ONTARIO BUILDING CODE MATRIX

ltem		-	'ER STREET 1066 SILVER	-							OBC Refer	ence	
1	Project Desc	ription:	-Change of		New Addition		Part 11		Par			□Part 9	10.1.3.
			Use		Alteration					. 1			
2	Major Occup	, ()	Group C						3.1.2.1.	(1)		9.10.2.	
3	Building Area	. ,	Existing N/		1004 m ²	Tota	1001111	2	1.4.1.2.	[A]		1.1.1.2. [A]	
4	Gross Area (,	Existing N/		2957 m ²	Tota	2007 111	2	1.4.1.2.	[A]		1.1.1.2. [A]	
5	Number of S	tories	Above Grade	3		Belo	ow Grade 1		1.4.1.2.	[A] & 3.2.1.1.		1.1.1.2. [A] 8	\$ 9.10.4.
6	Height of Bui		+/-	11	m²								
7	Number of S	treets/ Fire F	ighter Access	:	2				3.2.2.10). & 3.2.5.		9.10.20.	
8	Building Clas	sification	3.2.2	.48. 0	вС				3.2.2.20)83		9.10.2.	
9	Sprinkler Sys	tem Propos	ed 💽	Entire Bui	ilding				3.2.2.20)83		9.10.8.2.	
			_		Compartment	S			3.2.1.5.				
				_	Floor Areas		e		3.2.2.17	.			
			-	∃Basemen]Not Requ		eu of i	roof rating		INDEX			INDEX	
			L										
10	Standpipe R				Yes		No		3.2.9.			N/A	
11	Fire Alarm R				✓Yes		No		3.2.4.			9.10.18.	
12	Water Servic	,	adequate		✓Yes		No		3.2.5.7.			N/A	
13	High Building				Yes		✓No		3.2.6.			N/A	
14	Permitted Co			ombustible	□Non-				3.2.2.20)83		9.10.6.	
	Actual Const		_	ombustible	□Non-	Com	bustible			(=) (=)			
15 16	Mezzanine(s Occupant loa		0	²/person			building		3.2.1.1.			9.10.4.1. 9.9.1.3.	
	TYP Floor (ADD'L Floo Total Occup	r (3RD): 2	0 Occupancy 8 Occupancy			28	B Person	s					
17	Barrier-free D	esign	√ Y€	es	No (Gr	ound	floor Only)		3.8.			9.5.2.	
18	Hazardous S	ubstances	∐ Ye	es -	No				3.3.1.2.	& 3.3.1.19		9.10.1.3. (4)	
19	Required Fire Resistance	Ho	orizontal Assemb FRR (Hours)	olies			sign No. ion (SB-2)		3.2.2.20)83 & 3.2.1.4	4.	9.10.8. 9.10.9.	
	Rating (FRR)	Floors	45 MIN	UTES	Fire	e Sep	aration						
		Betwe	en C and F-3	1HR									
		Roof	N/#	4									
		Mezza	nine 45 MIN	UTES									
		F	RR of Supporti Members	ng			sign No. ion (SB-2)						
		Floors	45 MINU	JTES	Fire	e Sep	aration						
		Betwe	en C and F-3	1HR									
		Roof	N/A										
		Mezza	nine 45 MINU	JTES									
20	Spatial Sepa	ration - Cons	struction of Exte	rior Walls					3.2.3.			9.10.14.	
	Wall	Area of EBF (m²)	L.D. (m)	L/H or H/L	Permitted Max % of		FRR (Hours)	Lis	ted gn or	Cons	truction	Cla	dding
					openings				ription	Comb.	NonComb.	Comb.	NonCom
	North					+		OBC	SB-				
	East					+		OBC					
			1		1								
	South							OBC :	SB-	\checkmark			

GENERAL NOTES

1. ALL WALLS TO BE CONTINUOUS FROM SLAB TO SLAB UNLESS NOTED OTHERWISE.
2. ALL INTERIOR CORRIDORS AND DEMISING WALLS BETWEEN SUITES TO BE TYPE W1 UNLESS OTHERWISE NOTED.
3. REFER TO FINISH SCHEDULE ON DRAWINGS. REPLACE GYPSUM BOARD WITH CEMENT BOARDS IN ALL AREAS HAVING CERAMIC TILE WALL FINISH.
4. INTERIOR STUD WALLS:PROVIDE TWO ROWS OF CONTINUOUS ACCOUSITC CAULKING AT STUD TRACK AT TOP OF SLAB, UNDERSIDE OF SLAB AND AT VERTICAL FACE WHERE STUDS ABUT STRUCTURE.
5. PIECEMEAL OF GYPSUM BOARD SHEETS IS NOT ACCEPTABLE.
6. INNER LAYERS OF GYPSUM BOARD SHOULD HAVE NO GAPS OVER 1/4".
7. INNER LAYERS OF GYPSUM BOARD SHOULD BE TAPED NOT SANDED.
8. JOINTS OF LAYERED GYPSUM BOARD SHOULD BE STAGGERED.
9. CAULK AT TOP AND BOTTOM OF WALLS AT EDGE OF GYPSUM BOARD PANELS.
10. PROVIDE CAULKING ROD BACKUP AT ANY GAP OVER 1/4".
11. ELECTRICAL BOXES ON OPPOSING FACES OF WALL SHALL BE LOCATED IN SEPARATE STUD CAVITIES.
12. RUN FIBERGLASS BATT INSULATION BEHIND AND AROUND ALL ELECTRICAL BOXES NO BACK TO BACK ELECTRICAL BOXES.
13. BACKING TO BE PROVIDED AT ALL MILLWORK LOCATIONS, TO BE COORDINATED ON SITE.
14. ALL PENETRATIONS THROUGH ACOUSTICAL RATED WALLS (PARTY WALLS AND CORRIDOR WALLS) MUST BE SEALED TIGHT WITH A COMBINATION OF JOINT COMPOUND AND ACOUSTICAL CAULK.
15. ALL PENETRATIONS THROUGH FIRERATED WALLS (PARTY WALLS, CORRIDOR WALLS, ETC) MUST BE SEALED TIGHT WITH A COMBINATION OF JOINT COMPOUND AND FIRE CAULK, TO ENSURE A CONTINUOUS FIRE RATING.
16. PROVIDE WOOD BLOCKING WITHIN WALL TO PROVIDE ANCHORAGE FOR CABINETS, WASHROOM ACCESSORIES, HAND RAILINGS, ETC. BLOCKING SHALL NOT LINK BOTH SIDES OF A WALL. PLYWOOD MAY BE USED AS BLOCKING ON THE INNER LAYER OF DOUBLE LAYER WALL ASSEMBLIES. 18GA METAL STRIPS IN 6" IN WIDTH & CONTINUOUS THROUGHOUT LENGTH OF BLOCKING REQUIREMENT MAY ALSO BE USED.
17. PROVIDE 3/4" DOUGLAS FIR PLYWOOD, GOOD ONE SIDE WITH FIRE RETARDANT PAINT, FOR MOUNTING OF ALL ELECTRICAL PANELS, CABLING, COMMUNICATION, BELL, AND SECURITY PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.
18. ALL OPENINGS FOR DOORS WITHIN CONCRETE BLOCK WALLS WITH EXPOSED BLOCK JAMBS SHALL HAVE EXPOSED JAMBS CONSTRUCTED USING BULLNOSE BLOCK.
19. THICKEN WALLS AS REQUIRED TO ACCOMMODATE ELECTRICAL PANELS & MECHANICAL ITEMS. CONTRACTOR TO CONFIRM CODE COMPLIANCE WITH ARCHITECT BEFORE SITE WORK BEGINS.
20. PROVIDE WALL ASSEMBLY ABOVE ALL DOORS, WINDOWS, GLAZED SCREENS & GLASS BLOCK SIMILAR TO ADJACENT WALL TYPE UP TO U/S OF STRUCTURAL SLAB ABOVE.
21. ALL EXPOSED CONCRETE TO BE ENCLOSED WITH 12.7mm GYPSUM BOARD ON 22mm FURRING CHANNELS UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.
22. FOR ASSEMBLIES REQUIRING TO CONFORM TO A LISTED ULC/UL RATING, MATERIALS WITHIN THE ASSEMBLY SHALL BE EXACTLY AS PER THE TESTED ASSEMBLY. ALL MATERIAL SHALL BE LABELED WITH ULC/UL IDENTIFICATION.
23. ALL ELECTRICAL SWITCHES ARE TO BE LOCATED BETWEEN 4"-8" FROM THE ENTRANCE DOOR TO A ROOM. LOCATE STUDS TO ACCOMMODATE THE LOCATION OF SWITCHES SHOWN ON ELECTRICAL DRAWINGS AND SUIT THE APPROVED SUITE MOCK-UP.
24. PROVIDE SCUPPERS AT EDGES OF ROOF WHERE OVER FLOW CONTROL ROOF DRAINS ARE SPECIFIED. CONFIRM LOCATIONS WITH ARCHITECT.
25. ALL FIRE DAMPER INSTALLATION TO BE PER MANUFACTURER INSTRUCTIONS - HVAC CONTRACTOR TO COORDINATE ON SITE WITH DRYWALL/FRAMING CONTRACTOR TO ENSURE INSTALLATION INSTRUCTIONS ARE FOLLOWED EXACTLY.
26. PROVIDE ALL CLOSETS WITH MINIMUM 1 FULL WIDTH SHELF 12" DEEP AND WITH ONE FULL WIDTH HANGER ROD.

PANELS. ED IN SEPARATE STUD CAVITIES. RICAL BOXES. - NO BACK TO BACK ELECTRICAL BOXES. ORDINATED ON SITE. ALLS AND CORRIDOR WALLS) MUST BE SEALED TIGHT WITH A RRIDOR WALLS, ETC) MUST BE SEALED TIGHT WITH A COMBINATION OF OR CABINETS, WASHROOM ACCESSORIES, HAND RAILINGS, ETC. JSED AS BLOCKING ON THE INNER LAYER OF DOUBLE LAYER WALL HOUT LENGTH OF BLOCKING REQUIREMENT MAY ALSO BE USED. TARDANT PAINT, FOR MOUNTING OF ALL ELECTRICAL PANELS, CABLING, DRAWINGS FOR LOCATIONS. POSED BLOCK JAMBS SHALL HAVE EXPOSED JAMBS CONSTRUCTED ELS & MECHANICAL ITEMS. CONTRACTOR TO CONFIRM CODE CREENS & GLASS BLOCK SIMILAR TO ADJACENT WALL TYPE UP TO U/S OARD ON 22mm FURRING CHANNELS UNLESS NOTED OTHERWISE ON ING, MATERIALS WITHIN THE ASSEMBLY SHALL BE EXACTLY AS PER THE ENTIFICATION. OM THE ENTRANCE DOOR TO A ROOM. LOCATE STUDS TO DRAWINGS AND SUIT THE APPROVED SUITE MOCK-UP. L ROOF DRAINS ARE SPECIFIED. CONFIRM LOCATIONS WITH CTIONS - HVAC CONTRACTOR TO COORDINATE ON SITE WITH ONS ARE FOLLOWED EXACTLY. AND WITH ONE FULL WIDTH HANGER ROD. 27. ANY WASHROOM WALLS ADJACENT TO LIVING SPACES/PUBLIC AREAS ARE TO HAVE SOUND ATTENUATING BATT INSULATION -ULC APPROVED- IN THE STUD CAVITIES (TO FILL CAVITY). 28. ALL STEEL STUDS TO BE FRAMED @ 400mm o/c U.N.O ON PLAN. 29. ALL STEEL STUDS ARE TO EXTEND TO UNDERSIDE OF CONC. SLAB U.N.O.

ACT AFF ALUM ARCH ASSY BD BG BLDG CB CC CJ CL CLG CLR COL CONC CPT CR СТ CW DIM DO EL ELEC ELEV EIFS SYSTEM EP EQ ES EXP EXT FA FD FEC FHC FIN FL FRR GLASS/ GLAZING GRAB BAR GYPSUM WALLBOARD GL GB GYP HM HWT INT HOLLOW METAL HOT WATER TANK INTERIOR JOINT LIGHTING MAXIMUM MECHANICAL MEDICINE CABINET JT LTG MAX MECH MC MINIMUM NATIONAL BUILDING CODE MIN NBC NO NUMBER NOT TO SCALE NTS OC OH PLAM PSF PVC RCP RD REINF REQD RWL S ON CENTER OVERHEAD PRESSURE TREATED PLASTIC LAMINATE PRESSED STEEL FRAME POLY VINYL CHLORIDE REFLECTED CEILING PLAN ROOF DRAIN REINFORCED REQUIRED RAIN WATER LEADER SHOWER SIMILAR STAINLESS STEEL SIM SS T/O TYP U/S VCT VEST TOP OF TYPICAL UNDERSIDE VINYL COMPOSITION TILE VESTIBULE

ACOUSTIC CEILING TILE ABOVE FINISH FLOOR ALUMINUM ASSEMBLY BOARD BUILDING GRADE BUILDING CATCH BASIN CENTER TO CENTER CONTROL JOINT CENTER LINE CEILING CLEAR COLUMN CONCRETE CARPET CARD READER CERAMIC TILE CURTAIN WALL DIMENSION HANDICAP DOOR OPERATOR ELEVATION ELECTRICAL ELEVATOR EXTERIOR INSULATED & FINISH ELECTRICAL PANEL EQUAL EMERGENCY SCUPPER EXPOSED EXTERIOR FIRE ALARM FLOOR DRAIN FIRE EXTINGUISHER CABINET FIRE HOSE CABINET FINISH FLOOR FIRE RISISTANCE RATING

LIST OF ABBREVIATIONS

DRAWING SY	MBOL	<u>.S</u>			
SECTION CUT					
	DRAWING NUMBER				
	ROOM NUMBER				
ROOM TAG					
	ROOM NA				
	ROOM NU				
DOOR TAG					
	DOOR NUMBER				
WINDOW TAG					
	(B) (M) (S) (T)	-BASEMENT -MAIN FLOOR -SECOND FLOOR -THIRD FLOOR		(#)	-WINDOW №.
CONSTRUCTION ASSEMBL	Y				
	(W) (EW) (P) (F) (R)	-WALL -EXISTING WALL -PARTITION -FLOOR -ROOF	(#)	-ASSEME	SLY No.
POINT ELEVATION FAG					
1000	ELEVATIO HEIGHT	ON			
ELEVATION TAG					
	ELEVATIO	ON HEIGHT			
	NAME OF	ELEVATION			
REVISION					
	REVISION	N LOCATION AND NU	MBER		
GRID					
TAG					
	GRID NUMBER				
CALLOUT TAG					
	DRAWING SHEET N	G NUMBER UMBER			

POWER-TEK ROUP NOTES:

1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS. 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.

3) DO NOT SCALE DRAWINGS.

4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY

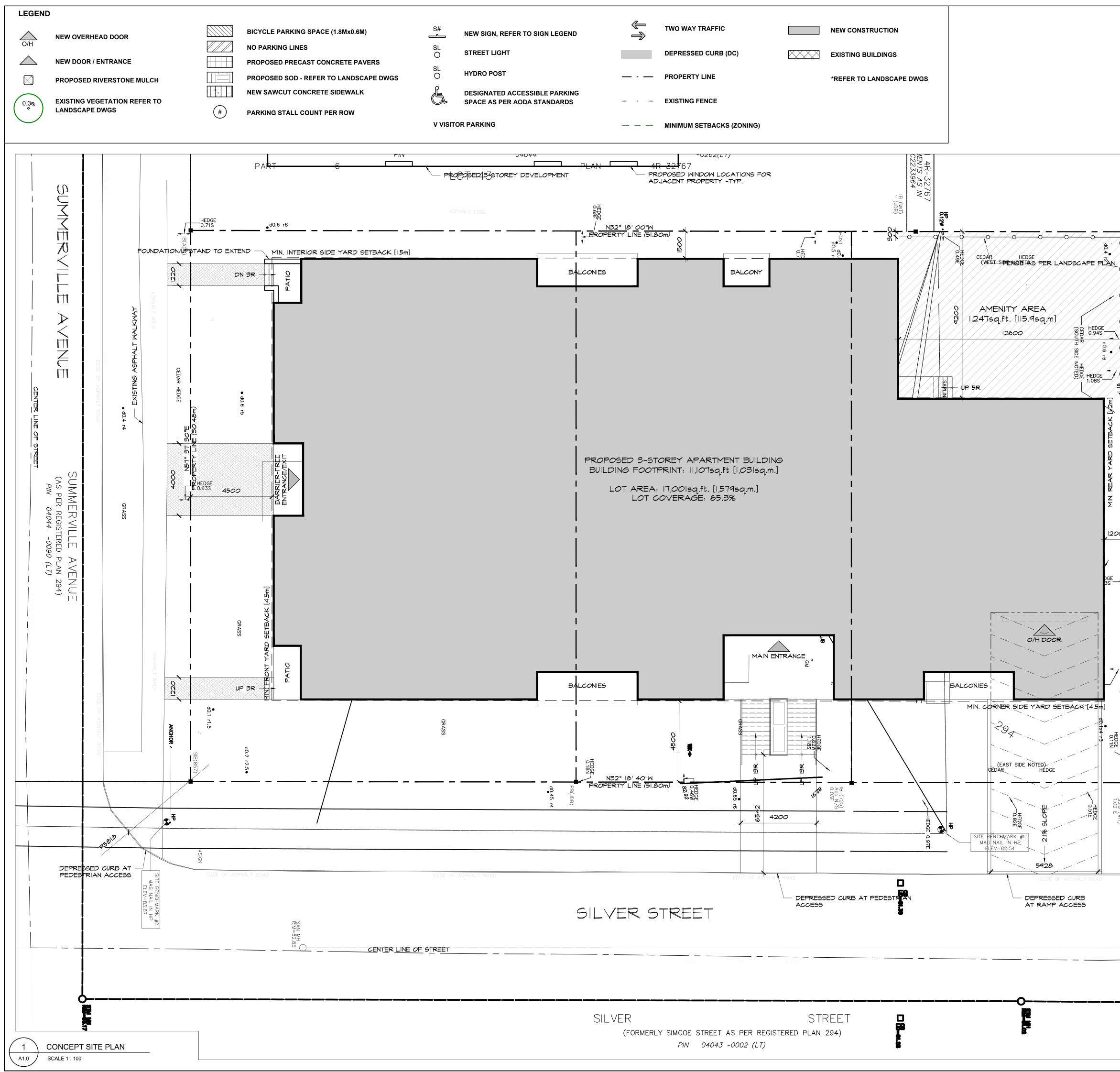
5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

SHEET INDEX:

Sheet List	
Sheet Name	Sheet Number
COVER SHEET	A0.0
GENERAL NOTES AND SPECS	A0.1
SITE PLAN	A1.0
BASEMENT PLAN	A2.0
GROUND FLOOR PLAN	A2.1
SECOND FLOOR PLAN	A2.2
THIRD FLOOR PLAN	A2.3
ROOF PLAN	A2.4
REFLECTED CEILING GROUND FLOOR PLAN	A3.0
BUILDING SECTIONS	A5.0
WALL SECTIONS	A6.0
DETAILS	A7.0
BUILDING SCHEDULES	A8.0

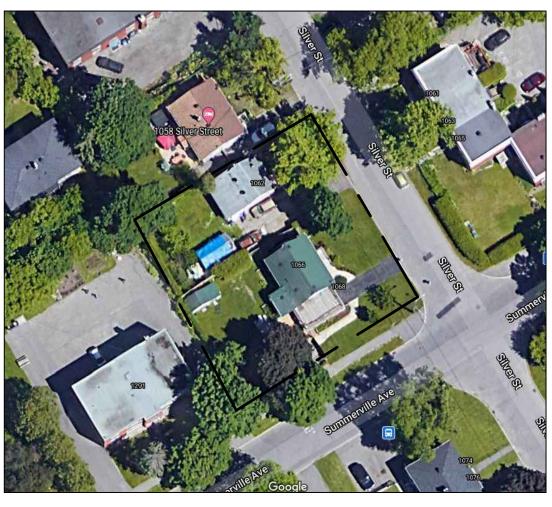
TYPICAL DETAILS:





SILVE	ER						STI	REET
	(FORMERLY	SIMCOE	STREET	AS F	PER	REGISTERED	PLAN	294)
		PIN	04043	-00	02 (ĹΤ)		





KEY PLAN

300

1200

BUILDING AREAS

	CONSTRUCTION AREA (SQ.M)	CONSTRUCTION AREA (SQ.FT)
LOWER LEVEL		
GROUND FLOOR LEVEL	1004 sq.m	10,817 sq.ft
SECOND FLOOR LEVEL	1004 sq.m	10,817 sq.ft
THIRD FLOOR LEVEL	949 sq.m	10,215 sq.ft
TOTAL	2,957 sq.m	31,849 sq.ft

BUILDING FLOOR STATISTICS - RENTAL APARTMENT

FLOOR	SUITES	2 BEDROOM	1 BEDROOM + DEN	1 BEDROOM
LOWER LEVEL	-	-	-	-
GROUND FLOOR	10	4	5	1
SECOND FLOOR	11	4	5	2
THIRD FLOOR	11	3	6	2
TOTAL	32	11	16	5
SUITE MIX		35%	50%	15%
	-	-		

CITY OF OTTAWA ZONING BY-LAW

ZONING PROVISIONS	REQUIRED	PROPOSED
R4UC		
MIN. LOT AREA	450 sq.m	confirm
MAX. LOT AREA	1070 sq.m	1580 sq.m
MIN. LOT WIDTH	15m	30.5m
MAX. LOT WIDTH	15m	46m
MIN. INTERIOR YARD AREA	9.2m x 12.58m	9.2m x 12.58m
MIN. FRONT YARD SETBACK	4.5m	4.5m
MIN. CORNER SIDE YARD SETBACK 4.5m		4.5m
MIN. INTERIOR SIDE YARD SETBACK 1.5m		1.6m
MIN. REAR YARD SETBACK	1.2m	1.35m
MIN. INTERIOR YARD SETBACK	CONFIRM	CONFIRM
MAX BUILDING HEIGHT	11M	11M
AMENITY AREA	40% OF FRONT YARD. 30% OF LOT AREA, 50% OF REAR YARD	70% OF FRONT YARD. 36.4% OF LOT AREA, 100% OF REAR YARD
LOT COVERAGE	N/A	63.6%
	•	

AUTOMOBILE PARKING SUMMARY

REQUIRED PAR	KING	REQUIRED	PROPOSED	S.J.LAWRENCE ARCHITECT INCORPORATED
RESIDENT PARK	KING	0.5/UNIT (AFTER 12) X 20 = 10 SPACES	19	18 DEAKIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7
VISITOR PARKIN	IG	0.1/UNIT (AFTER 12) X 20 = 2 SPACES	2	T: (613) 739.7770 F: (613) 739.7703 sjl@sjlarchitect.com
TOTAL		12	21	THIS DRAWING IS THE SOLE PROP S.J. LAWRENCE ARCHITECT INCOR REPRODUCTION IS NOT PERMI
ACCESSIBL	E PARKING SUM	MARY		PROJECT: SILVER STREET DEVELOPMENT
		REQUIRED	PROPOSED	1062 & 1066 SILVER STREET, OTTAWA ON
REGULAR	MIN. 2.6mx5.2m	11	20	SITE PLAN
ACCESSIBLE	TYPE B 2.4mx5.2m	1	1	
TOTAL		12	21	DRAWN BY: R.R.
				PLOT DATE:

BICYCLE PARKING SUMMARY

BICYCLE PARKING SUMMARY	ſ		PLOT DATE: 2022-03-30 4:07:44 PM	
			JOB NUMBER:	SCALE:
REQUIRED PARKING	REQUIRED	PROPOSED	SL-1046-21	As indicated
BIKE PARKING	0.5/UNIT X 32 = 16 SPACES	32		A1.0



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NOTES

5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

NORTH ARROW:

2022.03.30 RE-ISSUED FOR SPC 2022.03.25 ISSUED FOR SPC

2021.06.08 ISSUED FOR REVIEW

2021.05.27 ISSUED FOR REVIEW

REVISION

LAWRENCE

ARCHITEC

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INCORPORATED

CHECKED BY: B.L.

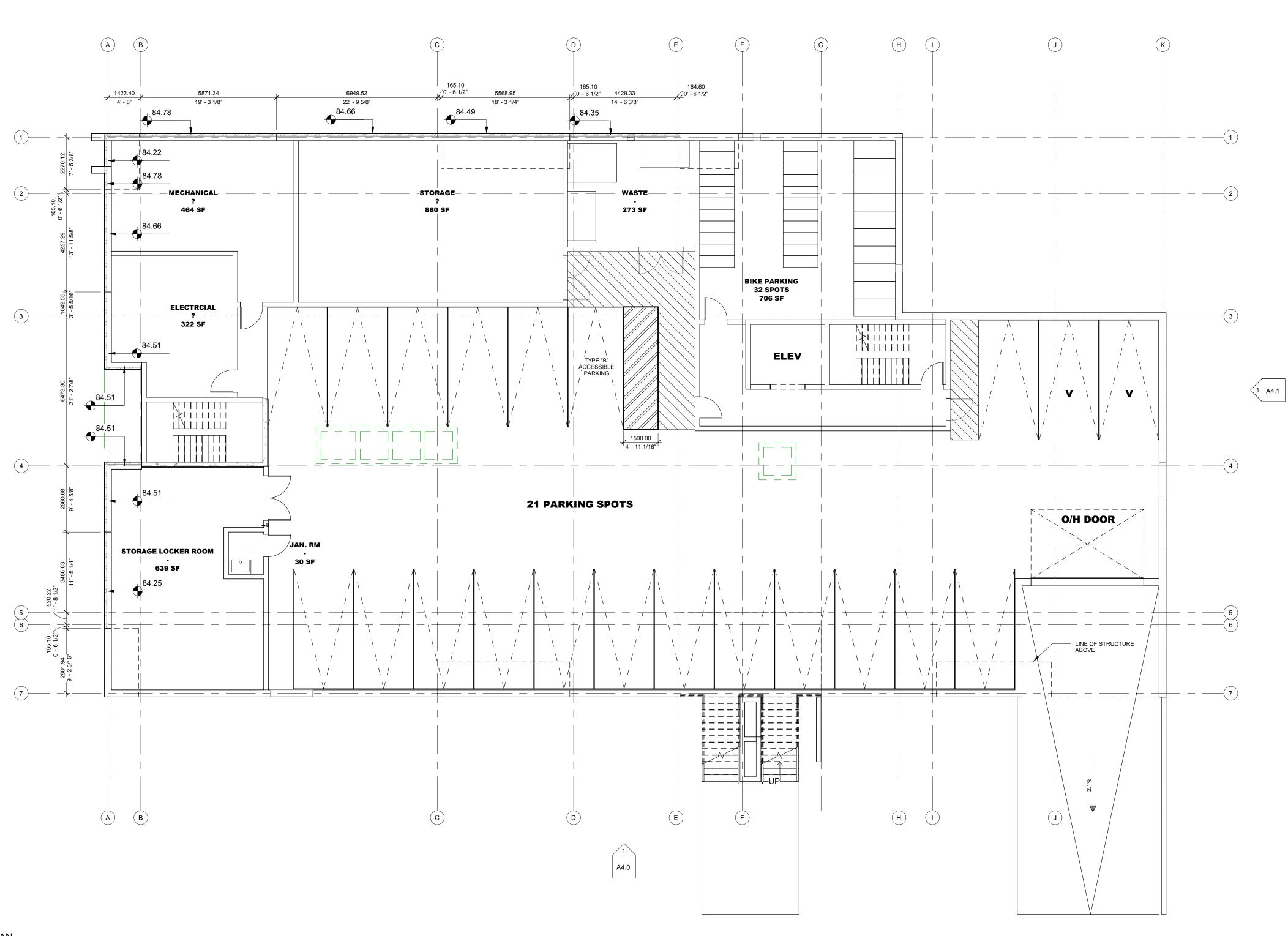
o. DATE

2022.03.16 ISSUED FOR COORDINATION

2022.03.10 ISSUED FOR COORDINATION

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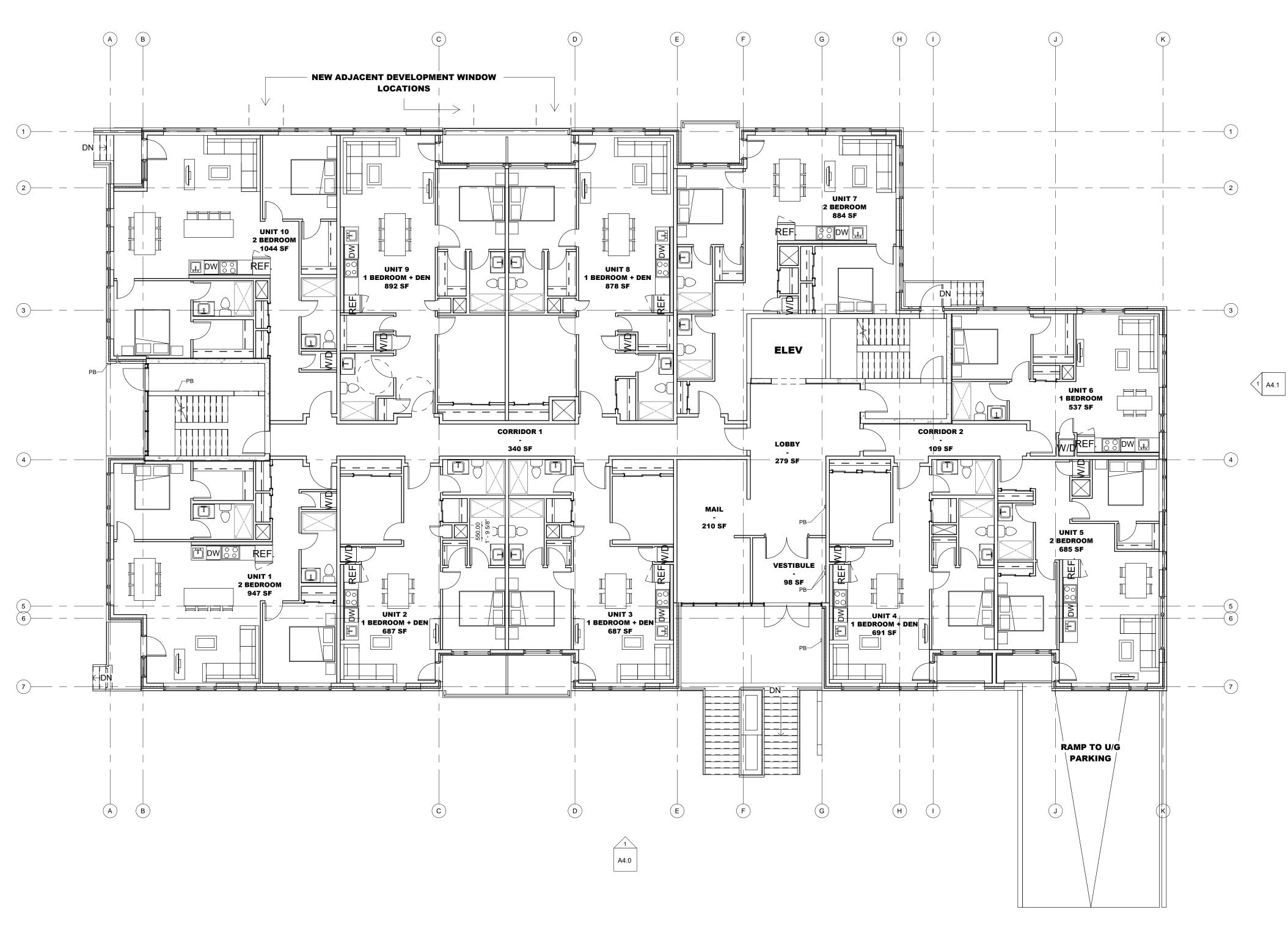


A4.1 2

A4.0

-		POWER-TEK GROUP
	CODES, REGULAT 2) ADDITIONAL DF CLARIFICATION T SUCH DRAWINGS INTENT AS IF THE CONTRACT DOCL 3) DO NOT SCALE 4) ALL SUB-CONT MEASUREMENTS ACCURACY 5) NOTIFY SHAWN ERRORS AND/OR	DRAWINGS. RACTORS TO TAKE THEIR OWN ON- AND BE RESPONSIBLE FOR THEIR I J. LAWRENCE ARCHITECT FOR ANY OMISSIONS PRIOR TO START OF WORK.
	1. T/O OF ALL F EXCEPT AS IND PLAN.	OUNDATION WALLS @ 84.10 TYP. ICATED ON BASEMENT CONCEPT
-		NORTH ARROW:
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-	05     2022.03.25       04     2022.03.16       03     2022.03.10       02     2021.06.08       01     2021.05.27	ISSUED FOR SPC ISSUED FOR COORDINATION ISSUED FOR COORDINATION ISSUED FOR REVIEW ISSUED FOR REVIEW REVISION
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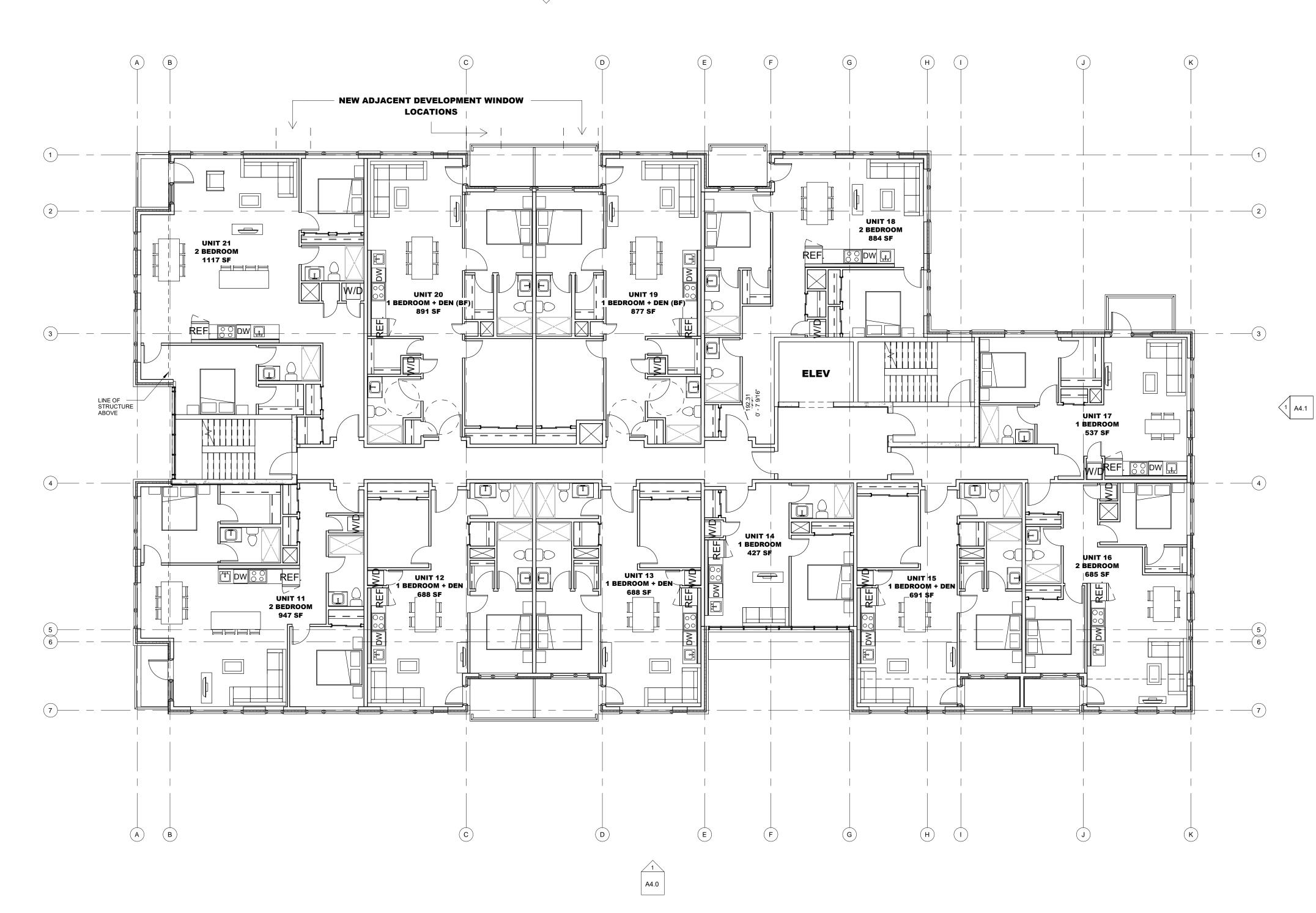
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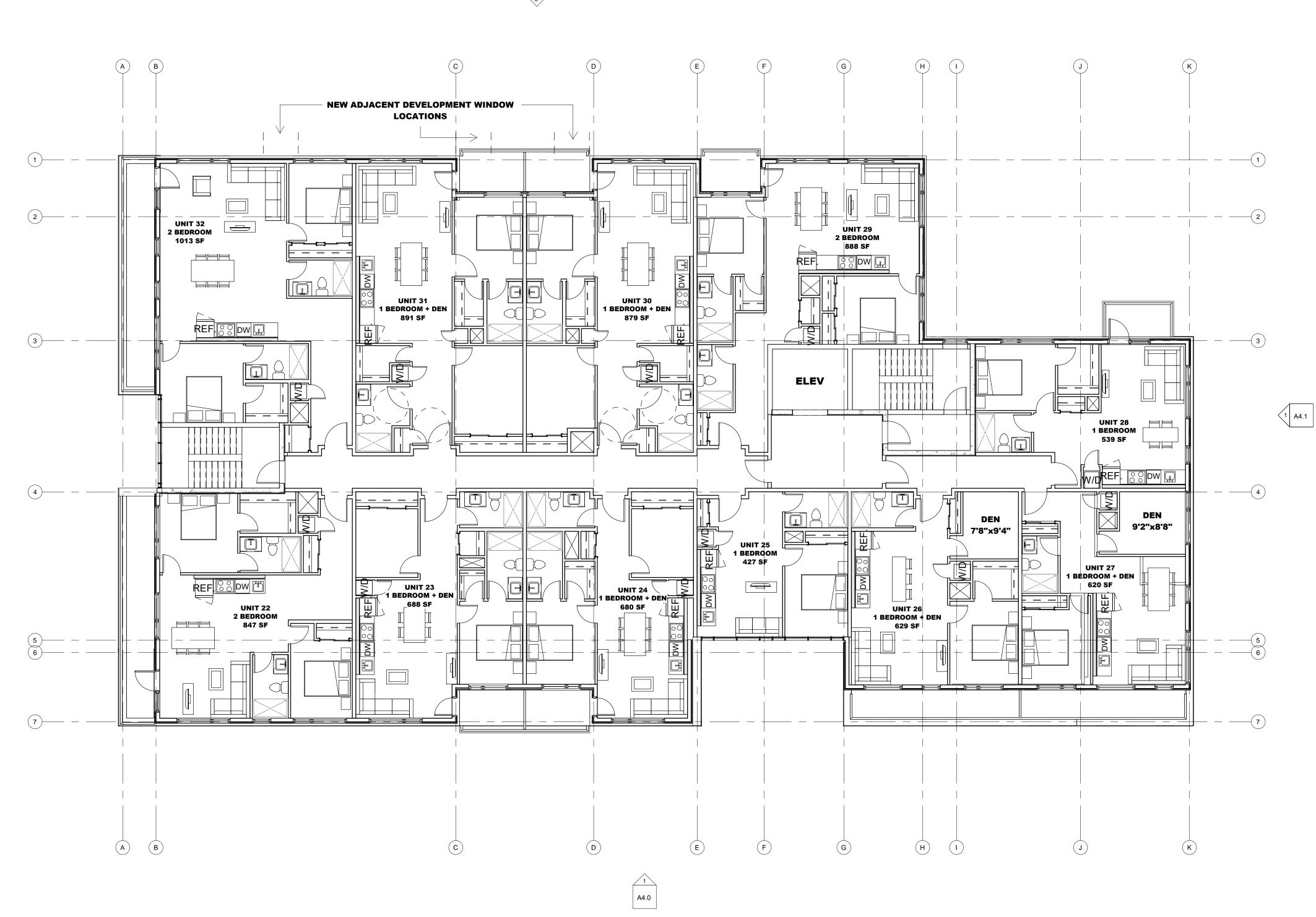


1 SECOND FLOOR CONCEPT PLAN A2.2 SCALE 1:100

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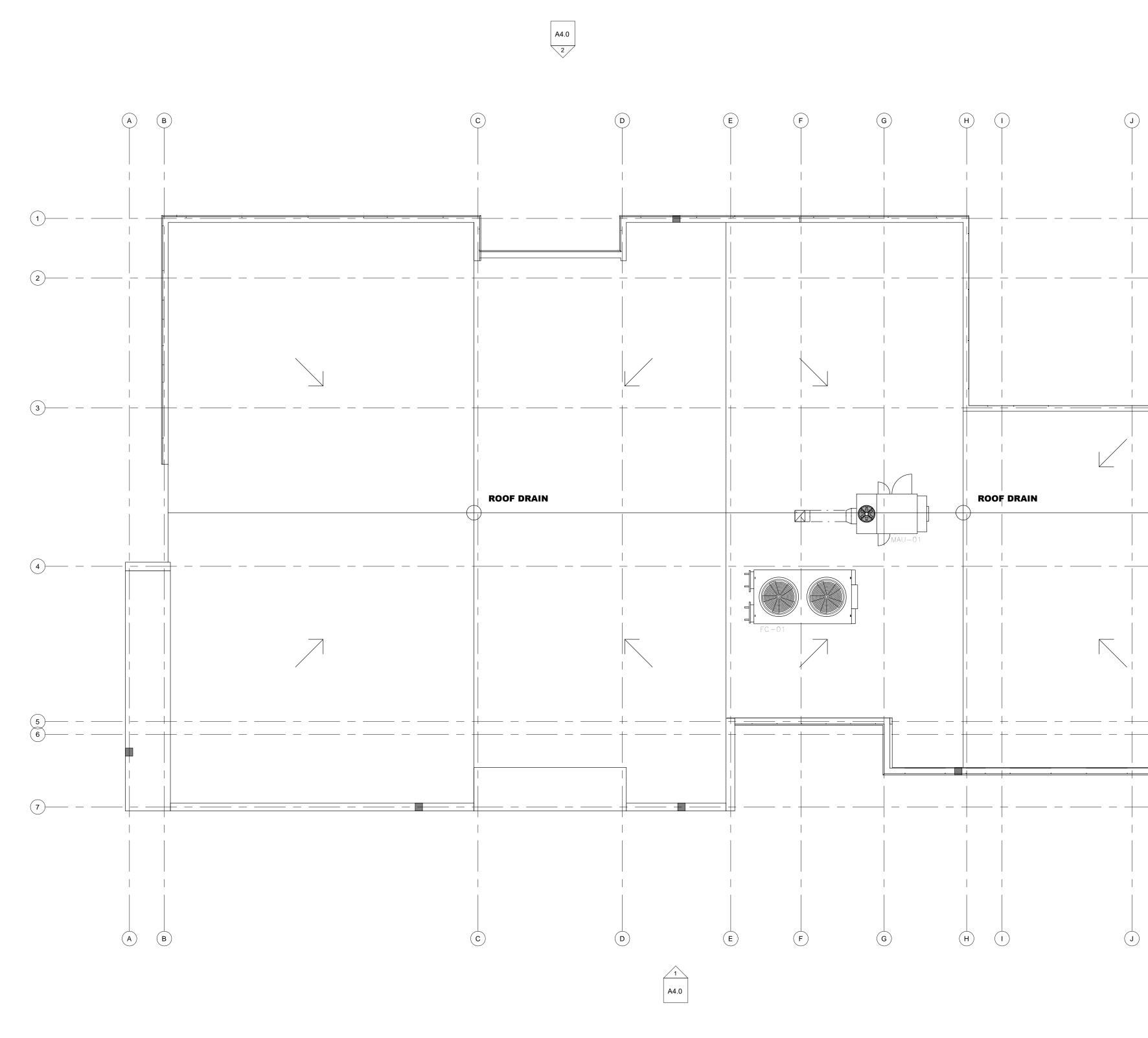


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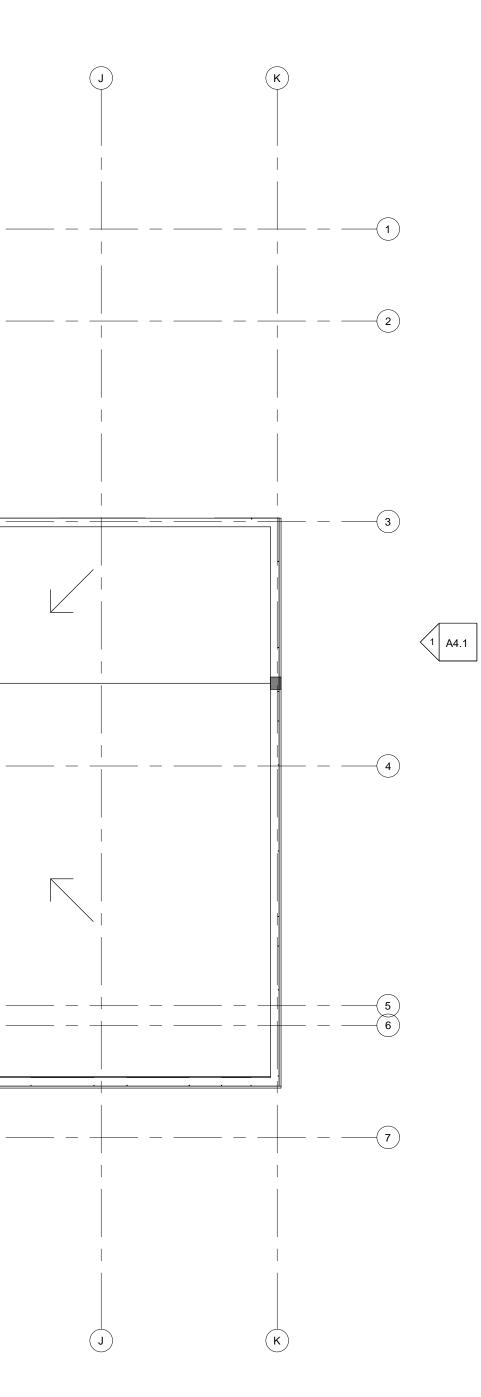
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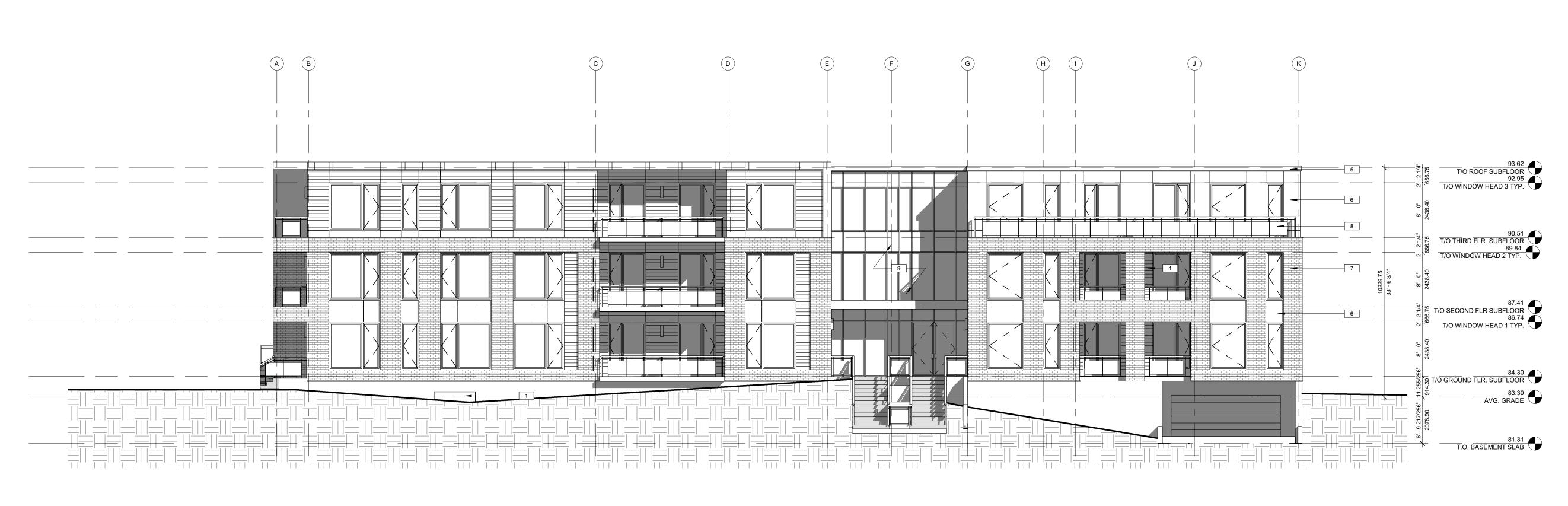


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25       2022.03.25       ISSUED FOR SPC         24       2022.03.16       ISSUED FOR COORDINATION         23       2022.03.10       ISSUED FOR COORDINATION         24       2021.06.08       ISSUED FOR REVIEW         25       2021.05.27       ISSUED FOR REVIEW         26       2021.05.27       ISSUED FOR REVIEW         27       2021.05.27       ISSUED FOR REVIEW         28       DATE       REVISION         SULAWRENCE ARCHITECT SULTE 205 OTTAWA, ONTARIO K2E 887         T: (613) 739.7770 F: (613) 739.7770 F: (613) 739.7703 sji@sjiarchitect.com         THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED REPRODUCTION IS NOT PERMITTED         PROJECT:         SULVER STREET OUTCON IS NOT PERMITTED         SULVER STREET OUTCON IS NOT PERMITTED         Intel SULVER STREET, OTTAWA ON         SULVER STREET, OTTAWA ON         SCHEMATIC ELEVATIONS         CHECKED RR         CHECKED RR         CHECKED RR         CHECKED RR         CHECKED RR		
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S.J.LAWRENCE ARCHITECT INCORPORATED 18 DEAKIN STREET SUITAWA, ONTARIO K2E 887 T: (613) 739.770 5; (613) 739.7703 sjl@sjlarchitect.com THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED REPRODUCTION IS NOT PERMITTED PROJECT: SILVER STREET DEVELOPMENT 1062 & 1066 SILVER STREET, OTTAWA ON SHEET TITLE: SCHEMATIC ELEVATIONS DRAWN BY: R.R. CHECKED E B.L. PLOT DATE:	ISSUED FOR SPA ISSUED FOR CO ISSUED FOR CO	OR SPC SPC COORDINATION COORDINATION
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