

ZONING MATRIX		
PROPERTY DESCRIPTION		
CITY OF OTTAWA PIN NUMBER	04263-0267 (LT)	
MUNICIPAL ADDRESS	1195 Newmarket St	
LOT AREA	25,922m ²	
BUILDING INFORMATION		
BUILDING AREA:	10,439m ²	
PROPOSED USE:	WAREHOUSE	
No. STOREYS:	1	
ZONING TABLE		
CITY OF OTTAWA ZONING BY-LAW No. 2008-250		
IL - LIGHT INDUSTRIAL ZONE	REQUIRED	PROPOSED
MIN. LOT AREA	2,000 m ²	25,922m ²
MIN. LOT WIDTH	No minimum	n/a
MAX. LOT COVERAGE	65%	10439/25922x100 = 40%
MIN. FRONT YARD SETBACK	7.5m	Building setback = 7.5m
MIN. SIDE YARD SETBACK	7.5m	Building setback = 20m
MIN. REAR SETBACK	3.5m	Building setback = 8.4m
MIN. SETBACK WATERCOURSE	30m	Building setback = 30m
MAX. BUILDING HEIGHT	18m	14.6m
MIN. WIDTH LANDSCAPE	STREET: 3m	Varies, more than 3m
OTHER CASES: N/A		
VEHICLE PARKING SPACES (AREA C, SCHEDULE 1A) Table 101 - N95 warehouse		
	0.8 per 100m ² for the first 5000m ² of gross floor area (0.8x5000/100= 40)	82
	0.4 per 100m ² above 5000m ² of gross floor area (0.4x(10439-5000)/100=22)	
	total: 40+22= 62	
RESERVED PARKING SPACES (ACCESSIBLE DESIGN GUIDELINES)		
	4	6 (3 type A, 3 type B)
BIKE PARKING SPACES (AREA C, SCHEDULE 1A) Table 111A		
	1 per 1000m ² of gross floor area (10439/1000 = 10.4)	11

LEGEND:

- PROPERTY LINE
- MINIMUM BUILDING SETBACK
- SOFT LANDSCAPING
- CONCRETE SIDEWALK, WIDTH AS NOTED OR CONCRETE PAD
- PAVING STONES
- EXTERIOR LAMP POST ON CONCRETE BASE
- EXTERIOR WALL MOUNTED LIGHT FIXTURE
- EXTERIOR RECESSED LIGHT FIXTURE
- EXISTING TREE TO REMAIN, REFER TO LANDSCAPE PLAN AND TCR
- EXISTING TREE TO BE REMOVED, REFER TO LANDSCAPE PLAN AND TCR
- PROPOSED ENTRANCE
- ACCESSIBLE PARKING
TYPE A: 3.4m x 5.2m
TYPE B: 2.4m x 5.2m
AISLE: 1.5m WIDE
- TWO WAY VEHICLE CIRCULATION, 6.7m MINIMUM

SITE NOTES:

- S1 STANDARD PARKING SPACE 2.6m X 5.2m
- S2 ASPHALT SURFACE
- S3 EXISTING FIRE HYDRANT
- S4 DEPRESSED CURB WITH TWSIS FOR BARRIER FREE ACCESS
- S5 SIAMESE CONNECTION
- S6 RELOCATED FIRE HYDRANT, MINIMUM 3m FROM THE DRIVEWAY, AND 0.6m FROM THE SIDEWALK, MAX 45m TO THE SIAMESE CONNECTION
- S7 DASHED LINE: FIRE ROUTE AS PER CODE REQUIREMENTS
- S8 SNOW STORAGE AREA, DOES NOT OCCUPY DRIVEWAY, AISLES, PARKING OR ROAD ALLOWANCE, MINIMUM 1.5m SETBACK
- S9 CONCRETE PAD NEXT TO EXISTING BUS STOP 2.2m x 3.5m AND 0.5m BACK FROM THE SIDEWALK
- S10 REFUSE AREA
- S11 42" HIGH GUARDRAIL AND RETAINING WALL
- S12 EXISTING FIRE HYDRANT TO BE RELOCATED, SEE S6
- S13 TRANSFORMER
- S14 BICYCLE PARKING SPACE, 0.6m x 1.8m WITH SECURE RACK, SEE LANDSCAPE PLAN
- S15 EXISTING HYDRO POLE
- S16 GROUND LEVEL LOADING DOOR
- S17 TYPICAL LOADING BAY
- S18 BACKLIT PYLON SIGN
- S19 1.83m HIGH CHAIN LINK FENCE ALONG ENTIRE PROPERTY LINE PARALLEL TO RAILWAY, VINE TO GROW ALONG THE FENCE
- S20 MASONRY SCREEN WALL, ±10'-0" HIGH, TO ALIGN WITH TOP OF ADJACENT MASONRY WALL
- S21 EXISTING LID TO BE RELOCATED
- S22 PICNIC AREA
- S23 INCREASE CURB RADIUS FOR ENTRY AND EXIT OF TRUCKS, REFER TO PAGES A15-A18 FOR TRUCK TURNING TEMPLATES
- S24 CORNER OF BUILDING AT FRONT YARD SETBACK, CANOPY OVERHANGS SETBACK BY LESS THAN 3.75m.
- S25 BUILDING SETBACK 30m FROM WATERCOURSE
- S26 REMOVE EXISTING CAR ENTRY AND REPAIR SIDEWALK
- S27 EXISTING STOP SIGN
- S28 HIGH WATER MARK COINCIDES WITH TOP OF DITCH
- S29 HATCHED AREA: DEPRESSED CURB AT SIDEWALK AS PER CITY CURB RETURN ENTRANCES DOCUMENT SCT.1
- S30 EXTERIOR METAL STAIR AND DOOR TO ACCESS BUILDING

SCALE:

1:400

0 5m 10m 25m

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ORIAM INC.
1200 RUE DE LOUVAIN OUEST
MONTREAL (QUEBEC) H4N 1G5
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**PAS POUR CONSTRUCTION
NOT FOR CONSTRUCTION**

ONTARIO ASSOCIATION OF ARCHITECTS

VINOD GUPTA
LICENCE 7552

NO.	DESCRIPTION	DATE
00	SITE PLAN APPLICATION - REV 1	2021-10-27
01	SITE PLAN APPLICATION - REV 2	2021-12-17
02	SITE PLAN APPLICATION - REV 3	2022-05-05

1199 NEWMARKET HOLDINGS LTD
A-3488 CHEMIN COTE-DES-NEIGES
MONTREAL, QC
H3H 2M6

NEW LIGHT INDUSTRIAL BUILDING
1195 NEWMARKET STREET
OTTAWA, ONTARIO
K1B 1A6

SITE PLAN

DATE: 2021-10-05

SCALE: 1:400

DESIGNED BY: ADC

DRAWN BY: VG

PROJECT NO: 18630

DATE: 2021-10-05

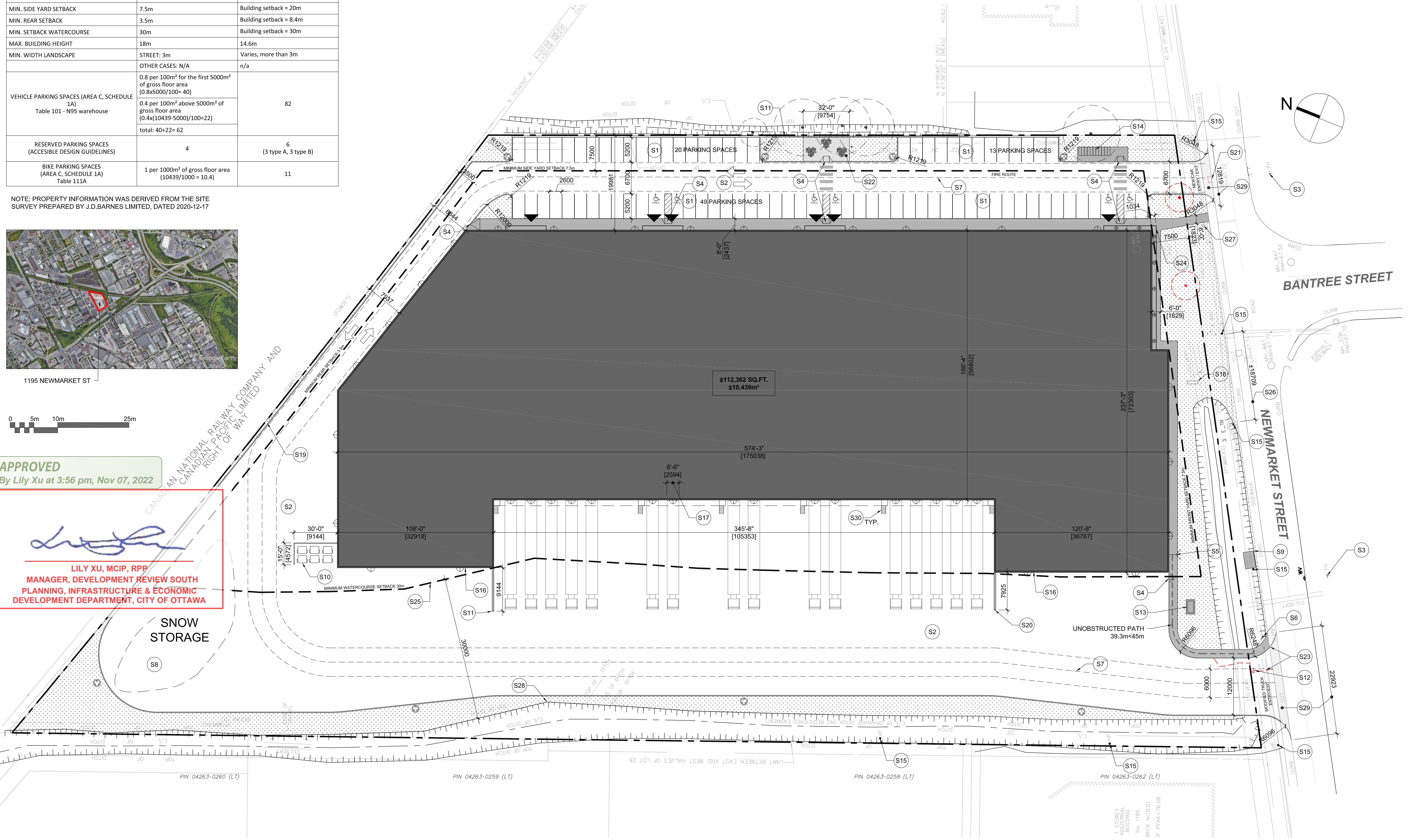
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A000



PROPOSED SITE PLAN

APPROVED
By Lily Xu at 3:56 pm, Nov 07, 2022

Lily Xu

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA