



July 23, 2021

Rob Haslett
Haslett Construction
414 Churchill Avenue
Ottawa, ON
K1Z 5C6

RE: TREE CONSERVATION REPORT FOR 1062 AND 1066 SILVER STREET

This report details a pre-construction tree conservation report (TCR) for the two above-noted properties in Ottawa. The requirement for this report is related to trees protected under the City of Ottawa's Tree Protection By-law (By-law no. 2020-340). The need for this TCR is related to the redevelopment of the subject properties, including the demolition of the two existing single family dwellings and construction of a multi-storey residential building with underground parking.

Tree conservation reports are required for all properties subject to site plan control applications on which trees of ten (10) centimetres in diameter or greater are present. The approval of this TCR by the City of Ottawa and the issuing of a permit by them authorize the removal of approved trees. **Importantly, although this report may be used to support the application for a City tree removal permit, it does not by itself constitute permission to remove trees or begin site clearing activities. No such work should occur before a tree removal permit is issued by the City of Ottawa. Further, if any trees fully on or shared with adjacent private property are to be removed written consent of the neighbouring property owner must first be obtained.**

The inventory in this report details the assessment of all individual trees on and adjacent to the two subject properties. Only one of the city owned trees directly adjacent to the subject properties conflicts with the proposed development and so is slated for removal. A second city owned tree is slated for removal due to its poor condition. All but one of the trees fully on the two subject properties conflict with the proposed construction and so are all slated for removal. Trees on adjacent private property and one on city lands will be preserved, unless noted otherwise. Field work for this report was completed in March 2021.

TREE SPECIES, CONDITION, SIZE AND STATUS

Table 1 on page 2 details the species, condition, size (diameter), ownership and status of the individual trees on and adjacent to the subject properties. Each of these trees are referenced by the numbers plotted on the tree conservation plans included on pages 3 and 4 of this report. Pictures 1 through 5 on pages 6, 7 and 8 show the trees on and adjacent to the subject properties.



Table 1. Species, condition, size (diameter) and status of trees at 1062 & 1066 Silver Street

Tree No.	Tree species	Condition (VP→E)	DBH ¹ (cm)	Owner -ship	Age class, tree condition notes & preservation status (to be removed or preserved and protected)
1	Norway maple (<i>Acer platanoides</i>)	Fair	45, 40 & 17	Private	Mature; tri-stemmed from grade; two larger stems moderately divergent, smaller one suppressed; largest stem with major wound; introduced invasive species; to be preserved and protected
2	Eastern white cedar (<i>Thuja occidentalis</i>)	Fair	22	Private	Mature; co-dominant stems at 2m from grade; weak primary union; fair crown density, growth increment and needle colour; native species; to be removed (conflicts with construction)
3	Sugar maple (<i>Acer saccharum</i>)	Poor	57	City	Mature; central stem with five divergent laterals at 1.5-2m from grade due to pruning from overhead Hydro lines; native species; to be removed (conflicts with construction)
4	Norway maple	Poor	41	City	Mature; crown completely asymmetric towards southwest due to pruning from overhead Hydro lines; multiple longitudinal seams in lower bole – opening in freeze-thaw cycles; to be removed (will become hazardous in future)
5	Cherry (<i>Prunus</i> spp.)	Poor	10	Private	Mature; tri-stemmed at 0.4m – one topped at with decay and bacterial ooze; laterals now dominant; cultivar; to be removed (conflicts with construction)
6	Japanese tree lilac (<i>Syringa reticulata</i>)	Very good	10	Private	Mature; tri-stemmed at 1.5m from grade; good increment (vigour); cultivar; to be removed (conflicts with construction – could be preserved via transplanting)
7	Norway maple	Fair	35	City	Mature; tri-stemmed at 2.5m from grade; competing lateral at 2m on southwest; generally upright form, but crown asymmetric towards southeast due to influence of tree #8; to be preserved and protected
8	Norway maple	Fair	47	Private	Mature; central stem with suppressed laterals at 2m and competing laterals at 3 and 4m from grade on north and east – broad crown; to be removed (conflicts with construction)
9	Norway maple	Very poor	57	Shared	Mature; co-dominant stems at 4m with very weak union; crown very asymmetric towards southwest due to past loss of third stem on northeast side – major wound; to be removed (hazardous)

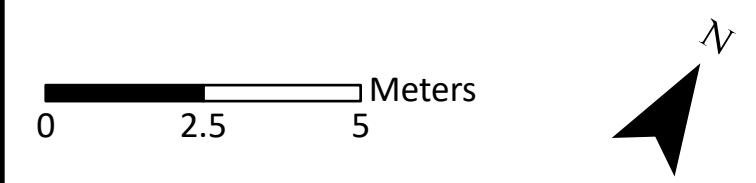
¹ diameter at breast height, or 1.4m from grade (unless otherwise indicated); average diameters indicate multi-stemmed trees

GENERAL NOTES

PLANS COMPLETED BY T.L. MAX ENGINEERING LTD. (04/21)

LEGEND

- PROPOSED ELEVATION
- EXISTING ELEVATION
- F.F. PROPOSED TOP OF GROUND FLOOR ELEVATION
- T.O.F. PROPOSED TOP OF CONCRETE FOUNDATION ELEVATION
- U.S.F. PROPOSED UNDERSIDE OF CONCRETE FOOTING ELEVATION
- D/W PROPOSED DRIVEWAY
- ST EXISTING SANITARY SEWER
- SS EXISTING STORM SEWER
- W EXISTING WATERMAIN
- 150mm PVC SANITARY LATERAL SERVICE @ 1% (MIN.) SLOPE
- 200mm PVC STORM PIPE @ 1% (MIN.) SLOPE
- 150mm WATER SERVICE (COPPER TYPE "K")
- W-1 EXISTING SANITARY MANHOLE
- W-2 EXISTING STORM MANHOLE
- CB EXISTING CATCH BASIN
- WV EXISTING WATER VALVE
- FW EXISTING FIRE HYDRANT
- UP EXISTING UTILITY POLE
- OW EXISTING OVERHEAD WIRES
- WV&V PROPOSED VALVE AND VALVE BOX (W&V)
- PROPOSED GENERAL DIRECTION OF LOT GRADING AND SURFACE FLOW
- PROPOSED HIGH RIDGE LINE
- PROPOSED RETAINING WALL
- T/W PROPOSED TOP OF RETAINING WALL ELEVATION
- B/W PROPOSED BOTTOM OF RETAINING WALL ELEVATION
- RD#1 PROPOSED FLAT ROOF-TOP DRAIN LOCATION AND ROOF NUMBER
- WTP PROPOSED WEEPING TILE SUMP PIT LOCATION
- C/W PROPOSED C/W DUPLEX SUMP PUMPS (REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS)
- STW PROPOSED SANITARY HOLDING TANK LOCATION
- DC PROPOSED WASTEWATER SAMPLING INSPECTION CHAMBER LOCATION (PER CITY DETAIL S18.1)
- DC PROPOSED DEPRESSION CURB
- SC PROPOSED BACKWATER VALVE AND STANDPOST
- SC PROPOSED SCUPPER LOCATION
- PROPOSED RIGID STYROFOAM INSULATION 75mm THICK (M&I)
- PROPOSED TRENCH DRAIN LOCATION
- PROPOSED ASPHALT BUMP-UP LOCATION
- PROPOSED INTERLOCK PAVEMENT
- PROPOSED RIVERSTONE LANDSCAPING
- TREE



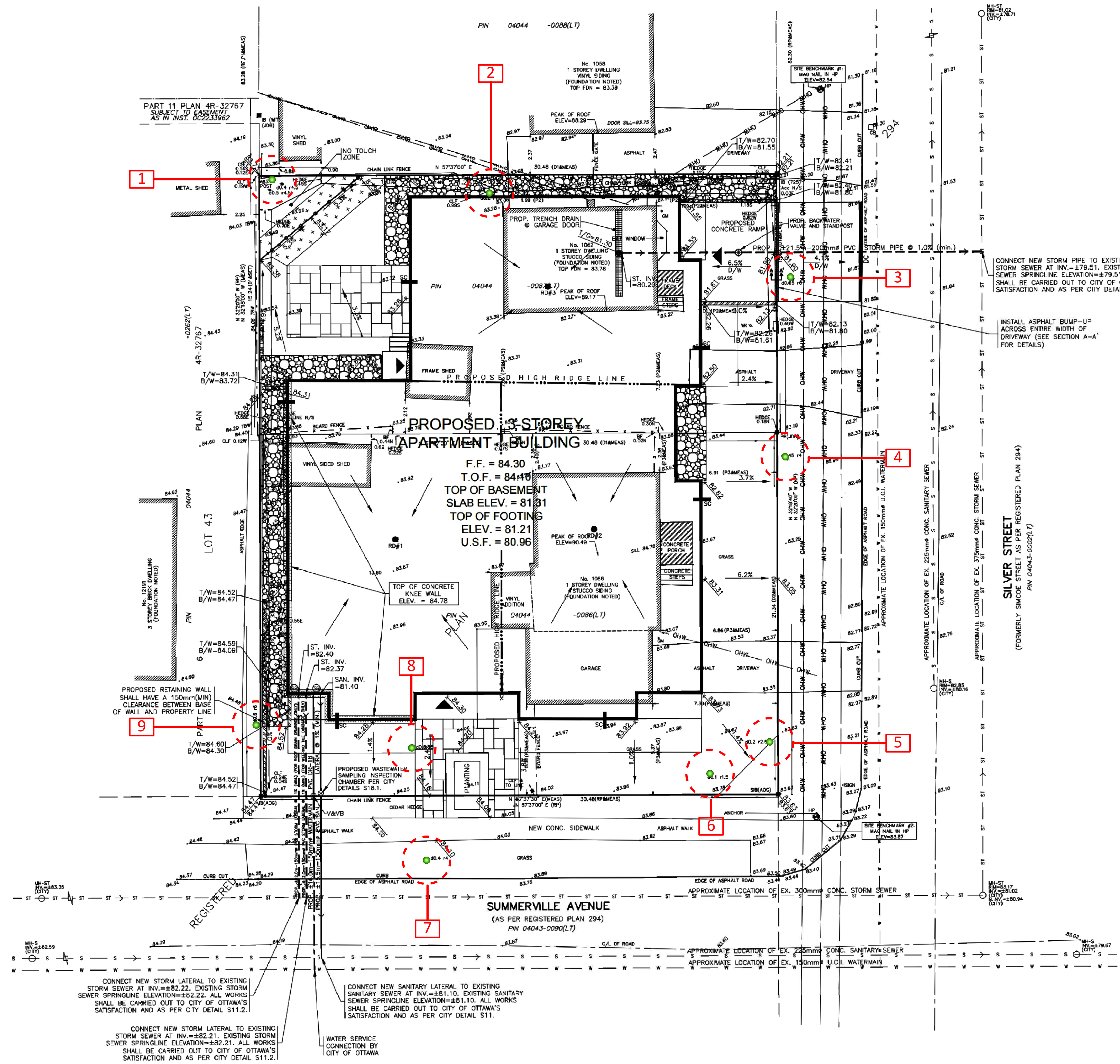
DRAWING: Tree Information Plan

PROJECT: PART OF LOT 31 REGISTERED PLAN 294 CITY OF OTTAWA



Andrew K. Boyd, R.P.F.

SCALE: 1:120
 DATE: 2021-07-16
 DRAWN BY: SS
 SHEET NO: 1



CONNECT NEW STORM LATERAL TO EXISTING STORM SEWER AT INV.=±82.22. EXISTING STORM SEWER SPRINGLINE ELEVATION=±82.21. ALL WORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION AND AS PER CITY DETAIL S11.2.

CONNECT NEW STORM LATERAL TO EXISTING STORM SEWER AT INV.=±82.21. EXISTING STORM SEWER SPRINGLINE ELEVATION=±82.21. ALL WORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION AND AS PER CITY DETAIL S11.2.

CONNECT NEW SANITARY LATERAL TO EXISTING SANITARY SEWER AT INV.=±81.10. EXISTING SANITARY SEWER SPRINGLINE ELEVATION=±81.10. ALL WORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION AND AS PER CITY DETAIL S11.

WATER SERVICE CONNECTION BY CITY OF OTTAWA

CONNECT NEW STORM PIPE TO EXISTING STORM SEWER AT INV.=±79.51. EXISTING STORM SEWER SPRINGLINE ELEVATION=±79.51. ALL WORKS SHALL BE CARRIED OUT TO CITY OF OTTAWA'S SATISFACTION AND AS PER CITY DETAIL S11.2.

INSTALL ASPHALT BUMP-UP ACROSS ENTIRE WIDTH OF DRIVEWAY (SEE SECTION A-A' FOR DETAILS)

SILVER STREET (FORMERLY SMOKE STREET AS PER REGISTERED PLAN 294) PIN 04044-0002(LT)

SUMMERVILLE AVENUE (AS PER REGISTERED PLAN 294) PIN 04043-0090(LT)

PART 11 PLAN 4R-32767 SUBJECT TO CASHEM#7 AS IN INST. 002533962

PIN 04044 -0088(LT)

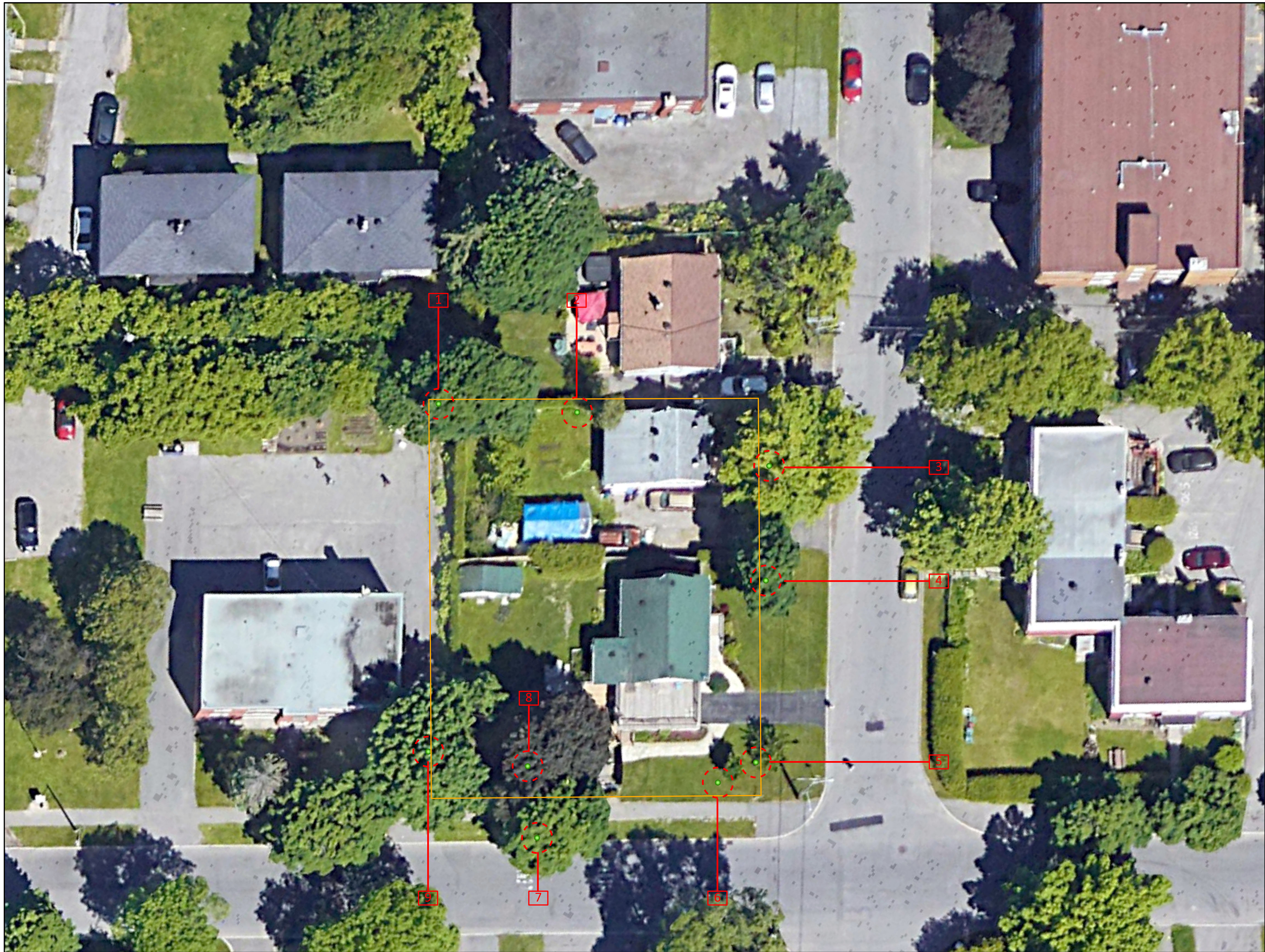
No. 1058 1 STOREY DWELLING VINYL SIDING (FOUNDATION NOTED) TOP FDN = 83.39

No. 1062 1 STOREY DWELLING STUCCO SIDING (FOUNDATION NOTED) TOP FDN = 83.78

No. 1056 1 STOREY DWELLING STUCCO SIDING (FOUNDATION NOTED) TOP FDN = 84.78

PROPOSED 3 STOREY APARTMENT BUILDING

F.F. = 84.30
 T.O.F. = 84.10
 TOP OF BASEMENT SLAB ELEV. = 81.31
 TOP OF FOOTING ELEV. = 81.21
 U.S.F. = 80.96



GENERAL NOTES
 Maxar, Microsoft

LEGEND
 ■ SUBJECT LANDS
 ● TREE



DRAWING:
 Tree Information Plan

PROJECT:
 PART OF LOT 31
 REGISTERED PLAN 294
 CITY OF OTTAWA



Andrew K. Boyd
 Andrew K. Boyd, R.P.F.

SCALE: 1:150	DRAWING NO.:
DATE: 2021-05-10	SILV
DRAWN BY: SS	
SHEET NO.:	

PROVINCIAL REGULATIONS

Provincial regulations are applicable to trees on private property. In particular, the Endangered Species Act (2007) mandates that tree species on the Species at Risk in Ontario (SARO) list be identified. Butternut (*Juglans cinerea*) is present in Eastern Ontario and is listed as threatened on the SARO. Because of this it is protected from harm. No trees of this species were identified on the subject property or nearby on adjacent properties.

TREE PRESERVATION AND PROTECTION MEASURES

Preservation and protection measures intended to mitigate damage during construction will be applied for the trees to be retained on and adjacent to the subject properties. The following measures are the minimum required by the City of Ottawa to ensure tree survival during and following construction:

1. As per the City of Ottawa's tree protection barrier specification, erect a fence as close as possible to the CRZ of the tree(s);
2. Do not place any material or equipment within the CRZ of the tree(s);
3. Do not attach any signs, notices or posters to any tree;
4. Do not raise or lower the existing grade within the CRZ without approval;
5. Tunnel or bore instead of trenching within the CRZ of any tree;
6. Do not damage the root system, trunk or branches of any tree;
7. Ensure that exhaust fumes from all equipment are NOT directed towards any tree's canopy.

¹ critical root zone (CRZ) is established as being 10 centimetres from the trunk of a tree for every centimetre of DBH. The CRZ is calculated as DBH x 10 cm.

This report is subject to the attached Limitations of Tree Assessments and Liability to which the reader's attention is directed.

Please do not hesitate to contact the undersigned with any questions concerning this report.

Yours,



Andrew K. Boyd, B.Sc.F, R.P.F. (#1828)
Certified Arborist #ON-0496A and TRAQualified
Consulting Urban Forester



Picture 1. Private tree #1 located at 1062 and 1066 Silver Street





Picture 2. City trees #3 and 4 located adjacent to 1062 and 1066 Silver Street



Picture 3. Trees #7 (right), #8 (centre) and #9 (left) located on or adjacent to 1062 and 1066 Silver Street



Picture 4. Privately owned trees #5 and 6 (right to left) at 1062 and 1066 Silver Street

LIMITATIONS OF TREE ASSESSMENTS & LIABILITY

GENERAL

It is the policy of *IFS Associates Inc.* to attach the following clause regarding limitations. We do this to ensure that our clients are clearly aware of what is technically and professionally realistic in assessing trees for retention.

This report was carried out by *IFS Associates Inc.* at the request of the client. The information, interpretation and analysis expressed in this report are for the sole benefit and exclusive use of the client. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the client to whom it is addressed. Unless otherwise required by law, neither all or any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through public relations, news or other media, without the prior expressly written consent of the author, and especially as to value conclusions, identity of the author, or any reference to any professional society or institute or to any initialed designation conferred upon the author as stated in his qualifications.

This report and any values expressed herein represent the opinion of the author; his fee is in no way contingent upon the reporting of a specified value, a stipulated result, nor upon any finding to be reported. Details obtained from photographs, sketches, *etc.*, are intended as visual aids and are not to scale. They should not be construed as engineering reports or surveys. Although every effort has been made to ensure that this assessment is reasonably accurate, the tree(s) should be reassessed at least annually. The assessment presented in this report is valid at the time of the inspection only. The loss or alteration of any part of this report invalidates the entire report.

LIMITATIONS

The information contained in this report covers only the tree(s) in question and no others. It reflects the condition of the assessed tree(s) at the time of inspection and was limited to a visual examination of the accessible portions only. *IFS Associates Inc.* has prepared this report in a manner consistent with that level of care and skill ordinarily exercised by members of the forestry and arboricultural professions, subject to the time limits and physical constraints applicable to this report. The assessment of the tree(s) presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above-ground portions of each tree for structural defects, scars, cracks, cavities, external indications of decay such as fungal fruiting bodies, evidence of insect infestations, discoloured foliage, the condition of any visible root structures, the degree and direction of lean (if any), the general condition of the tree(s) and the surrounding site, and the proximity of people and property. Except where specifically noted in the report, the tree(s) examined were not dissected, cored, probed or climbed to gain further evidence of their structural condition. Also, unless otherwise noted, no detailed root collar examinations involving excavation were undertaken.

While reasonable efforts have been made to ensure that the tree(s) proposed for retention are healthy, no warranty or guarantee, expressed or implied, are offered that these trees, or any parts of them, will remain standing. This includes other trees on or off the property not examined as part of this assignment. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree or groups of trees or their component parts in all circumstances, especially when within construction zones. Inevitably, a standing tree will always pose some risk. Most trees have the potential for failure in the event of root loss due to excavation and other construction-related impacts. This risk can only be eliminated through full tree removal.



Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly change over time. They are not immune to changes in site conditions, or seasonal variations in the weather. It is a condition of this report that *IFS Associates Inc.* be notified of any changes in tree condition and be provided an opportunity to review or revise the recommendations within this report. Recognition of changes to a tree's condition requires expertise and extensive experience. It is recommended that *IFS Associates Inc.* be employed to re-inspect the tree(s) with sufficient frequency to detect if conditions have changed significantly.

ASSUMPTIONS

Statements made to *IFS Associates Inc.* in regards to the condition, history and location of the tree(s) are assumed to be correct. Unless indicated otherwise, all trees under investigation in this report are assumed to be on the client's property. A recent survey prepared by a Licensed Ontario Land Surveyor showing all relevant trees, both on and adjacent to the subject property, will be provided prior to the start of field work. The final version of the grading plan for the project will be provided prior to completion of the report. Any further changes to this plan invalidate the report on which it is based. *IFS Associates Inc.* must be provided the opportunity to revise the report in relation to any significant changes to the grading plan. The procurement of said survey and grading plan, and the costs associated with them both, are the responsibility of the client, not *IFS Associates Inc.*

LIABILITY

Without limiting the foregoing, no liability is assumed by *IFS Associates Inc.* for: 1) any legal description provided with respect to the property; 2) issues of title and/or ownership with respect to the property; 3) the accuracy of the property line locations or boundaries with respect to the property; 4) the accuracy of any other information provided by the client or third parties; 5) any consequential loss, injury or damages suffered by the client or any third parties, including but not limited to replacement costs, loss of use, earnings and business interruption; and, 6) the unauthorized distribution of the report.

INDEMNIFICATION

An applicant for a permit or other approval based on this report shall agree to indemnify and save harmless *IFS Associates Inc.* from any and all claims, demands, causes of action, losses, costs or damages that affected private landowners and/or the City of Ottawa may suffer, incur or be liable for resulting from the issuance of a permit or approval based on this report or from the performance or non-performance of the applicant, whether with or without negligence on the part of the applicant, or the applicant's employees, directors, contractors and agents.

Further, under no circumstances may any claims be initiated or commenced by the applicant against *IFS Associates Inc.* or any of its directors, officers, employees, contractors, agents or assessors, in contract or in tort, more than 12 months after the date of this report.

ONGOING SERVICES

IFS Associates Inc. accepts no responsibility for the implementation of any or all parts of the report, unless specifically requested to supervise the implementation or examine the results of activities recommended herein. In the event that examination or supervision is requested, that request shall be made in writing and the details, including fees, agreed to in advance.