



## SILVER STREET DEVELOPMENT

1062 & 1066 SILVER STREET, OTTAWA, ON  
 ISSUED FOR SITE PLAN & ZONING: 2021.07.26

ARCHITECTURAL DRAWINGS



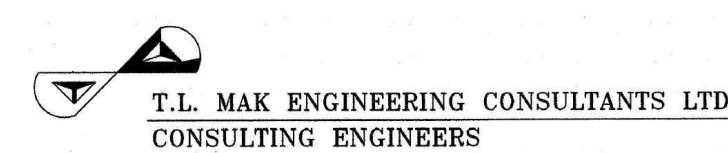
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 18 DEAKIN ST. SUITE 205  
 OTTAWA, ONTARIO K2E 8B7  
 (P) 613 734-7770  
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STRUCTURAL DRAWINGS



GOODEVE STRUCTURAL INC.  
 18-77 Auriga Dr. Ottawa ON K2E 7Z7  
 613-226-4558 www.goodevestructural.ca

CIVIL DRAWINGS



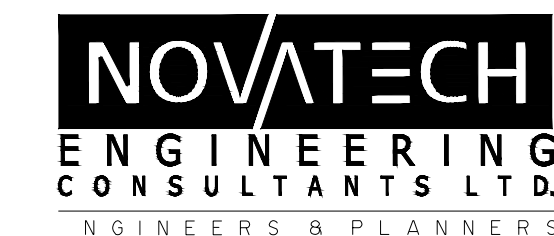
T.L. MAK ENGINEERING CONSULTANTS LTD.  
 LTD.  
 1455 YOUVILLE DR.  
 OTTAWA, ONTARIO, K1G 6Z7  
 (P) 613 837-5516

MECHANICAL/ELECTRICAL  
 DRAWINGS



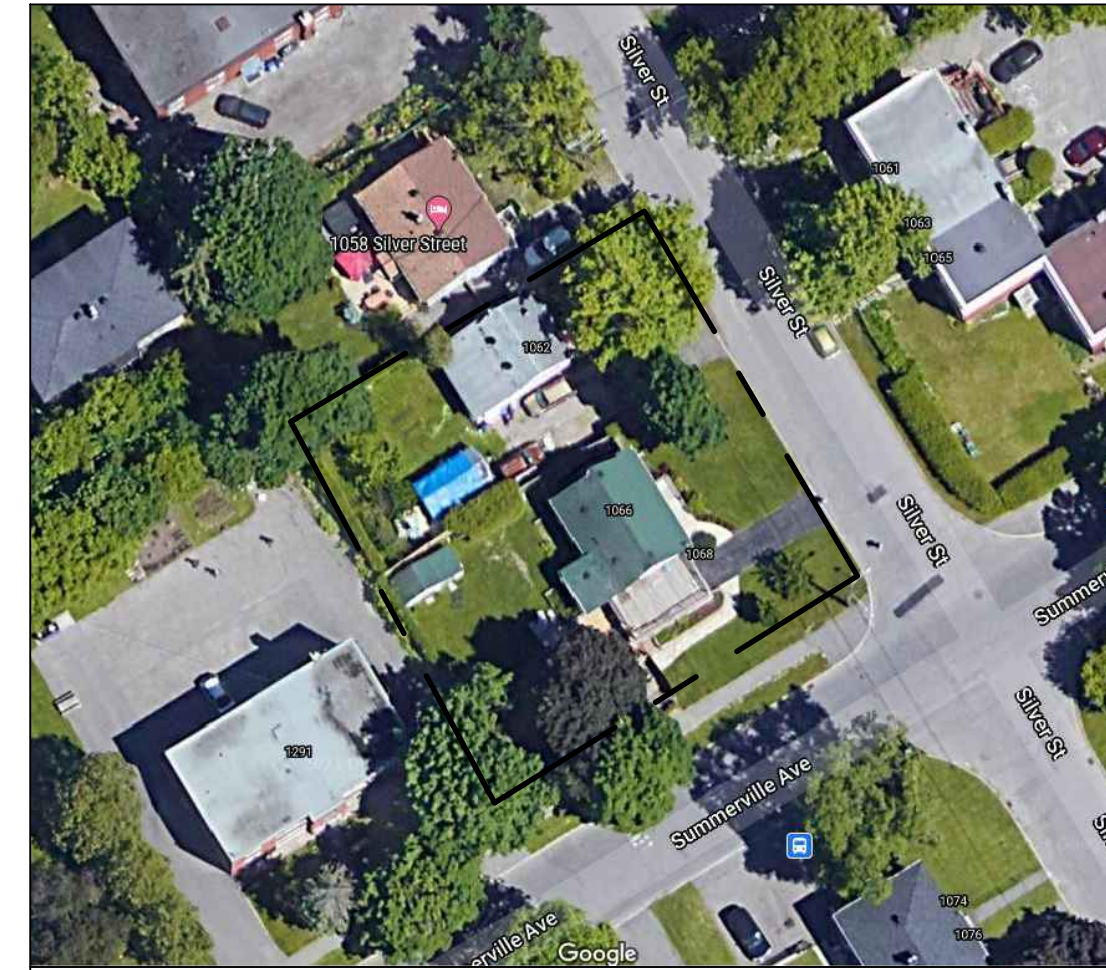
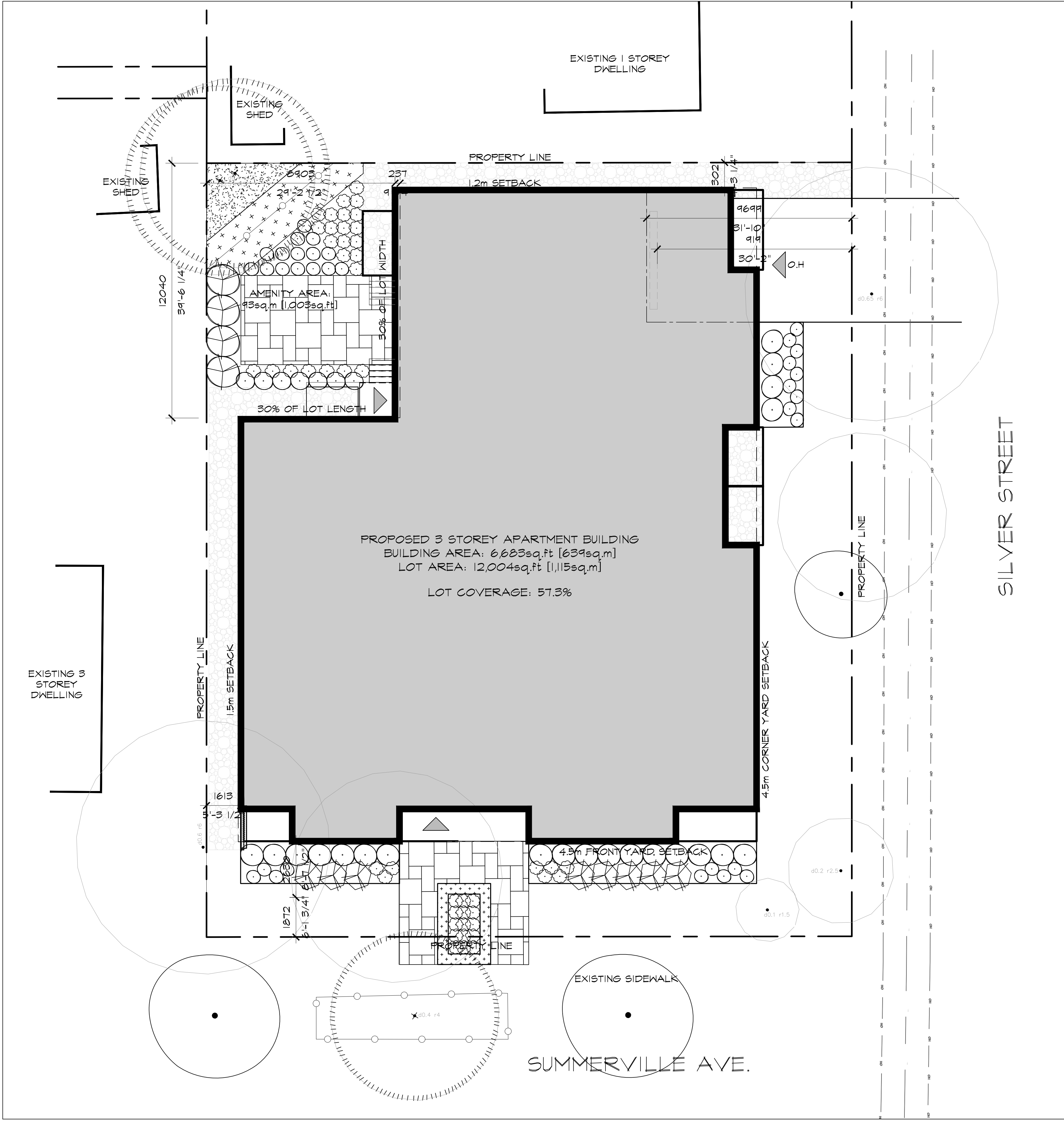
QUADRANT ENGINEERING  
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 107 FRETORIA AVE.  
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 (P) 613 567-1487  
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PLANNER/ LANDSCAPER



NOVATECH ENGINEERING CONSULTING  
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 240 MICHAELCOWPLAND DRIVE, SUITE  
 200,  
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 (P) 613 254-9643  
 (F) 613 254-5867

NOTES:  
 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.  
 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.  
 3) DO NOT SCALE DRAWINGS.  
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KEY PLAN

BUILDING AREAS	CONSTRUCTION AREA [SQ.M]	CONSTRUCTION AREA [SQ.FT]
LOWER LEVEL		
GROUND FLOOR AREA	639sq.m	6883sq.ft
SECOND FLOOR AREA	639sq.m	6883sq.ft
THIRD FLOOR AREA	621sq.m	6686sq.ft
TOTAL	1899sq.m	20452sq.ft

BUILDING FLOOR STATISTICS - RENTAL APARTMENT:			
FLOOR	SUITES	1 BEDROOM + DEN	2 BEDROOM
LOWER LEVEL	0		
GROUND FLOOR	7	2	5
SECOND FLOOR	8	2	6
THIRD FLOOR	8	2	6
TOTAL	23	6	17
SUITE MIX		26%	74%

CITY OF OTTAWA ZONING BY-LAW		
ZONING PROVISIONS	REQUIRED	PROPOSED
<b>R4UC</b>		
MIN. LOT AREA	450sq.m	1,115.2sq.m
MAX. LOT AREA	1,070sq.m	1,115.2sq.m
MIN. LOT WIDTH	15m	30.5m
MAX. LOT WIDTH	38m	30.5m
MIN. FRONT YARD SETBACK	4.5m	4.5m
MIN. CORNER SIDE YARD SETBACK	4.5m	4.5m
MIN. INTERIOR SIDE YARD SETBACK	1.5m	1.6m
MIN. REAR YARD SETBACK	1.2m	1.29m
MIN. INTERIOR YARD SETBACK	9.14m X 12.04m	8.9m X 12.09m
MAX. BUILDING HEIGHT	11m	11m
AMENITY AREA	40% OF FRONT AND CORNER YARDS, 30% OF LOT AREA, 50% OF REAR YARD WITH A 25sq.m STRIP.	
LOT COVERAGE	N/A	57.6%

AUTOMOBILE PARKING SUMMARY		
REQUIRED PARKING	REQUIRED	PROPOSED
RESIDENT PARKING	0.5/UNIT (AFTER 12) X 11 = 5.5 SPACES	15
VISITOR PARKING	0.1/UNIT (AFTER 12) X 11 = 1 SPACES	1
TOTAL PROVIDED	7 SPACES	16 SPACES

PROVIDED PARKING		
		UNDERGROUND
REGULAR SPACES	MIN. 2.6m x 5.2m	15
ACCESSIBLE SPACES	TYPE B 2.4m x 5.2m	1
TOTAL		= 16 PROVIDED PARKING SPACES

BICYCLE PARKING SUMMARY		
REQUIRED PARKING	REQUIRED	PROPOSED
BIKE PARKING	0.5/UNIT X 23 = 12 SPACES	32

**LEGEND**

- NEW OVERHEAD DOOR
- NEW DOOR/ENTRANCE
- PROPOSED RIVERSTONE MULCH
- EXISTING VEGETATION REFER TO LANDSCAPE DWGS
- BICYCLE PARKING SPACE (1.8mX0.6m)
- NO PARKING LINES
- PROPOSED PRECAST CONCRETE PAVERS
- PROPOSED SOD - REFER TO LANDSCAPE DWGS
- NEW SAWCUT CONCRETE SIDEWALK
- PARKING STALL COUNT PER ROW
- NEW SIGN, REFER TO SIGN LEGEND
- STREET LIGHT
- HYDRO POST
- DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS
- VISITOR PARKING
- TWO WAY TRAFFIC
- DEPRESSED CURB (DC)
- PROPERTY LINE
- EXISTING FENCE
- MINIMUM SETBACKS (ZONING)
- NEW CONSTRUCTION
- EXISTING BUILDINGS
- REFER TO LANDSCAPE DWGS

SEAL: \_\_\_\_\_ NORTH ARROW:

No.	DATE	REVISION
00	2021.01.28	SITE PLAN AND ZONING SUBMISSION
05	2021.01.14	ISSUED FOR COORDINATION
04	2021.06.03	ISSUED FOR REVIEW
03	2021.09.13	ISSUED FOR REVIEW
02	2021.04.21	ISSUED FOR REVIEW
01	2021.02.03	ISSUED FOR REVIEW

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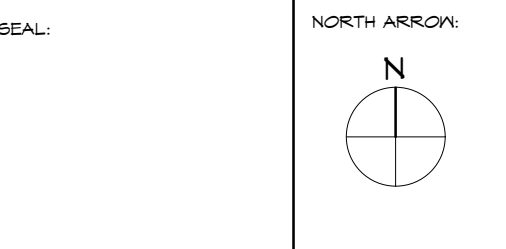
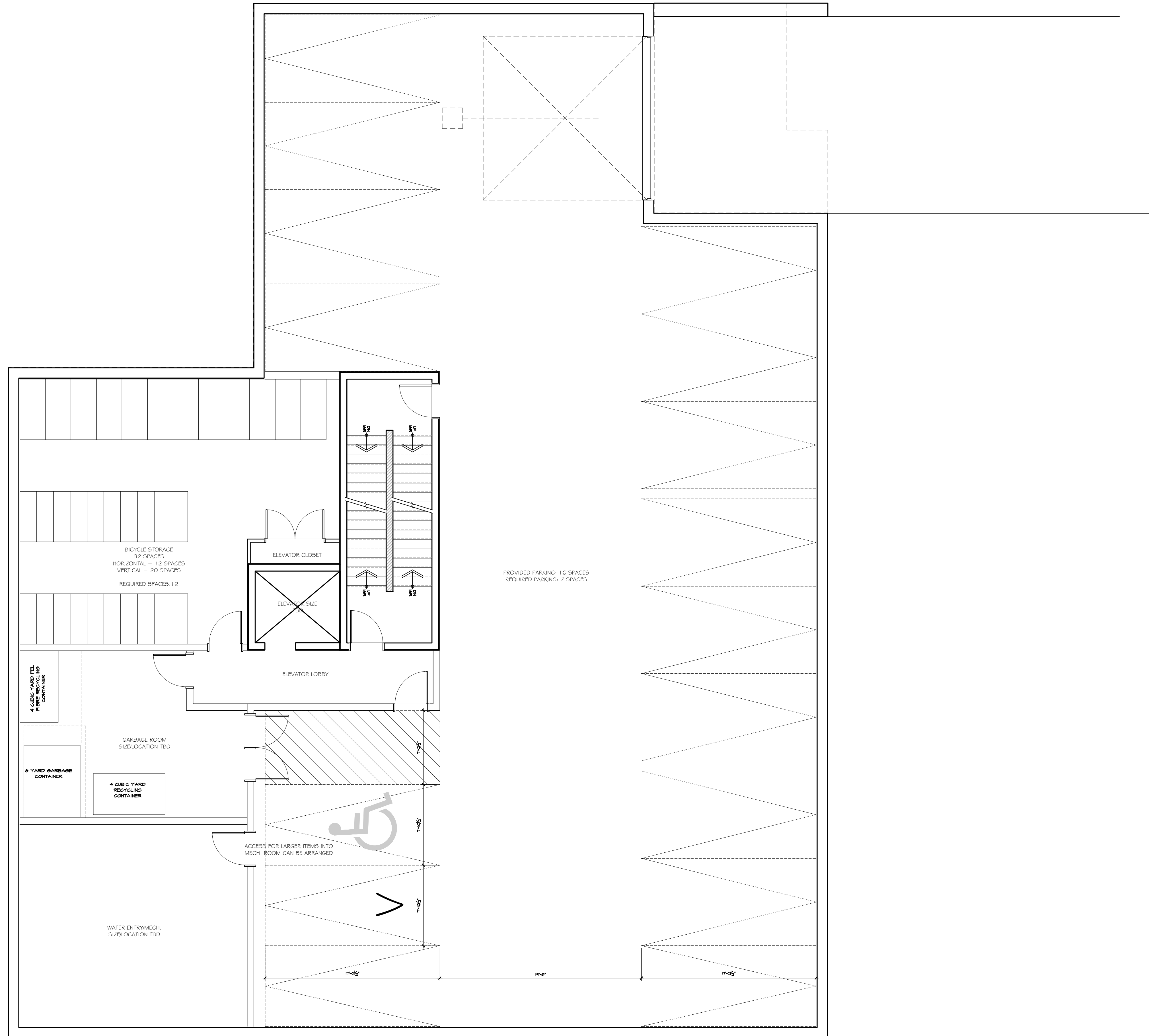
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PROJECT: SILVER STREET DEVELOPMENT  
 1062 & 1066 SILVER STREET, OTTAWA ON

SHEET TITLE: CONCEPT SITE PLAN

DRAWN BY: S.J.L.	CHECKED BY: S.J.L.
PLOT DATE: 2021.07.28	PROJECT DATE: 2021.02.08
JOB NUMBER: SL-1046-21	SCALE: AS SHOWN
SHEET NUMBER:	

- NOTES:
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04	2021.07.26	SITE PLAN & ZONING SUBMISSION
03	2021.06.09	ISSUED FOR REVIEW
02	2021.04.21	ISSUED FOR REVIEW
01	2021.02.09	ISSUED FOR DRAFT REVIEW

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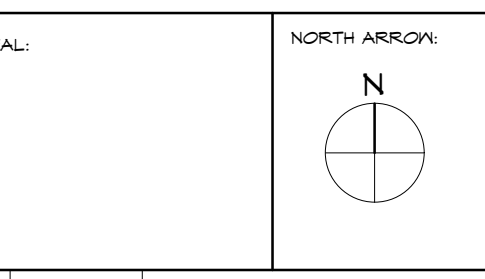
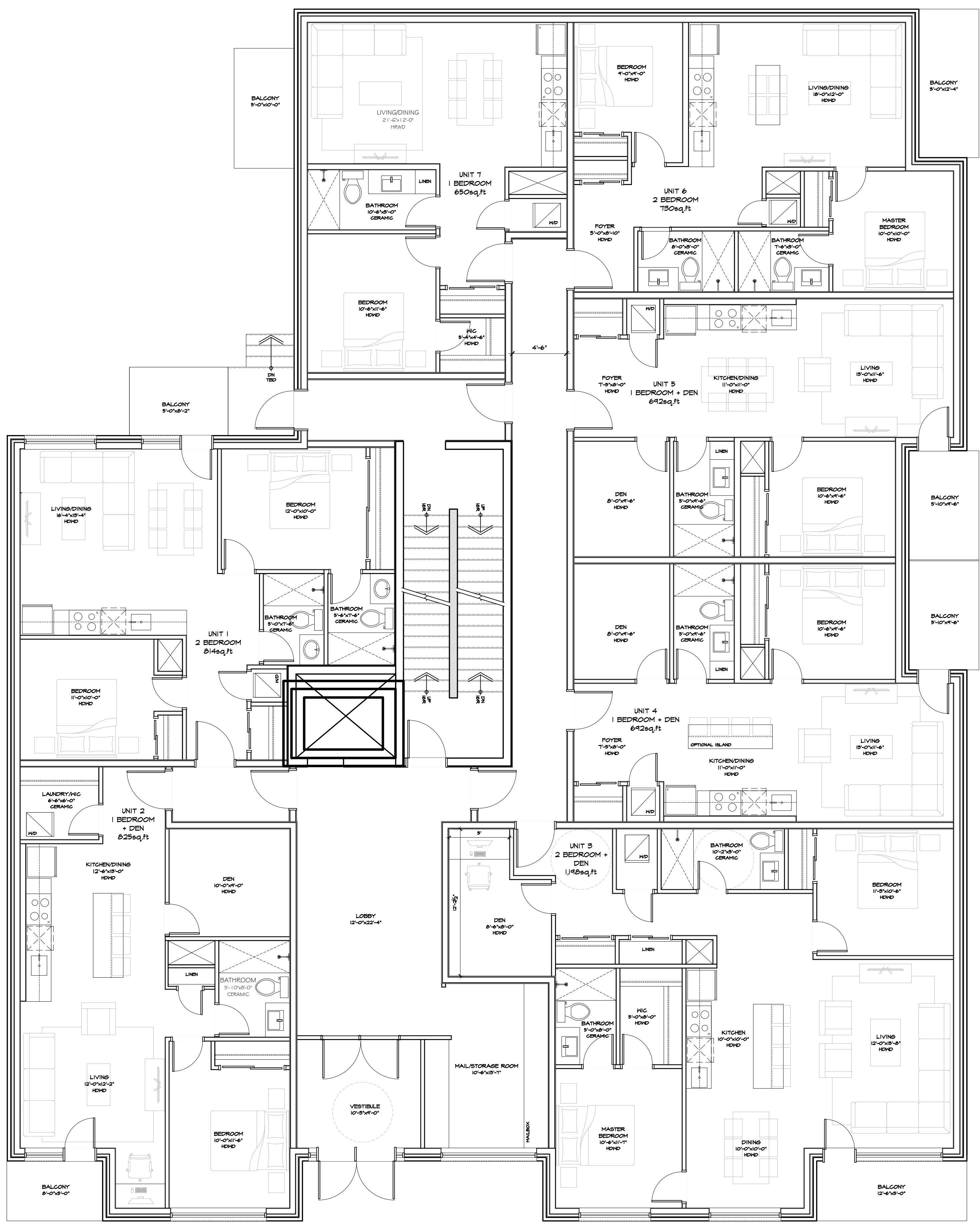
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**PROJECT:**  
**SILVER STREET DEVELOPMENT**  
 1062 & 1066 SILVER STREET, OTTAWA, ON

**SHEET TITLE:**  
**CONCEPT FLOOR PLANS**

DRAWN BY: A.L.	CHECKED BY: S.J.L.
PLOT DATE: 2021.07.26	PROJECT DATE: 2021.02.09
JOB NUMBER: SL-1046-21	SCALE: AS SHOWN

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No.	DATE	REVISION
04	2021.07.26	SITE PLAN & ZONING SUBMISSION
03	2021.06.08	ISSUED FOR REVIEW
02	2021.04.21	ISSUED FOR REVIEW
01	2021.02.08	ISSUED FOR DRAFT REVIEW

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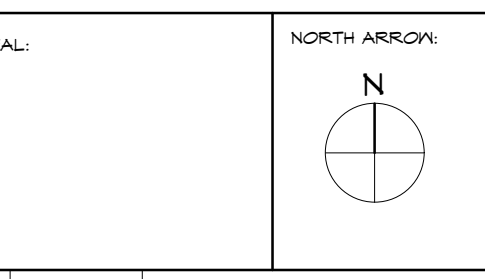
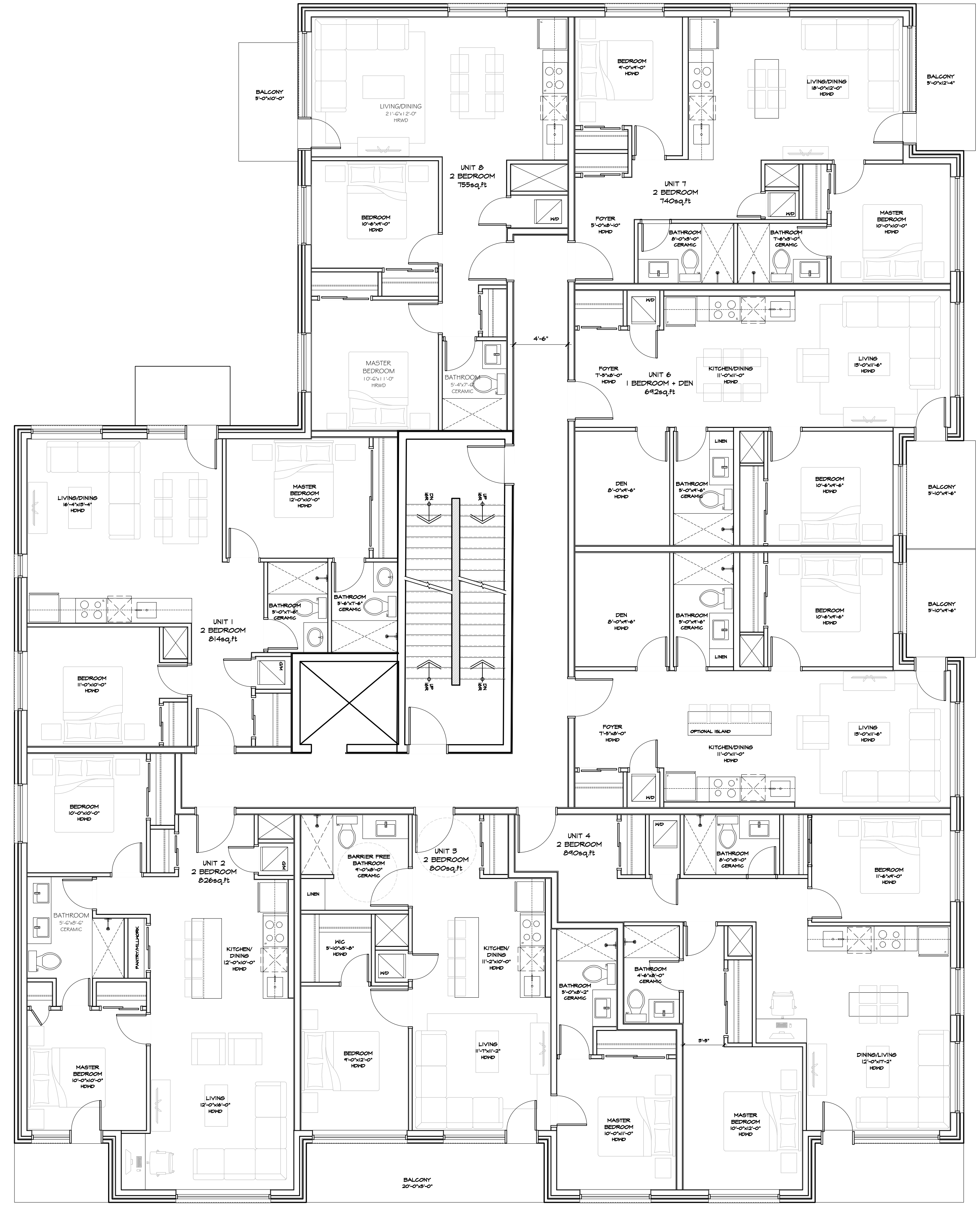
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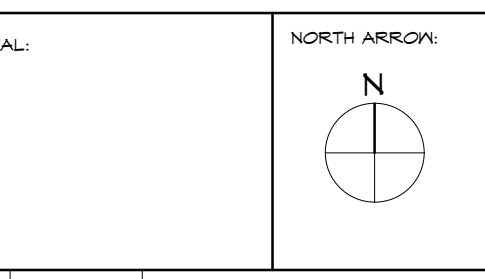
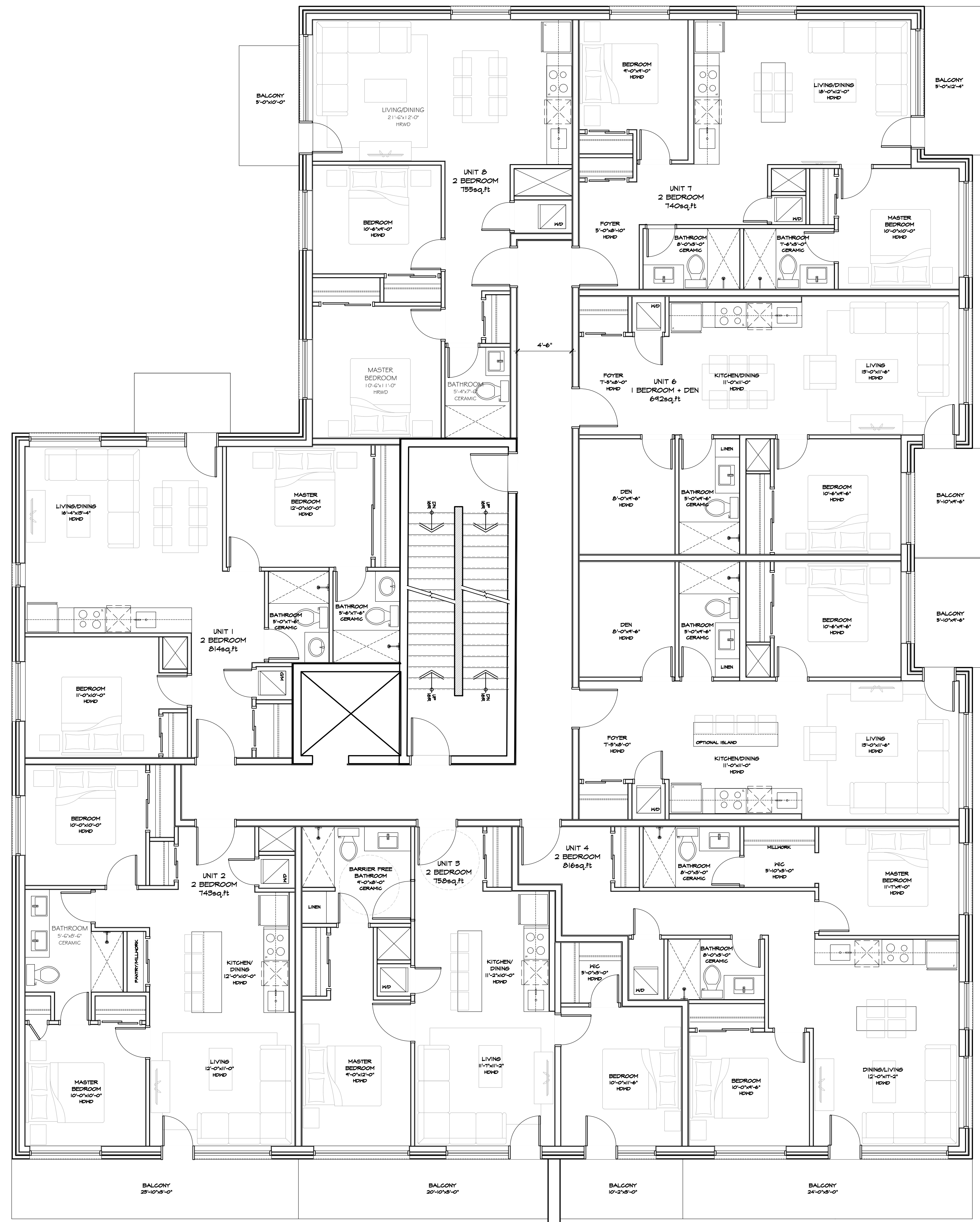
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**01** SOUTH [FRONT] ELEVATION - OPTION 01  
SCALE: 1/4" = 1'-0"

SEAL: \_\_\_\_\_ NORTH ARROW:

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06	2021.07.26	SITE PLAN AND ZONING SUBMISSION
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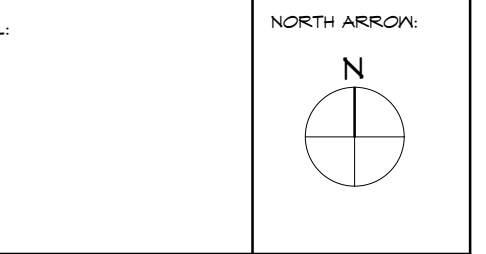
SHEET TITLE:  
**SCHEMATIC ELEVATION OPTION 01**

DRAWN BY: B.L. CHECKED BY: S.L.  
 PROJECT DATE: 2021.07.26  
 PLOT DATE: 2021.07.26  
 JOB NUMBER: SL-1046-21 SCALE: AS SHOWN  
 SHEET NUMBER:

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**01 EAST [SIDE] ELEVATION**  
 SCALE: 1/4" = 1'-0"



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 1062 & 1066 SILVER STREET, OTTAWA, ON

SHEET TITLE:  
**ELEVATION**

DRAWN BY: B.L.	CHECKED BY: S.L.
PROJECT DATE: 2021.07.26	SCALE: AS SHOWN
PLOT DATE: 2021.07.26	SHEET NUMBER: A4.1



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**01 WEST [SIDE] ELEVATION**  
SCALE: 1/4" = 1'-0"

SEAL: \_\_\_\_\_ NORTH ARROW:

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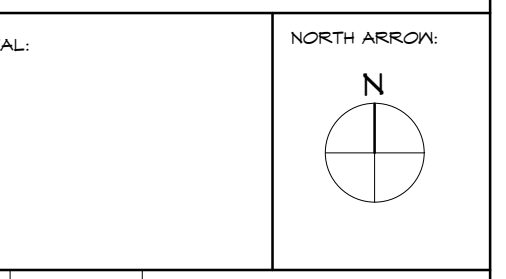
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01 NORTH [BACK] ELEVATION  
A4.3 SCALE 1/4" = 1'-0"



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