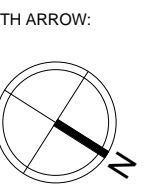


NOTES:  
 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.  
 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.  
 3) DO NOT SCALE DRAWINGS.  
 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.  
 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



**ONTARIO BUILDING CODE MATRIX**

Item	SILVER STREET DEVELOPMENT 1062 & 1066 SILVER STREET, OTTAWA, ON.		OBC Reference								
1	Project Description:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	<input type="checkbox"/> Part 11 <input checked="" type="checkbox"/> Part 3 <input type="checkbox"/> Part 9	11.1 to 11.4 1.1.2. [A] 1.1.2. [A] & 9.10.3.							
2	Major Occupancy (s)	Group C	3.1.2.1. (1)	9.10.2.							
3	Building Area (m <sup>2</sup> )	Existing N/A New 1004 m <sup>2</sup> Total 1004 m <sup>2</sup>	1.4.1.2. [A]	1.1.1.2. [A]							
4	Gross Area (m <sup>2</sup> )	Existing N/A New 2957 m <sup>2</sup> Total 2957 m <sup>2</sup>	1.4.1.2. [A]	1.1.1.2. [A]							
5	Number of Stories	Above Grade 3 Below Grade 1	1.4.1.2. [A] & 3.2.1.1.	1.1.1.2. [A] & 9.10.4.							
6	Height of Building (m)	+/- 11 m <sup>2</sup>									
7	Number of Streets/ Fire Fighter Access	2	3.2.2.10. & 3.2.5.	9.10.20.							
8	Building Classification	3.2.2.48. OBC	3.2.2.20. - .83	9.10.2.							
9	Sprinkler System Proposed	<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> Not Required	3.2.2.20. - .83 3.2.1.5. 3.2.2.17. INDEX	9.10.8.2.  INDEX							
10	Standpipe Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9.	N/A							
11	Fire Alarm Required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4.	9.10.18.							
12	Water Service/ Supply is adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7.	N/A							
13	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6.	N/A							
14	Permitted Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Actual Construction <input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible	3.2.2.20. - .83	9.10.6.							
15	Mezzanine(s) Area (m <sup>2</sup> )	0	3.2.1.1. (3)-(8)	9.10.4.1.							
16	Occupant load based on	<input type="checkbox"/> m <sup>2</sup> /person <input checked="" type="checkbox"/> Design of building	3.1.1.7.	9.9.1.3.							
	1st Floor:	28 Occupancy Group C Load 28 Persons									
	TYP Floor (2ND):	30 Occupancy Group C Load 30 Persons									
	ADDL Floor (3RD):	28 Occupancy Group C Load 28 Persons									
	Total Occupant Load	Load 86 Persons									
17	Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Ground floor only)	3.8.	9.5.2.							
18	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2. & 3.3.1.19	9.10.1.3. (4)							
19	Required Fire Resistance Rating (FRR)	Horizontal Assemblies: 45 MINUTES Between C and F-3: 1HR Roof: N/A Mezzanine: 45 MINUTES FRR of Supporting Members: 45 MINUTES Between C and F-3: 1HR Roof: N/A Mezzanine: 45 MINUTES	Listed Design No. or Description (SB-2) Listed Design No. or Description (SB-2)	3.2.2.20. .83 & 3.2.1.4. 9.10.8. 9.10.9.							
20	Spatial Separation - Construction of Exterior Walls		3.2.3.	9.10.14.							
	Will	Area of EBF (m <sup>2</sup> )	L.D. (m)	L/H or H/L	Permitted Max % of openings	FRR (Hours)	Listed Design or Description	Construction		Cladding	
	North						OBC SB-	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	East						OBC SB-	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	South						OBC SB-	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	West						OBC SB-	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**GENERAL NOTES**

- ALL WALLS TO BE CONTINUOUS FROM SLAB TO SLAB UNLESS NOTED OTHERWISE.
- ALL INTERIOR CORRIDORS AND DEMISING WALLS BETWEEN SUITES TO BE TYPE W1 UNLESS OTHERWISE NOTED.
- REFER TO FINISH SCHEDULE ON DRAWINGS. REPLACE GYPSUM BOARD WITH CEMENT BOARDS IN ALL AREAS HAVING CERAMIC TILE WALL FINISH.
- INTERIOR STUD WALLS: PROVIDE TWO ROWS OF CONTINUOUS ACOUSTIC CAULKING AT STUD TRACK AT TOP OF SLAB, UNDERSIDE OF SLAB AND AT VERTICAL FACE WHERE STUDS ABUT STRUCTURE.
- PIECEMEAL OF GYPSUM BOARD SHEETS IS NOT ACCEPTABLE.
- INNER LAYERS OF GYPSUM BOARD SHOULD HAVE NO GAPS OVER 1/4".
- INNER LAYERS OF GYPSUM BOARD SHOULD BE TAPED NOT SANDED.
- JOINTS OF LAYERED GYPSUM BOARD SHOULD BE STAGGERED.
- CAULK AT TOP AND BOTTOM OF WALLS AT EDGE OF GYPSUM BOARD PANELS.
- PROVIDE CAULKING ROD BACKUP AT ANY GAP OVER 1/4".
- ELECTRICAL BOXES ON OPPOSING FACES OF WALL SHALL BE LOCATED IN SEPARATE STUD CAVITIES.
- RUN FIBERGLASS BATT INSULATION BEHIND AND AROUND ALL ELECTRICAL BOXES. - NO BACK TO BACK ELECTRICAL BOXES.
- BACKING TO BE PROVIDED AT ALL MILLWORK LOCATIONS, TO BE COORDINATED ON SITE.
- ALL PENETRATIONS THROUGH ACOUSTICAL RATED WALLS (PARTY WALLS AND CORRIDOR WALLS) MUST BE SEALED TIGHT WITH A COMBINATION OF JOINT COMPOUND AND ACOUSTICAL CAULK.
- ALL PENETRATIONS THROUGH FRERATED WALLS (PARTY WALLS, CORRIDOR WALLS, ETC) MUST BE SEALED TIGHT WITH A COMBINATION OF JOINT COMPOUND AND FIRE CAULK, TO ENSURE A CONTINUOUS FIRE RATING.
- PROVIDE WOOD BLOCKING WITHIN WALL TO PROVIDE ANCHORAGE FOR CABINETS, WASHROOM ACCESSORIES, HAND RAILINGS, ETC. BLOCKING SHALL NOT LINK BOTH SIDES OF A WALL. PLYWOOD MAY BE USED AS BLOCKING ON THE INNER LAYER OF DOUBLE LAYER WALL ASSEMBLIES. 1/8" METAL STRIPS IN 4" IN WIDTH & CONTINUOUS THROUGHOUT LENGTH OF BLOCKING REQUIREMENT MAY ALSO BE USED.
- PROVIDE 3/4" DOUGLAS FIR PLYWOOD, GOOD ONE SIDE WITH FIRE RETARDANT PAINT, FOR MOUNTING OF ALL ELECTRICAL PANELS, CABLING, COMMUNICATION, BELL, AND SECURITY PANELS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.
- ALL OPENINGS FOR DOORS WITHIN CONCRETE BLOCK WALLS WITH EXPOSED BLOCK JAMBS SHALL HAVE EXPOSED JAMBS CONSTRUCTED USING BULLNOSE BLOCK.
- THICKER WALLS AS REQUIRED TO ACCOMMODATE ELECTRICAL PANELS & MECHANICAL ITEMS. CONTRACTOR TO CONFIRM CODE COMPLIANCE WITH ARCHITECT BEFORE SITE WORK BEGINS.
- PROVIDE WALL ASSEMBLY ABOVE ALL DOORS, WINDOWS, GLAZED SCREENS & GLASS BLOCK SIMILAR TO ADJACENT WALL TYPE UP TO US OF STRUCTURAL SLAB ABOVE.
- ALL EXPOSED CONCRETE TO BE ENCLOSED WITH 12.7mm GYPSUM BOARD ON 22mm FURRING CHANNELS UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.
- FOR ASSEMBLIES REQUIRING TO CONFORM TO A LISTED UL/CUL RATING, MATERIALS WITHIN THE ASSEMBLY SHALL BE EXACTLY AS PER THE TESTED ASSEMBLY. ALL MATERIAL SHALL BE LABELLED WITH UL/CUL IDENTIFICATION.
- ALL ELECTRICAL SWITCHES ARE TO BE LOCATED BETWEEN 4"-8" FROM THE ENTRANCE DOOR TO A ROOM. LOCATE STUDS TO ACCOMMODATE THE LOCATION OF SWITCHES SHOWN ON ELECTRICAL DRAWINGS AND SUIT THE APPROVED SUITE MOCK-UP.
- PROVIDE SCUPPERS AT EDGES OF ROOF WHERE OVER FLOW CONTROL ROOF DRAINS ARE SPECIFIED. CONFIRM LOCATIONS WITH ARCHITECT.
- ALL FIRE DAMPER INSTALLATION TO BE PER MANUFACTURER INSTRUCTIONS - HVAC CONTRACTOR TO COORDINATE ON SITE WITH DRYWALL/FRAMING CONTRACTOR TO ENSURE INSTALLATION INSTRUCTIONS ARE FOLLOWED EXACTLY.
- PROVIDE ALL CLOSETS WITH MINIMUM 1 FULL WIDTH SHELF 12" DEEP AND WITH ONE FULL WIDTH HANGER ROD.
- ANY WASHROOM WALLS ADJACENT TO LIVING SPACES/PUBLIC AREAS ARE TO HAVE SOUND ATTENUATING BATT INSULATION -ULC APPROVED- IN THE STUD CAVITIES (TO FILL CAVITY).
- ALL STEEL STUDS TO BE FRAMED @ 400mm o/c U.N.O ON PLAN.
- ALL STEEL STUDS ARE TO EXTEND TO UNDERSIDE OF CONC. SLAB U.N.O.

**LIST OF ABBREVIATIONS**

ACT	ACQUSTIC CEILING TILE
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ARCH	ARCHITECTURAL
ASSY	ASSEMBLY
BD	BOARD
BG	BUILDING GRADE
BLDG	BUILDING
CB	CATCH BASIN
CC	CENTER TO CENTER
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CPT	CARPET
CR	CARD READER
CT	CERAMIC TILE
CW	CURTAIN WALL
DM	DIMENSION
DO	HANDICAP DOOR OPERATOR
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EFS	EXTERIOR INSULATED & FINISH SYSTEM
EP	ELECTRICAL PANEL
EQ	EQUAL
ES	EMERGENCY SCUPPER
EXP	EXPOSED
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FN	FIRE HOSE CABINET
FIN	FINISH
FR	FLOOR
GB	FIRE RESISTANCE RATING
GL	GLASS/ GLAZING
GR	GRAB BAR
GYP	GYPSUM WALLBOARD
HM	HOLLOW METAL
HWT	HOT WATER TANK
INT	INTERIOR
JO	JOINT
LTG	LIGHTING
MAX	MAXIMUM
MEC	MECHANICAL
MED	MEDICINE CABINET
MIN	MINIMUM
NBC	NATIONAL BUILDING CODE NUMBER
NO	NOT TO SCALE
NIS	ON CENTER
OC	OVERHEAD
OH	PRESSURE TREATED
PT	PLASTIC LAMINATE
PLAM	PRESSED STEEL FRAME
PSF	POLY VINYL CHLORIDE
PCV	REFLECTED CEILING PLAN
RCP	ROOF DRAIN
RD	REINFORCED
REIN	REINFORCED
REQD	REQUIRED
RWL	RAIN WATER LEADER
S	SHOWER
SM	SIMILAR
SS	STAINLESS STEEL
TD	TOP OF
TYP	TYPICAL
US	UNDERSIDE
VCT	VINYL COMPOSITION TILE
VEST	VESTIBULE

**DRAWING SYMBOLS**

SECTION CUT			
	DRAWING NUMBER		
	ROOM NUMBER		
ROOM TAG			
	ROOM NAME		
	ROOM NUMBER		
DOOR TAG			
	DOOR NUMBER		
WINDOW TAG			
	(B) -BASEMENT (M) -MAIN FLOOR (S) -SECOND FLOOR (T) -THIRD FLOOR	(#) -WINDOW No.	
CONSTRUCTION ASSEMBLY			
	(W) -WALL (EW) -EXISTING WALL (P) -PARTITION (F) -FLOOR (R) -ROOF	(#) -ASSEMBLY No.	
POINT ELEVATION TAG			
1000	ELEVATION HEIGHT		
ELEVATION TAG			
	ELEVATION HEIGHT		
	NAME OF ELEVATION		
REVISION			
	REVISION LOCATION AND NUMBER		
GRID TAG			
	GRID NUMBER		
CALLOUT TAG			
	DRAWING NUMBER		
	SHEET NUMBER		

**SHEET INDEX:**

Sheet List	
Sheet Name	Sheet Number
COVER SHEET	A0.0
GENERAL NOTES AND SPECS	A0.1
SITE PLAN	A1.0
BASEMENT PLAN	A2.0
GROUND FLOOR PLAN	A2.1
SECOND FLOOR PLAN	A2.2
THIRD FLOOR PLAN	A2.3
ROOF PLAN	A2.4
REFLECTED CEILING GROUND FLOOR PLAN	A3.0
BUILDING SECTIONS	A5.0
WALL SECTIONS	A6.0
DETAILS	A7.0
BUILDING SCHEDULES	A8.0

**TYPICAL DETAILS:**

S.J. LAWRENCE ARCHITECT INCORPORATED  
 16 DEAKIN STREET SUITE 200 OTTAWA, ONTARIO K2E 8B7  
 T: (613) 739-7770 F: (613) 739-7703 sj@sjlarchitect.com

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:  
**SILVER STREET DEVELOPMENT**  
 1062 & 1066 SILVER STREET, OTTAWA ON

SHEET TITLE:  
**GENERAL NOTES AND SPECS**

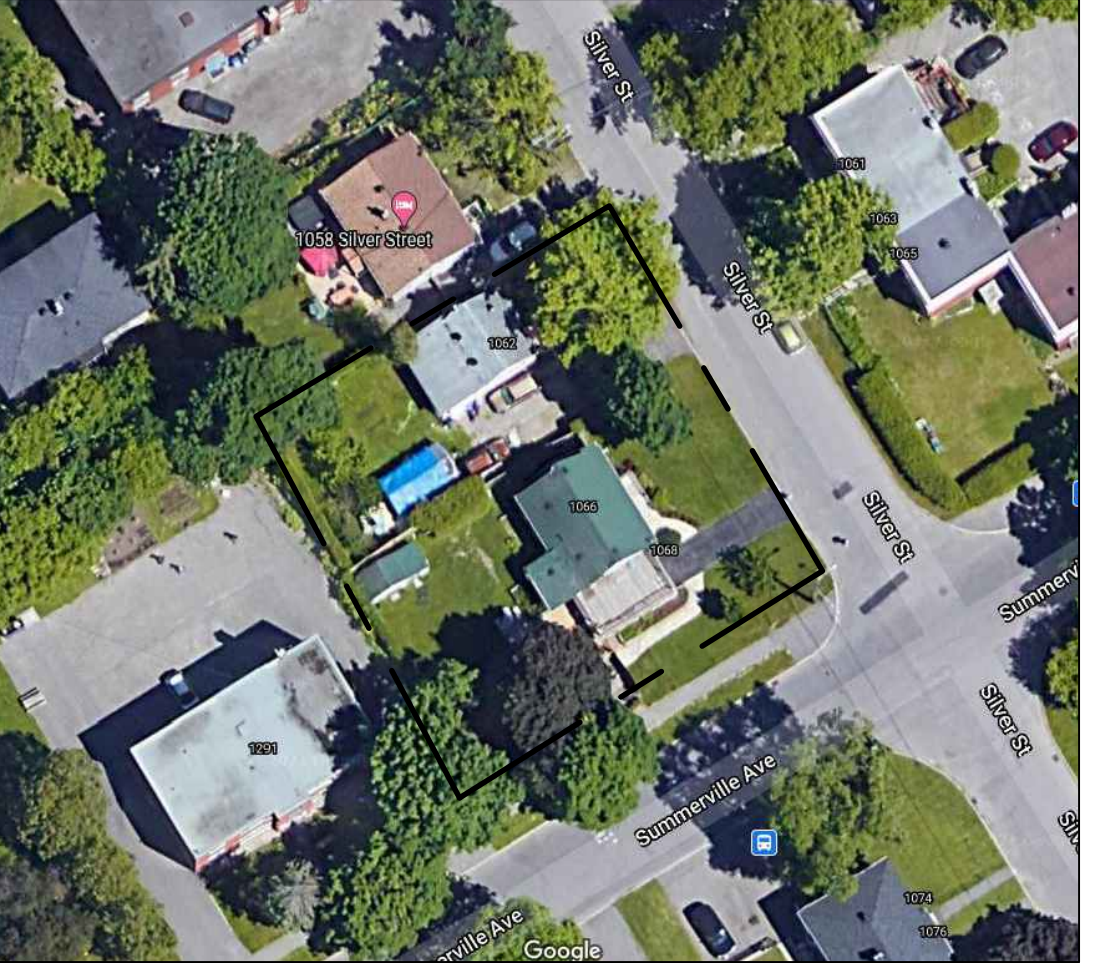
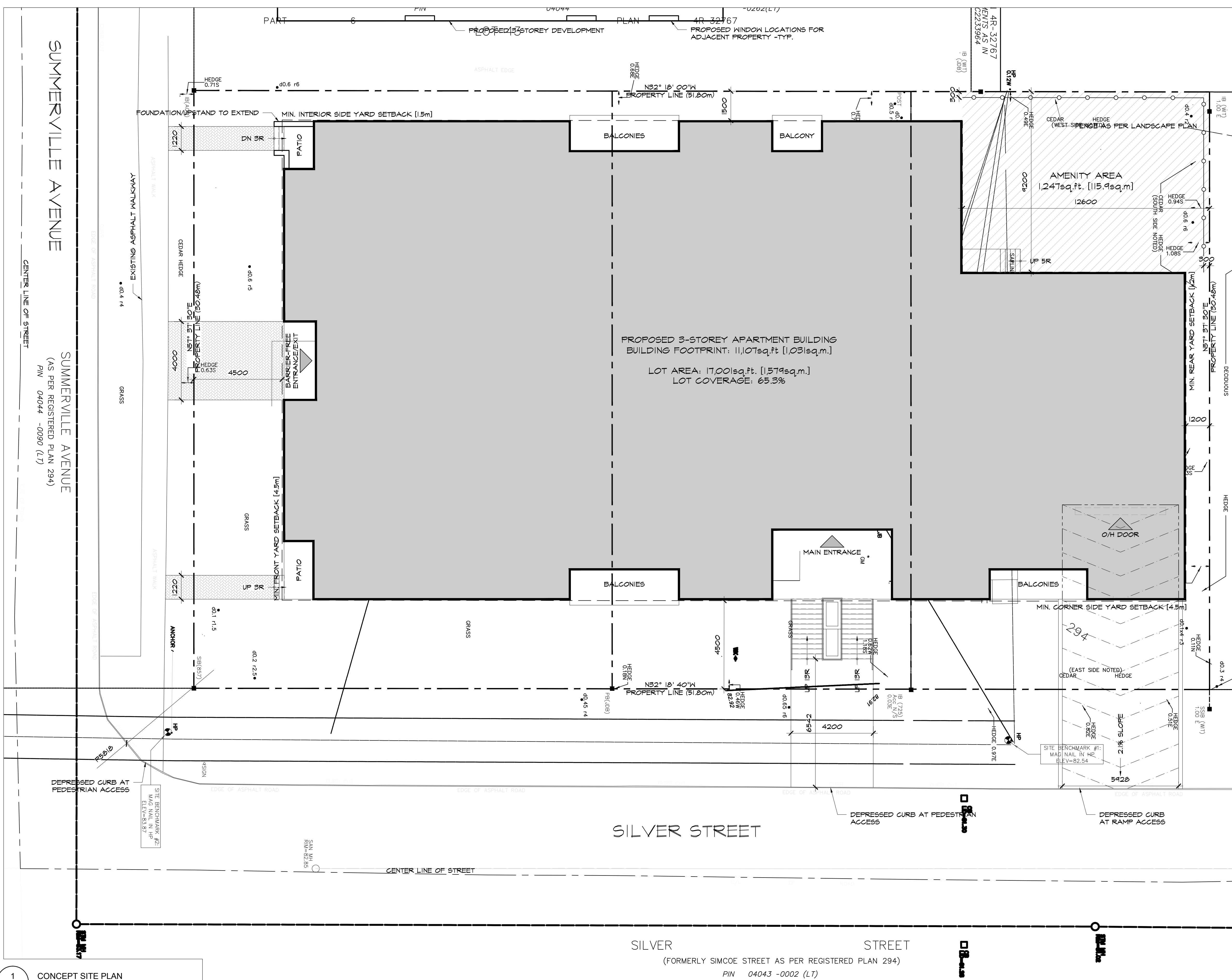
DRAWN BY: R.R. CHECKED BY: B.L.  
 PLOT DATE: 2022-03-30 4:07:09 PM  
 JOB NUMBER: SL-1046-21 SCALE: 1:1

**A0.1**

APPLICATION #

LEGEND

- NEW OVERHEAD DOOR
- NEW DOOR / ENTRANCE
- PROPOSED RIVERSTONE MULCH
- EXISTING VEGETATION REFER TO LANDSCAPE DWGS
- BICYCLE PARKING SPACE (1.8Mx0.6M)
- NO PARKING LINES
- PROPOSED PRECAST CONCRETE PAVERS
- PROPOSED SOD - REFER TO LANDSCAPE DWGS
- NEW SAWCUT CONCRETE SIDEWALK
- PARKING STALL COUNT PER ROW
- NEW SIGN, REFER TO SIGN LEGEND
- STREET LIGHT
- HYDRO POST
- DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS
- V VISITOR PARKING
- TWO WAY TRAFFIC
- DEPRESSED CURB (DC)
- PROPERTY LINE
- EXISTING FENCE
- MINIMUM SETBACKS (ZONING)
- NEW CONSTRUCTION
- EXISTING BUILDINGS
- \*REFER TO LANDSCAPE DWGS



KEY PLAN

BUILDING AREAS

	CONSTRUCTION AREA (SQ.M)	CONSTRUCTION AREA (SQ.FT)
LOWER LEVEL		
GROUND FLOOR LEVEL	1004 sq.m	10,817 sq.ft
SECOND FLOOR LEVEL	1004 sq.m	10,817 sq.ft
THIRD FLOOR LEVEL	949 sq.m	10,215 sq.ft
TOTAL	2,957 sq.m	31,849 sq.ft

BUILDING FLOOR STATISTICS - RENTAL APARTMENT

FLOOR	SUITES	2 BEDROOM	1 BEDROOM + DEN	1 BEDROOM
LOWER LEVEL	-	-	-	-
GROUND FLOOR	10	4	5	1
SECOND FLOOR	11	4	5	2
THIRD FLOOR	11	3	6	2
TOTAL	32	11	16	5
SUITE MIX		35%	50%	15%

CITY OF OTTAWA ZONING BY-LAW

ZONING PROVISIONS	REQUIRED	PROPOSED
R4UC		
MIN. LOT AREA	450 sq.m	confirm
MAX. LOT AREA	1070 sq.m	1580 sq.m
MIN. LOT WIDTH	15m	30.5m
MAX. LOT WIDTH	15m	46m
MIN. INTERIOR YARD AREA	9.2m x 12.58m	9.2m x 12.58m
MIN. FRONT YARD SETBACK	4.5m	4.5m
MIN. CORNER SIDE YARD SETBACK 4.5m		4.5m
MIN. INTERIOR SIDE YARD SETBACK 1.5m		1.6m
MIN. REAR YARD SETBACK	1.2m	1.35m
MIN. INTERIOR YARD SETBACK	CONFIRM	CONFIRM
MAX BUILDING HEIGHT	11M	11M
AMENITY AREA	40% OF FRONT YARD, 30% OF LOT AREA, 50% OF REAR YARD	70% OF FRONT YARD, 36.4% OF LOT AREA, 100% OF REAR YARD
LOT COVERAGE	N/A	63.6%

AUTOMOBILE PARKING SUMMARY

REQUIRED PARKING	REQUIRED	PROPOSED
RESIDENT PARKING	0.5/UNIT (AFTER 12) X 20 = 10 SPACES	19
VISITOR PARKING	0.1/UNIT (AFTER 12) X 20 = 2 SPACES	2
TOTAL	12	21

ACCESSIBLE PARKING SUMMARY

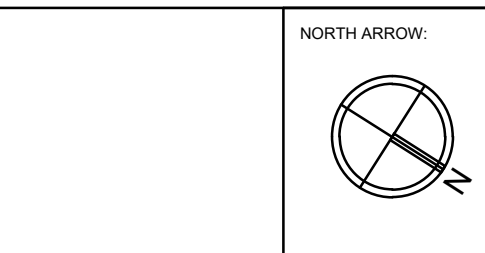
	REQUIRED	PROPOSED
REGULAR MIN. 2.6mx5.2m	11	20
ACCESSIBLE TYPE B 2.4mx5.2m	1	1
TOTAL	12	21

BICYCLE PARKING SUMMARY

REQUIRED PARKING	REQUIRED	PROPOSED
BIKE PARKING	0.5/UNIT X 32 = 16 SPACES	32



- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
  - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
  - 3) DO NOT SCALE DRAWINGS.
  - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
  - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



No.	DATE	REVISION
06	2022.03.30	RE-ISSUED FOR SPC
05	2022.03.25	ISSUED FOR SPC
04	2022.03.16	ISSUED FOR COORDINATION
03	2022.03.10	ISSUED FOR COORDINATION
02	2021.06.08	ISSUED FOR REVIEW
01	2021.05.27	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED  
18 DEWAIN STREET SUITE 205 OTTAWA, ONTARIO K2E 8B7  
T: (613) 758-7770 F: (613) 758-7703 sl@slarchitect.com

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT: SILVER STREET DEVELOPMENT  
1002 & 1006 SILVER STREET, OTTAWA ON

SHEET TITLE: SITE PLAN

DRAWN BY: R.R. CHECKED BY: B.L.

PLOT DATE: 2022-03-30 4:07:44 PM

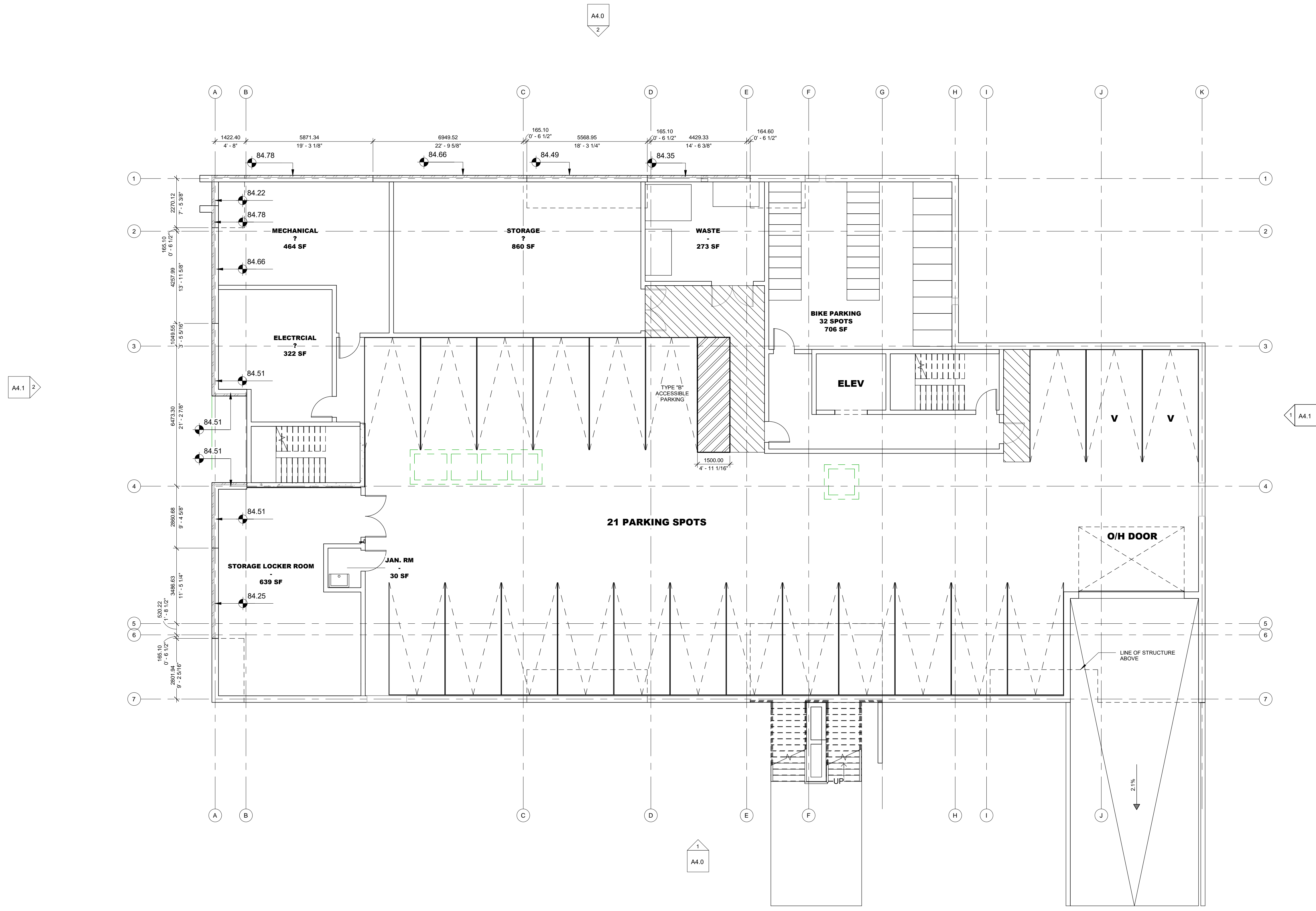
JOB NUMBER: SL-1046-21 SCALE: As indicated

**NOTES:**

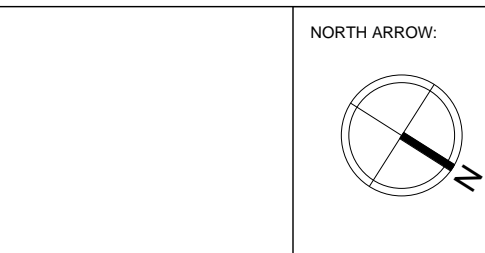
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
- 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
- 3) DO NOT SCALE DRAWINGS.
- 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
- 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

**GENERAL NOTES:**

1. TO OF ALL FOUNDATION WALLS @ 84.10 TYP. EXCEPT AS INDICATED ON BASEMENT CONCEPT PLAN.



**1** BASEMENT CONCEPT PLAN  
A2.0 SCALE 1:100



No.	DATE	REVISION
06	2022.03.30	RE-ISSUED FOR SPC
05	2022.03.25	ISSUED FOR SPC
04	2022.03.16	ISSUED FOR COORDINATION
03	2022.03.10	ISSUED FOR COORDINATION
02	2021.06.08	ISSUED FOR REVIEW
01	2021.05.27	ISSUED FOR REVIEW

**S.J. LAWRENCE ARCHITECT INCORPORATED**  
 18 DEAKIN STREET  
 SUITE 205  
 OTTAWA, ONTARIO  
 K2E 8B7  
 T: (613) 739-7770  
 F: (613) 739-7703  
 sj@sjarchitect.com



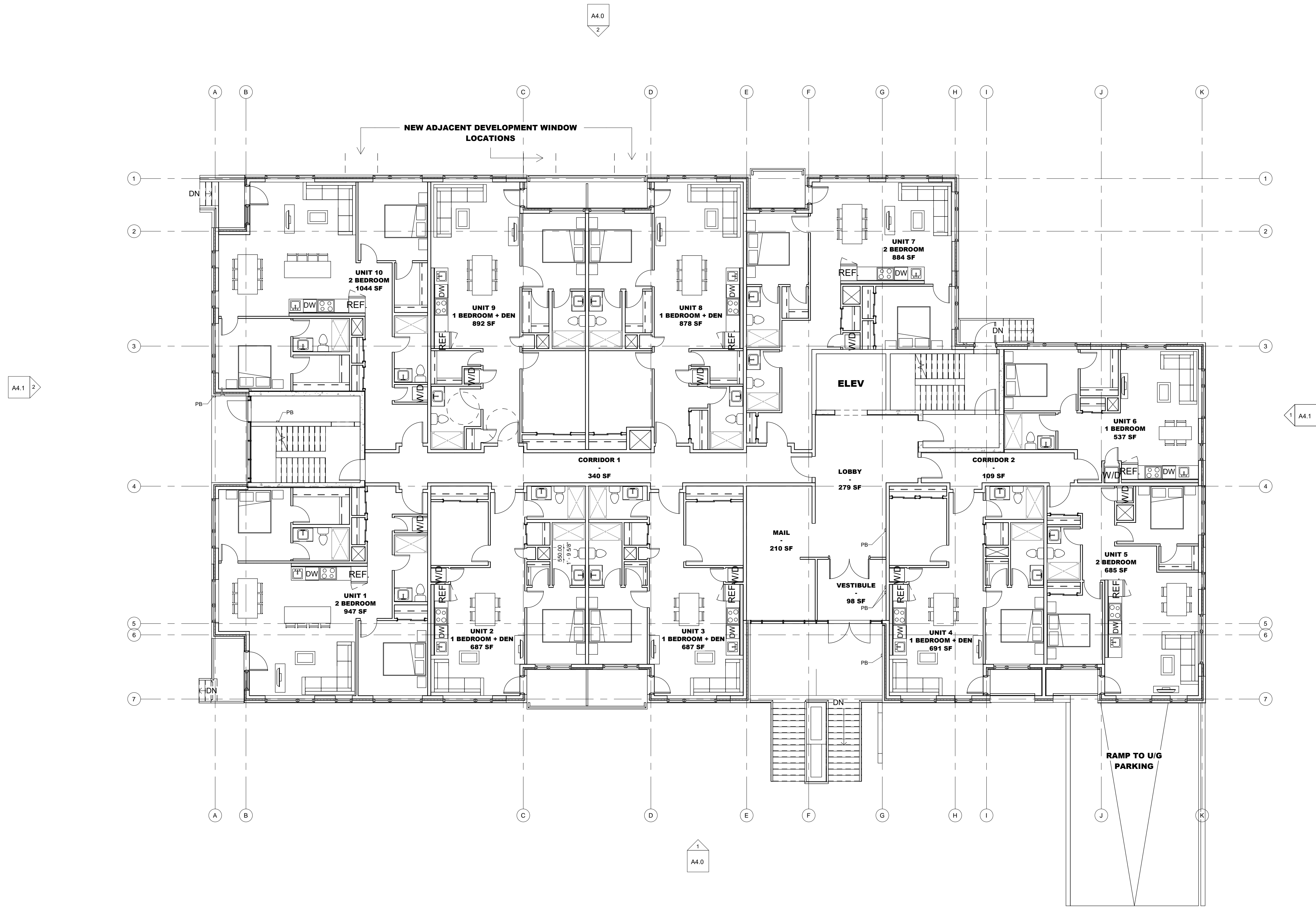
THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

**PROJECT:**  
**SILVER STREET DEVELOPMENT**  
 1062 & 1066 SILVER STREET, OTTAWA ON

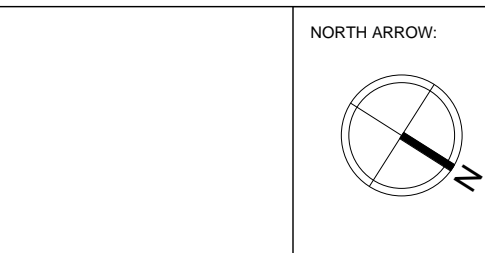
**SHEET TITLE:**  
**BASEMENT PLAN**

**DRAWN BY:** R.R. **CHECKED BY:** B.L.  
**PLOT DATE:** 2022-03-30 4:07:11 PM  
**JOB NUMBER:** SL-1046-21 **SCALE:** 1:100

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
  - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
  - 3) DO NOT SCALE DRAWINGS.
  - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
  - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



**1** GROUND FLOOR CONCEPT PLAN  
A2.1 SCALE 1 : 100



No.	DATE	REVISION
06	2022.03.30	RE-ISSUED FOR SPC
05	2022.03.25	ISSUED FOR SPC
04	2022.03.16	ISSUED FOR COORDINATION
03	2022.03.10	ISSUED FOR COORDINATION
02	2021.06.08	ISSUED FOR REVIEW
01	2021.05.27	ISSUED FOR REVIEW

**S.J. LAWRENCE ARCHITECT INCORPORATED**  
 18 DEAKIN STREET  
 SUITE 205  
 OTTAWA, ONTARIO  
 K2E 8B7  
 T: (613) 739-7770  
 F: (613) 739-7703  
 sj@sjarchitect.com

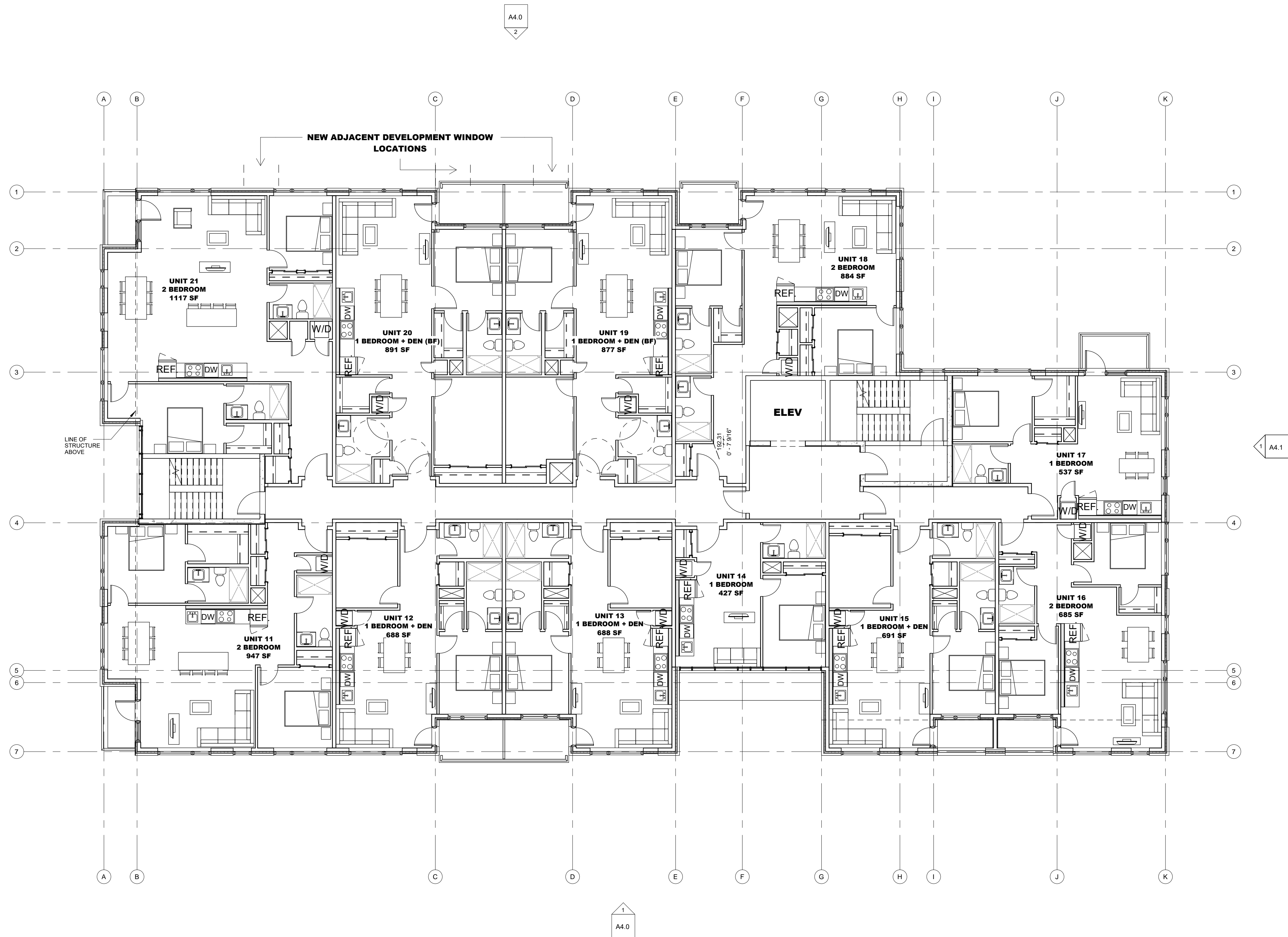


THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

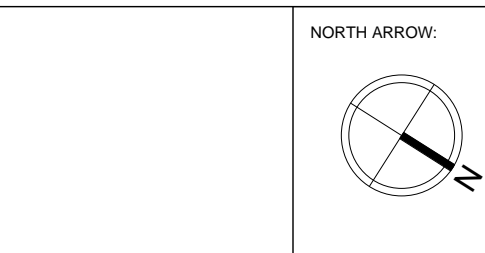
PROJECT:  
**SILVER STREET DEVELOPMENT**  
 1062 & 1066 SILVER STREET, OTTAWA ON  
 SHEET TITLE:  
**GROUND FLOOR PLAN**

DRAWN BY:  
 R.R.  
 CHECKED BY:  
 B.L.  
 PLOT DATE:  
 2022-03-30 4:07:13 PM  
 JOB NUMBER:  
 SL-1046-21  
 SCALE:  
 1 : 100

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
  - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
  - 3) DO NOT SCALE DRAWINGS.
  - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
  - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



1 SECOND FLOOR CONCEPT PLAN  
A2.2 SCALE 1:100



No.	DATE	REVISION
06	2022.03.30	RE-ISSUED FOR SPC
05	2022.03.25	ISSUED FOR SPC
04	2022.03.16	ISSUED FOR COORDINATION
03	2022.03.10	ISSUED FOR COORDINATION
02	2021.06.08	ISSUED FOR REVIEW
01	2021.05.27	ISSUED FOR REVIEW

**S.J. LAWRENCE ARCHITECT INCORPORATED**  
 18 DEAKIN STREET  
 SUITE 202  
 OTTAWA, ONTARIO  
 K2E 8B7  
 T: (613) 739-7770  
 F: (613) 739-7703  
 sjl@sjlarchitect.com

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:  
**SILVER STREET DEVELOPMENT**  
 1062 & 1066 SILVER STREET, OTTAWA ON

SHEET TITLE:  
**SECOND FLOOR PLAN**

DRAWN BY:  
 R.R.

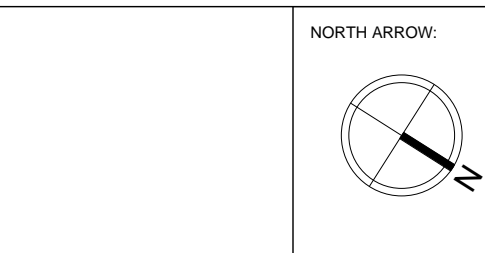
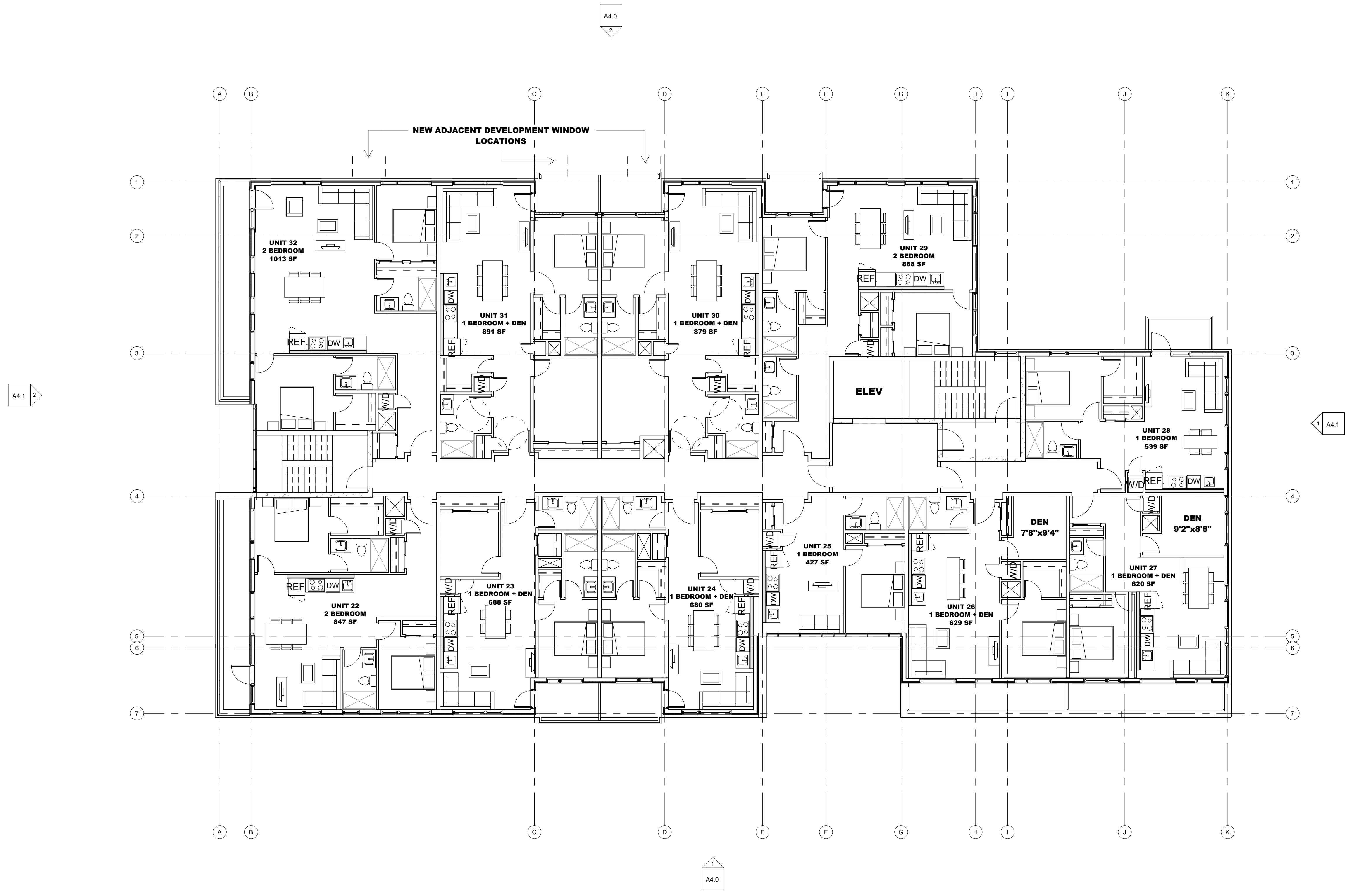
CHECKED BY:  
 B.L.

PLOT DATE:  
 2022-03-30 4:07:15 PM

JOB NUMBER:  
 SL-1046-21

SCALE:  
 1:100

NOTES:  
 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.  
 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.  
 3) DO NOT SCALE DRAWINGS.  
 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.  
 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



No.	DATE	REVISION
06	2022.03.30	RE-ISSUED FOR SPC
05	2022.03.25	ISSUED FOR SPC
04	2022.03.16	ISSUED FOR COORDINATION
03	2022.03.10	ISSUED FOR COORDINATION
02	2021.06.08	ISSUED FOR REVIEW
01	2021.05.27	ISSUED FOR REVIEW

**S.J. LAWRENCE ARCHITECT INCORPORATED**  
 18 DEAKIN STREET  
 SUITE 202  
 OTTAWA, ONTARIO  
 K2E 8B7  
 T: (613) 739-7770  
 F: (613) 739-7703  
 sjl@sjlarchitect.com



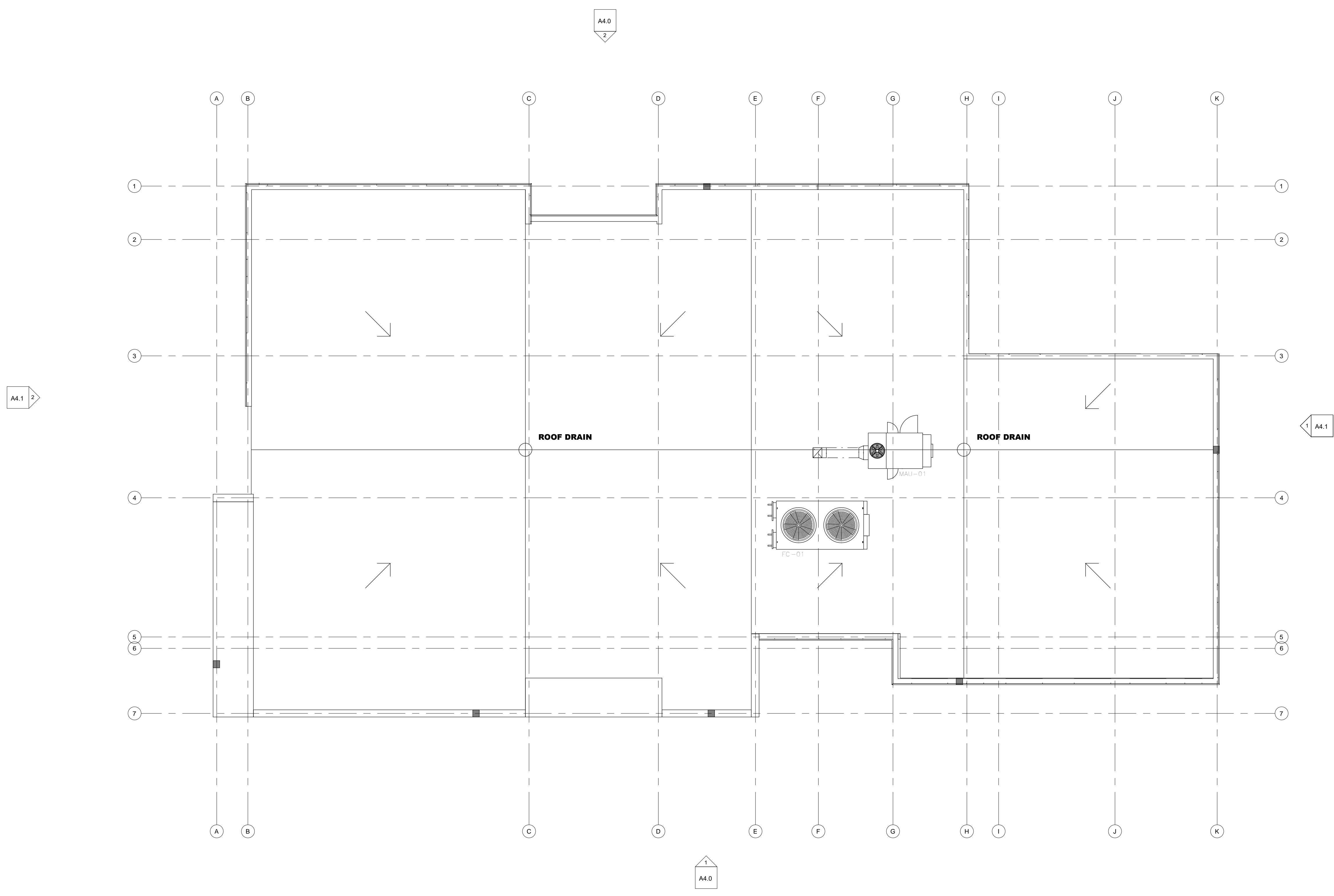
THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:  
**SILVER STREET DEVELOPMENT**  
 1062 & 1066 SILVER STREET, OTTAWA, ON  
 SHEET TITLE:  
**THIRD FLOOR PLAN**

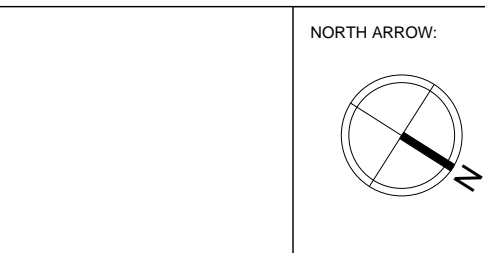
DRAWN BY:  
 R.R.  
 CHECKED BY:  
 B.L.  
 PLOT DATE:  
 2022-03-30 4:07:16 PM  
 JOB NUMBER:  
 SL-1046-21  
 SCALE:  
 1 : 100

**1** THIRD FLOOR CONCEPT PLAN  
**A2.3** SCALE 1 : 100

- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
  - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
  - 3) DO NOT SCALE DRAWINGS.
  - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
  - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



**1** ROOF CONCEPT PLAN  
A2.4 SCALE 1 : 100



No.	DATE	REVISION
06	2022.03.30	RE-ISSUED FOR SPC
05	2022.03.25	ISSUED FOR SPC
04	2022.03.16	ISSUED FOR COORDINATION
03	2022.03.10	ISSUED FOR COORDINATION
02	2021.06.08	ISSUED FOR REVIEW
01	2021.05.27	ISSUED FOR REVIEW

**S.J. LAWRENCE ARCHITECT INCORPORATED**  
 18 DEAKIN STREET  
 SUITE 205  
 OTTAWA, ONTARIO  
 K2E 8B7  
 T: (613) 739-7770  
 F: (613) 739-7703  
 sjl@sjlarchitect.com

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:  
**SILVER STREET DEVELOPMENT**  
 1062 & 1066 SILVER STREET, OTTAWA ON

SHEET TITLE:  
**ROOF PLAN**

DRAWN BY:  
 R.R.

CHECKED BY:  
 B.L.

PLOT DATE:  
 2022-03-30 4:07:17 PM

JOB NUMBER:  
 SL-1046-21

SCALE:  
 1 : 100

**NOTES:**

- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
- 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
- 3) DO NOT SCALE DRAWINGS.
- 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
- 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

**KEYNOTES-ELEVATION**

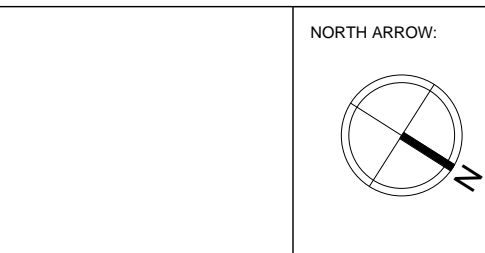
NOTE NUMBER	NOTE TEXT
1	EXHAUST LOUVRE AS PER MECH.
2	FROST FREE HOSE BIB AS PER MECH.
3	INTAKE LOUVRE AS PER MECH.
4	HORIZONTAL METAL SIDING
4	PRE-FIN PANEL SIDING
5	PRE-FIN METAL FLASHING
6	PRE-FIN PANEL SIDING
7	BRICK MASONRY
8	GLASS AND ALUMINUM GUARD SYSTEM
9	GLASS AND ALUMINUM CURTAIN WALL SYSTEM



**1 EAST (FRONT) ELEVATION**  
A4.0 SCALE 1:100



**2 WEST ELEVATION**  
A4.0 SCALE 1:100



No.	DATE	REVISION
06	2022.03.30	RE-ISSUED FOR SPC
05	2022.03.25	ISSUED FOR SPC
04	2022.03.16	ISSUED FOR COORDINATION
03	2022.03.10	ISSUED FOR COORDINATION
02	2021.06.08	ISSUED FOR REVIEW
01	2021.05.27	ISSUED FOR REVIEW

**S.J. LAWRENCE ARCHITECT INCORPORATED**  
18 DEAKIN STREET SUITE 200 OTTAWA, ONTARIO K2E 8B7  
T: (613) 739-7770 F: (613) 739-7703 sjl@sjlarchitect.com



THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

**PROJECT:**  
**SILVER STREET DEVELOPMENT**  
1062 & 1066 SILVER STREET, OTTAWA ON

**SHEET TITLE:**  
**SCHEMATIC ELEVATIONS**

**DRAWN BY:** R.R. **CHECKED BY:** B.L.

**PLOT DATE:** 2022-03-30 4:07:31 PM

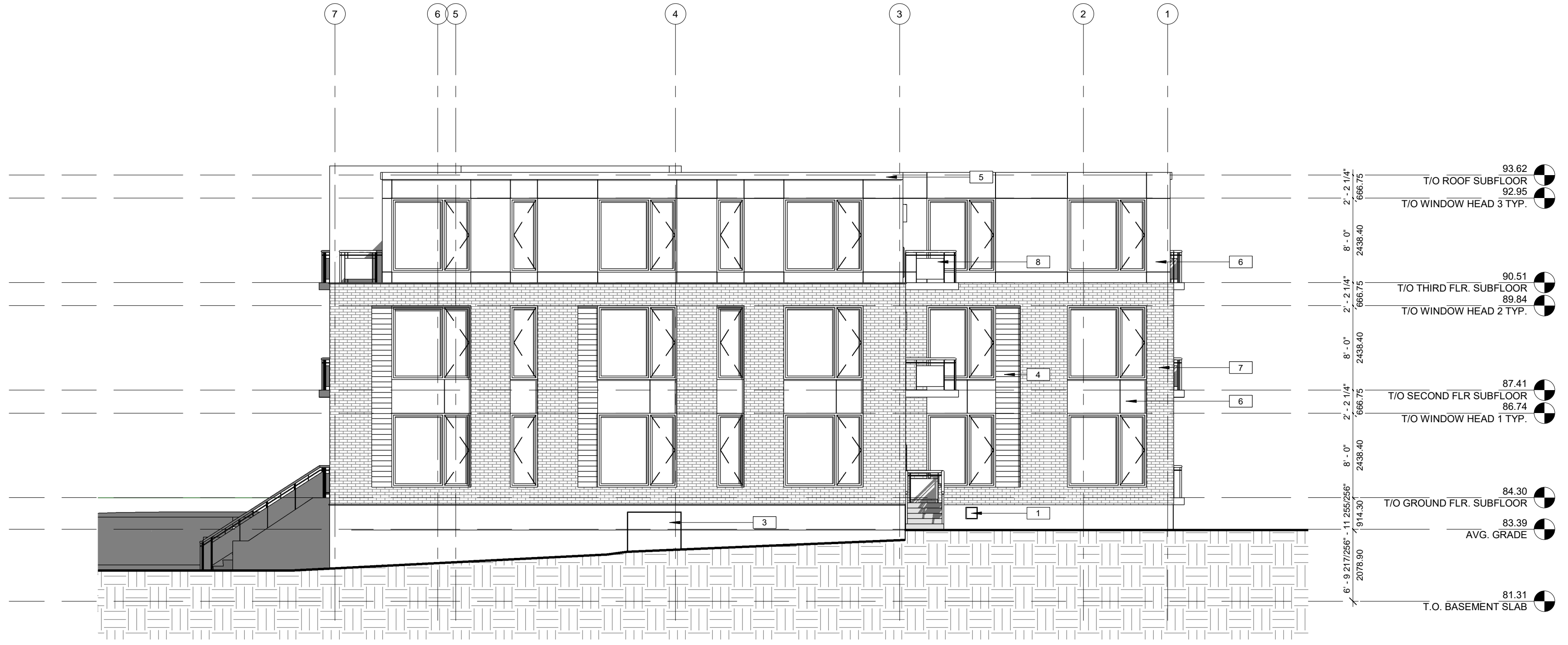
**JOB NUMBER:** SL-1046-21 **SCALE:** 1:100



- NOTES:
- 1) ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
  - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
  - 3) DO NOT SCALE DRAWINGS.
  - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
  - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

**KEYNOTES-ELEVATION**

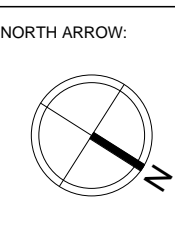
NOTE NUMBER	NOTE TEXT
1	EXHAUST LOUVRE AS PER MECH.
2	FROST FREE HOSE BIB AS PER MECH.
3	INTAKE LOUVRE AS PER MECH.
4	HORIZONTAL METAL SIDING
4	PRE-FIN PANEL SIDING
5	PRE-FIN METAL FLASHING
6	PRE-FIN PANEL SIDING
7	BRICK MASONRY
8	GLASS AND ALUMINUM GUARD SYSTEM
9	GLASS AND ALUMINUM CURTAIN WALL SYSTEM



**1 NORTH ELEVATION**  
A4.1 SCALE 1:100



**2 SOUTH ELEVATION**  
A4.1 SCALE 1:100



No.	DATE	REVISION
06	2022.03.30	RE-ISSUED FOR SPIC
05	2022.03.25	ISSUED FOR SPIC
04	2022.03.16	ISSUED FOR COORDINATION
03	2022.03.10	ISSUED FOR COORDINATION
02	2021.06.08	ISSUED FOR REVIEW
01	2021.05.27	ISSUED FOR REVIEW

**S.J. LAWRENCE ARCHITECT INCORPORATED**  
18 DEAKIN STREET SUITE 200 OTTAWA, ONTARIO K2E 8B7  
T: (613) 739-7770 F: (613) 739-7703 sjl@sjlarchitect.com

THIS DRAWING IS THE SOLE PROPERTY OF S.J. LAWRENCE ARCHITECT INCORPORATED. REPRODUCTION IS NOT PERMITTED.

**PROJECT:**  
**SILVER STREET DEVELOPMENT**  
1062 & 1066 SILVER STREET, OTTAWA ON

**SHEET TITLE:**  
**SCHEMATIC ELEVATIONS**

**DRAWN BY:** R.R. **CHECKED BY:** B.L.  
**PLOT DATE:** 2022-03-30 4:07:44 PM  
**JOB NUMBER:** SL-1046-21 **SCALE:** 1:100