change landscaping.
  11. Ensure that exhaust fumes from all equipment are directed away from any tree canopy.
  12. When trees marked for removal overlap with the CRZ of trees marked for preservation: cut roots at the edge of the CRZ and grind down stumps after tree removals, do not pull out stumps. Ensure there is not root pulling or disturbance of the ground within the CRZ.
  13. Prior to work taking place, notify and consult the Certified Arborist and City Forestry Staff if roots must be cut. Roots 20mm or larger should be cut at right angles with clean, sharp horticultural tools without tearing, crushing, or pulling. Refer to City of Ottawa Specification S.P. F-8011 Tree Protection, Excavation of Root Zone.
  14. If damaged or objectionable branches are observed, consult the Certified Arborist, before any work is conducted. Do not prune leaders. Do not prune more than 1/4 of crown.
  15. Set up a water and fertilizing program, if trees are being affected by site works, to the satisfaction of the Certified Arborist.
  16. The Certified Arborist is to prescribe mitigation measures if the protected fenced area must be reduced to facilitate construction. Measures may include the placement of plywood, wood chips, or steel plating over the roots for protection. City Forestry Staff are to approve said measures prior to fence movement.
  17. City of Ottawa By-law: Protects municipal trees and municipal natural areas in the City of Ottawa and trees on private property in the urban area of the City of Ottawa (2020-340).
- PLANS COMPLETED BY NOVATECH (22)

**LEGEND**



DRAWING: Tree Conservation Plan

PROJECT: PART OF LOT 31 REGISTERED PLAN 294 CITY OF OTTAWA

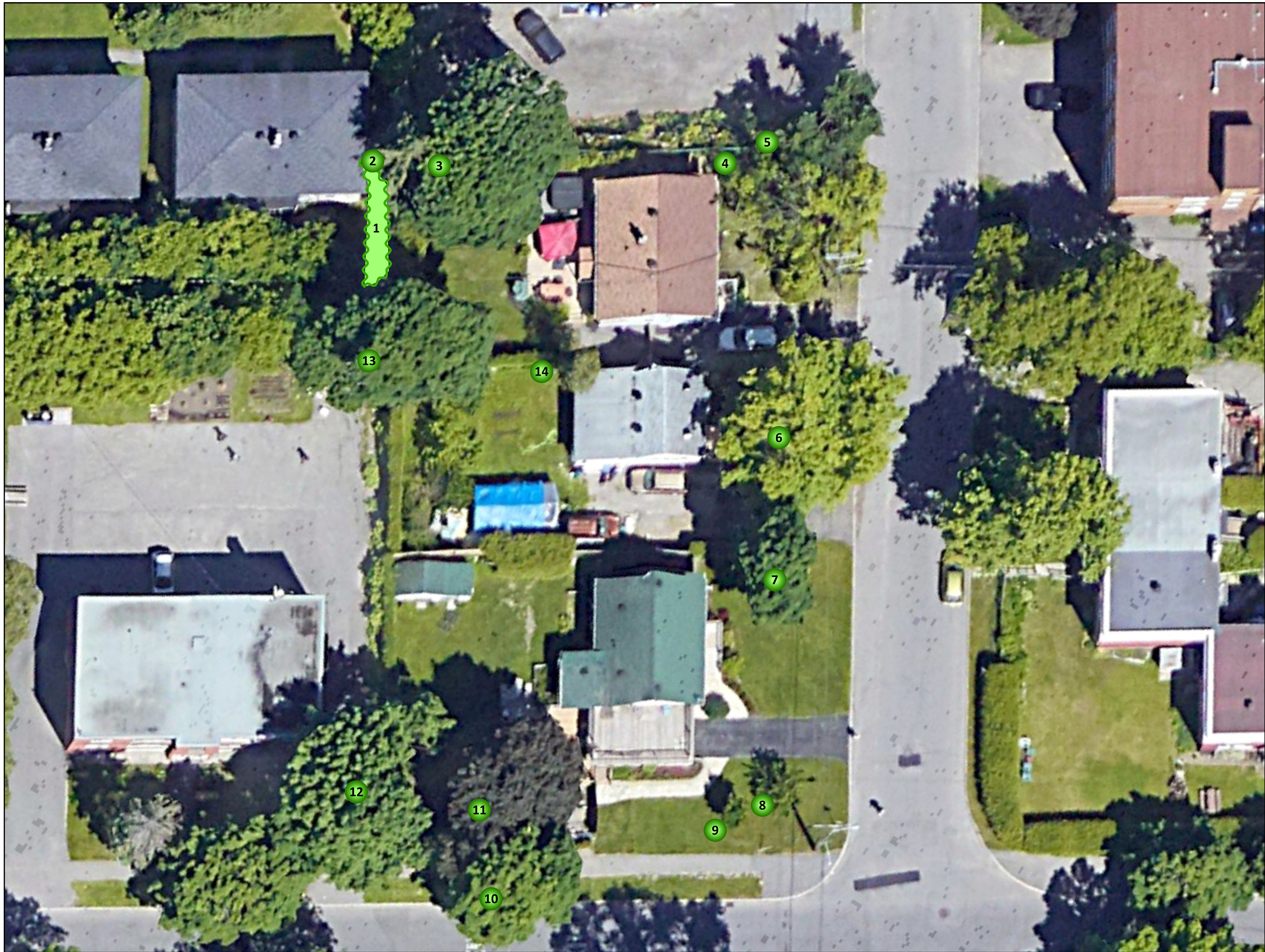


Andrew K. Boyd, R.P.F.

SCALE: 1:121  
 DATE: 2022-02-21  
 DRAWN BY: SS  
 SHEET NO: 1

**SILV**

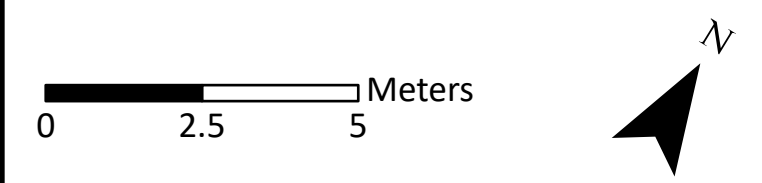




GENERAL NOTES

Maxar, Microsoft

LEGEND



DRAWING: Tree Conservation Plan

PROJECT: PART OF LOT 31  
REGISTERED PLAN 294  
CITY OF OTTAWA



Andrew K. Boyd, R.P.F.

SCALE:	1:121	DRAWING NO.:	SILV
DATE:	2022-02-21		
DRAWN BY:	SS		
SHEET NO.:	1		



This report is subject to the attached Limitations of Tree Assessments and Liability to which the reader's attention is directed.

Please do not hesitate to contact the undersigned with any questions concerning this report.

Yours,



Andrew K. Boyd, B.Sc.F, R.P.F. (#1828)  
Certified Arborist #ON-0496A and TRAQualified  
Consulting Urban Forester



Picture 1. Private trees #1 (cedars centre), 2 (spruce right) and 3 (maple left) located at 1058 Silver Street







Picture 2. City trees #6 and 7 located adjacent to 1066 and 1062 Silver Street



Picture 3. Trees #10 (right), #11 (centre) and #12 (left) located on or adjacent to 1066 Silver Street





Picture 4. Privately owned trees #8 and 9 (right to left) at 1066 Silver Street





Picture 5. Privately owned tree #13 at 1058 Silver Street



# LIMITATIONS OF TREE ASSESSMENTS & LIABILITY

## GENERAL

It is the policy of *IFS Associates Inc.* to attach the following clause regarding limitations. We do this to ensure that our clients are clearly aware of what is technically and professionally realistic in assessing trees for retention.

This report was carried out by *IFS Associates Inc.* at the request of the client. The information, interpretation and analysis expressed in this report are for the sole benefit and exclusive use of the client. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the client to whom it is addressed. Unless otherwise required by law, neither all or any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through public relations, news or other media, without the prior expressly written consent of the author, and especially as to value conclusions, identity of the author, or any reference to any professional society or institute or to any initialed designation conferred upon the author as stated in his qualifications.

This report and any values expressed herein represent the opinion of the author; his fee is in no way contingent upon the reporting of a specified value, a stipulated result, nor upon any finding to be reported. Details obtained from photographs, sketches, *etc.*, are intended as visual aids and are not to scale. They should not be construed as engineering reports or surveys. Although every effort has been made to ensure that this assessment is reasonably accurate, the tree(s) should be reassessed at least annually. The assessment presented in this report is valid at the time of the inspection only. The loss or alteration of any part of this report invalidates the entire report.

## LIMITATIONS

The information contained in this report covers only the tree(s) in question and no others. It reflects the condition of the assessed tree(s) at the time of inspection and was limited to a visual examination of the accessible portions only. *IFS Associates Inc.* has prepared this report in a manner consistent with that level of care and skill ordinarily exercised by members of the forestry and arboricultural professions, subject to the time limits and physical constraints applicable to this report. The assessment of the tree(s) presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above-ground portions of each tree for structural defects, scars, cracks, cavities, external indications of decay such as fungal fruiting bodies, evidence of insect infestations, discoloured foliage, the condition of any visible root structures, the degree and direction of lean (if any), the general condition of the tree(s) and the surrounding site, and the proximity of people and property. Except where specifically noted in the report, the tree(s) examined were not dissected, cored, probed or climbed to gain further evidence of their structural condition. Also, unless otherwise noted, no detailed root collar examinations involving excavation were undertaken.

While reasonable efforts have been made to ensure that the tree(s) proposed for retention are healthy, no warranty or guarantee, expressed or implied, are offered that these trees, or any parts of them, will remain standing. This includes other trees on or off the property not examined as part of this assignment. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree or groups of trees or their component parts in all circumstances, especially when within construction zones. Inevitably, a standing tree will always pose some risk. Most trees have the potential for failure in the event of root loss due to excavation and other construction-related impacts. This risk can only be eliminated through full tree removal.



Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site conditions, or seasonal variations in the weather. It is a condition of this report that *IFS Associates Inc.* be notified of any changes in tree condition and be provided an opportunity to review or revise the recommendations within this report. Recognition of changes to a tree's condition requires expertise and extensive experience. It is recommended that *IFS Associates Inc.* be employed to re-inspect the tree(s) with sufficient frequency to detect if conditions have changed significantly.

### ASSUMPTIONS

Statements made to *IFS Associates Inc.* in regards to the condition, history and location of the tree(s) are assumed to be correct. Unless indicated otherwise, all trees under investigation in this report are assumed to be on the client's property. A recent survey prepared by a Licensed Ontario Land Surveyor showing all relevant trees, both on and adjacent to the subject property, will be provided prior to the start of field work. The final version of the grading plan for the project will be provided prior to completion of the report. Any further changes to this plan invalidate the report on which it is based. *IFS Associates Inc.* must be provided the opportunity to revise the report in relation to any significant changes to the grading plan. The procurement of said survey and grading plan, and the costs associated with them both, are the responsibility of the client, not *IFS Associates Inc.*

### LIABILITY

Without limiting the foregoing, no liability is assumed by *IFS Associates Inc.* for: 1) any legal description provided with respect to the property; 2) issues of title and/or ownership with respect to the property; 3) the accuracy of the property line locations or boundaries with respect to the property; 4) the accuracy of any other information provided by the client or third parties; 5) any consequential loss, injury or damages suffered by the client or any third parties, including but not limited to replacement costs, loss of use, earnings and business interruption; and, 6) the unauthorized distribution of the report.

### INDEMNIFICATION

An applicant for a permit or other approval based on this report shall agree to indemnify and save harmless *IFS Associates Inc.* from any and all claims, demands, causes of action, losses, costs or damages that affected private landowners and/or the City of Ottawa may suffer, incur or be liable for resulting from the issuance of a permit or approval based on this report or from the performance or non-performance of the applicant, whether with or without negligence on the part of the applicant, or the applicant's employees, directors, contractors and agents.

Further, under no circumstances may any claims be initiated or commenced by the applicant against *IFS Associates Inc.* or any of its directors, officers, employees, contractors, agents or assessors, in contract or in tort, more than 12 months after the date of this report.

### ONGOING SERVICES

*IFS Associates Inc.* accepts no responsibility for the implementation of any or all parts of the report, unless specifically requested to supervise the implementation or examine the results of activities recommended herein. In the event that examination or supervision is requested, that request shall be made in writing and the details, including fees, agreed to in advance.