

CITY OF OTTAWA ZONING BY-LAW 2008-250  
CURRENTLY IN H11 (GENERAL INDUSTRIAL SUBZONE 1) WITHIN THE MATTHEW NEIGHBOURHOOD OVERLAY (SECTION 199-200)

ZONE MECHANISM	REQUIREMENT	PROPOSED	COMP.
MINIMUM LOT AREA	1400 m <sup>2</sup>	3,297 m <sup>2</sup>	YES
MINIMUM BUILDING HEIGHT	2.0 m	2.0 m	YES
MAXIMUM HEIGHTS FOR INDIVIDUAL STOREYS	1 Storey: 4.0 m 4 Storeys: 14.0 m 5 Storeys: 17.0 m 6 Storeys: 20.0 m	1 Storey: 4.0 m 3 Storeys: 14.0 m 6 Storeys: 17.0 m 6 Storeys: 20.0 m	YES
MINIMUM LOT WIDTH	18.4 m	18.4 m	YES
MINIMUM FRONT YARD SETBACK	Mechanical/Service Penthouse: 4.5 m Along Nelson St: 3m and additional 2m setback above 8th storey	3m and additional 2m setback above 8th storey	NO
MINIMUM INTERIOR YARD SETBACK	Southern Interior lot line (abutting 134 Nelson): 4.5 m with additional 1.5 m setback above 4th storey Southern Interior lot line (1.5 m setback above 4th storey to a maximum height of 8th storey)	4.5 m with additional setback of 1.5 m above 1st storey	NO
MINIMUM REAR YARD SETBACK	3m - 4.3 m	3m - 4.3 m (including retaining wall)	YES
LANDSCAPE AREA	30% of the lot area must be provided as landscape area	36% landscape area	YES
AMENITY AREA	100 m <sup>2</sup> amenity area (200 m <sup>2</sup> minimum) or 50% of the required total amenity area (100 m <sup>2</sup> minimum) must be provided and aggregated into amenity area	Total amenity provided: 200 m <sup>2</sup> (amenity area = 100 m <sup>2</sup> + 100 m <sup>2</sup> )	YES

LEVEL	G.B.A.	G.F.A.	G.L.A.
1	1,602	17,889	12,735
2	1,598	17,148	15,196
3	1,598	17,148	15,196
4	1,598	17,148	15,196
5	1,598	17,148	15,196
6	1,598	17,148	15,196
7	1,144	12,314	9,944
8	1,144	12,314	9,944
9	1,144	12,314	9,944
TOTAL UPPER LEVELS	13,062	143,591	114,943

LEVEL	MICRO BACHELOR	TORONTO STUDIO	TWO ONE BEDROOM	THREE BEDROOMS	TOTAL BY LEVEL
PARKING 1	0	14	0	0	14
1	0	14	0	0	14
2	8	22	1	0	31
3	11	22	1	0	34
4	11	22	1	0	34
5	11	22	1	0	34
6	11	25	1	0	37
7	11	38	1	0	50
8	11	39	1	0	51
9	11	39	1	0	51
TOTAL	85	157	8	0	250

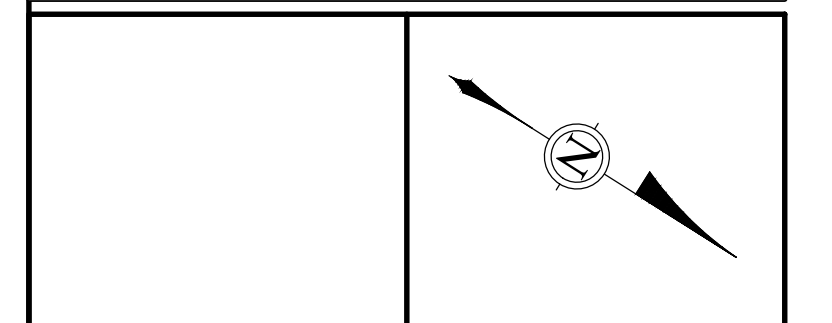
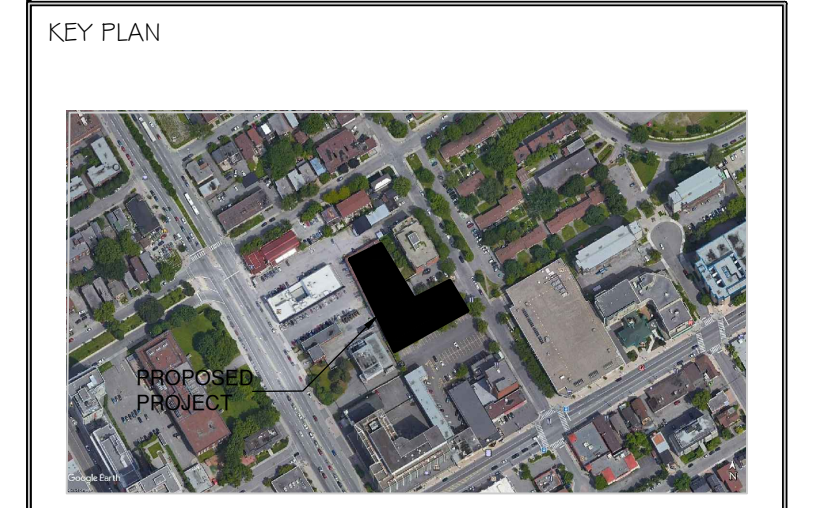
**LEGEND**

- PROPERTY LINE
- PROPOSED FLUSH PAVERS
- NEW SOD
- MAIN DOOR / EXIT DOOR
- EXISTING TREE
- NEW TREE
- EXISTING TREE TO BE REMOVED
- FIRE HYDRANT
- ELECTRICAL POST
- CATCH BASIN

NOTE: ALL SETBACKS ARE TO CONCRETE FOUNDATIONS AND EXTERIOR WOOD STUDS. SETBACKS DO NOT REFLECT INSULATION AND FINISHING.

AVERAGE GRADE = 59.47 m

FILL	STOREY	HEIGHT IN M.
[Purple Box]	9	29.00
[Green Box]	6	17.00
[Yellow Box]	5	14.00
[Orange Box]	1	4.00
[Blue Box]	PARKING LEVEL 1	0.30



ALL CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL CODES AND BYLAWS AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK.

DO NOT SCALE DRAWINGS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

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NO.	REVISION	DATE
14		
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02	ISSUED FOR SITE PLAN APPROVAL	07/29/21
01	CLIENT REVIEW	04/06/20
NO.	REVISION	MM/DD/YY DATE

**WOODMAN ARCHITECT ASSOCIATES LTD.**

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CONSULTANTS:  
STRUCTURAL -  
MECHANICAL -  
ELECTRICAL -

PROJECT  
**112 NELSON ST**

DRAWING:  
**SITE PLAN**

DATE: JULY 21, 2021 | JOB NO.: 2009  
SCALE: 1:150 | DRAWING NO.:  
DRAWN BY: J.G.S.B. | A100  
REVIEWED BY: R.J.W.