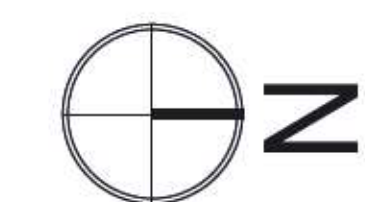


LEGEND

- PROPERTY LINE
- PROJECTION LINE
- BASEMENT
- PEDESTRIAN ENTRANCE
- VEHICLE ENTRANCE
- EXIT PATHWAY
- EXPOSED CONCRETE
- PAVERS
- NEW SOG
- RIVER STONE

NOTE:
PROPERTY BOUNDARY & TOPOGRAPHY INFORMATION WAS DERIVED FROM:
• TOPOGRAPHIC PLAN OF SURVEY OF NORTH HALF OF LOT 3 AND PART OF LOTS 4, 5 AND 6 (WEST SIDE OF NELSON STREET), REGISTERED PLAN 43866 CITY OF OTTAWA, DATED MAY 12, 2021
• TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOT 3 WEST NELSON STREET LOTS, REGISTERED PLAN 43888 CITY OF OTTAWA, DATED NOVEMBER 25TH, 2022



OCCUPANCY	UNITS / STOREYS	PROPOSED ZONING GFA
Residential	421 units / Basement to 9th floors	Basement = 17 Unit = 461m ² Ground = 19 Unit = 542m ² 2 nd - 9 th = 53 units/floor = 1,554m ² / floor 6 th = 60 units = 1,500m ² 7 th = 41 units = 1,147m ² 8 th - 9 th = 41 units/floor = 1,180m ² / floor TOTAL = 12,231m ²
	Minimum 15% (63 units) required to be Starter-Flex (BF) to be distributed throughout residential storeys.	365 x Studios (64 BF units = 15%) 10 x 1 Bedroom (8 BF units = 8%) 40 x 2 Bedroom (8 BF units = 20%) 70 BF units = 15%
Commercial	Ground	Commercial = 67m ² Office = 20m ²
TOTAL		12,318m²

Requirement	Required	Provided
Residential Floor Density, (RFD) Zone	Required	Provided
Minimum Lot Area	3,400m ²	3,488m ²
Minimum Lot Width	18.2m	18.2m
Minimum Building Height	As per Site Specific Zoning Schedule	12m to 13m
Minimum Front Yard Setback	Along Nelson: 3m and additional 2m setback above 9th storey	Along Nelson: 3m and additional 1.8m setback above 6th storey
Minimum Rear Yard Setback	3m - 6.3m	1.5m to retain wall, 3m/7.3m to building
Minimum Interior Side Yard Setback	Southern interior lot line: 1.5m - 4.5m with additional 1.5m setback above 6th storey Eastern interior lot line (abutting 110 Nelson): 4.5m with additional 1.5m setback above 6th storey with a 1.7m setback above 9th storey Northern interior lot line (abutting 108 Nelson): 4.5m with additional 1.5m setback above 6th storey to a maximum height of 5 storeys	4.7m - 5.9m 6.3m with additional 2.5 setback above 1st storey
Minimum Landscaped area	30% x 5,442m ² = 1,633m ² Minimum 50% of the area must be communal	1,349 m ² 2,226 m ² total 1,308m ² communal
Amenity Area	Provided:	TOTAL: 2,284m ² COMMUNAL AREA OF INTERIOR: 1,136 m ² COMMUNAL AREA OF EXTERIOR: 152 m ² COMMUNAL ROOF TERRACE: 488 m ² PRIVATE BALCONY AND LOGGIA: 818 m ²
Minimum Vehicular Parking	Residential: 0.4 spaces per dwelling unit, Min 10 Visitor: 0.05 spaces per dwelling unit	Residential: 17 (per the amendment) Visitor: 17 Total: 34 Provided: Total: 34 (17 spaces for residents, 17 spaces for visitors)
Parking Space Dimensions	Width: 2.6 Length: 5.2 metres Number of required spaces is a function of the total square provided Type A spaces: 3, 4m x 5.2m Type B spaces: 2, 4.5 x 3m	Complies
Accessible Parking Requirements	1.5m aisle between accessible spaces	Complies
Driveway Width	Minimum 6m	6.3 m
Alley Width	Minimum 6m Residential: 0.5 spaces per unit 50% must be horizontal spaces must be on the floor	6m Required: 210
Bicycle Parking	Provided:	P1 = 274 Ground Floor = 48
Bicycle Parking Dimensions	Horizontal: 0.5m x 1.8m Vertical: 0.5m x 1.5m	0.6m x 1.8m Stacked
Bicycle Parking Access	Minimum aisle width: 1.5m Location of bike rack must be at least 1m (abutting a street) Increased from view with a 2m separation fence	8m from lot line
Exterior Garbage Enclosure	8m from lot line	8m from lot line

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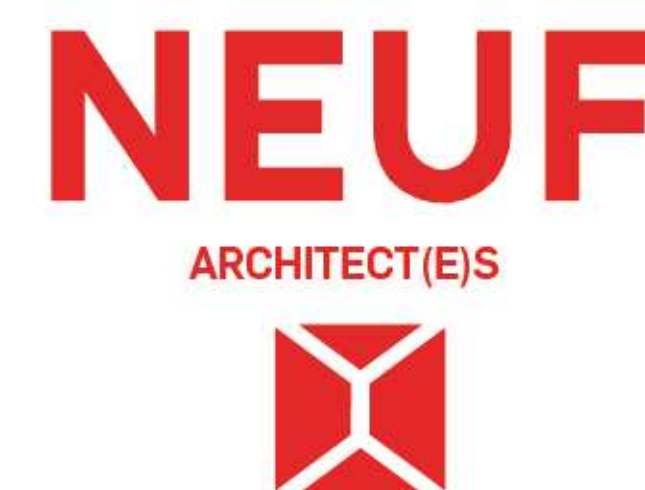
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PROJECT Coverage
112 NELSON

LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA

NO REVISION / RÉVISION
1 SPC SUBMISSION

DATE (aaaa-mm-jj)
2024.07.10

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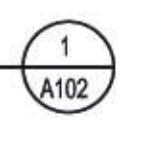
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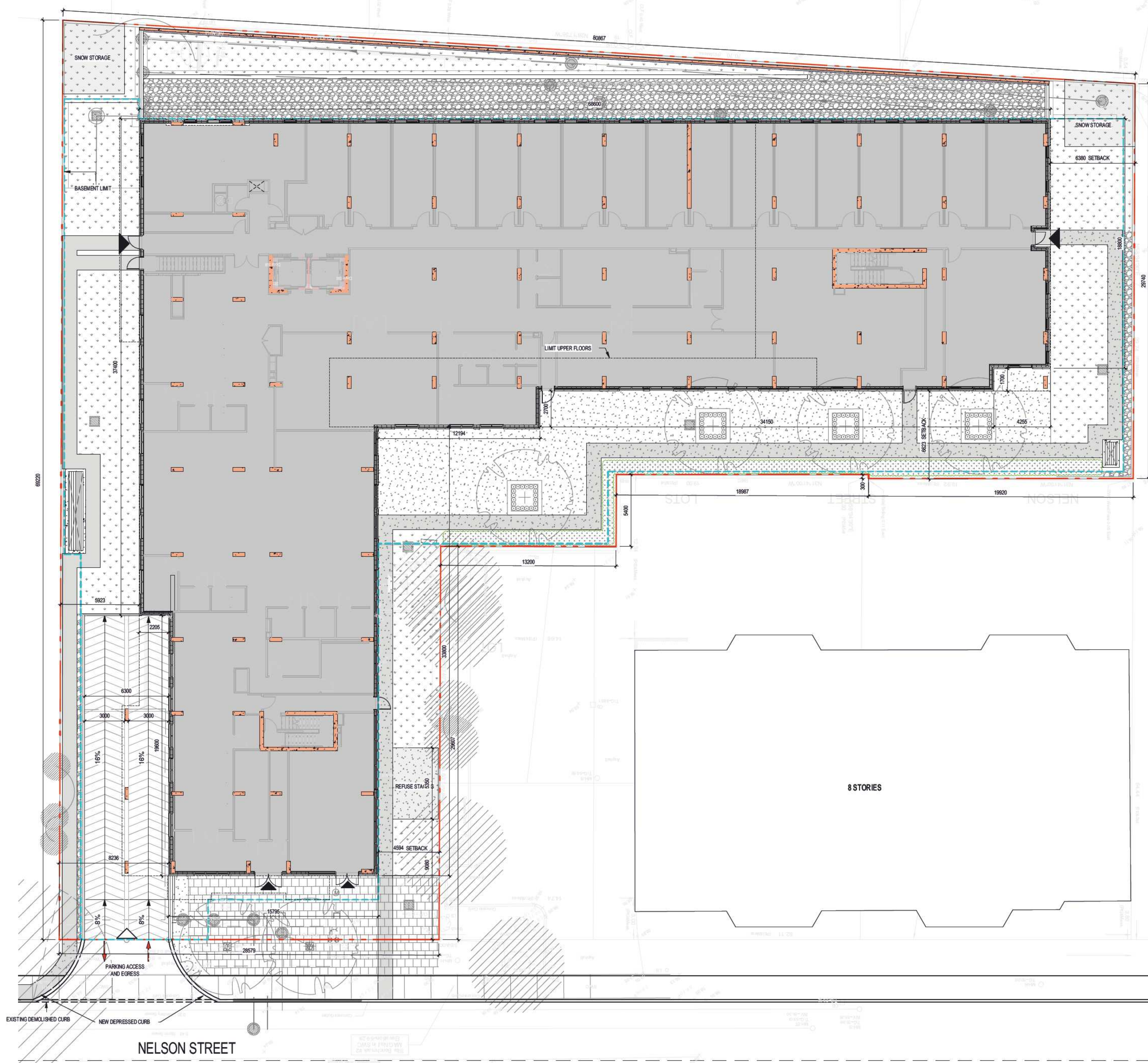
SITE PLAN - ROOF LEVEL

REVISION Révision
1

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SITE PLAN - ROOF LEVEL
1:150

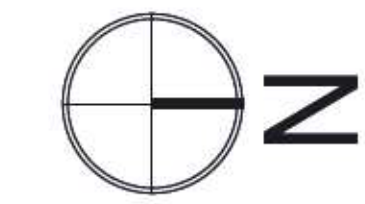




LEGEND

- PROPERTY LINE
- PROJECTION LINE
- BASEMENT
- PEDESTRIAN ENTRANCE
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- EXIT PATHWAY
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- PAVERS
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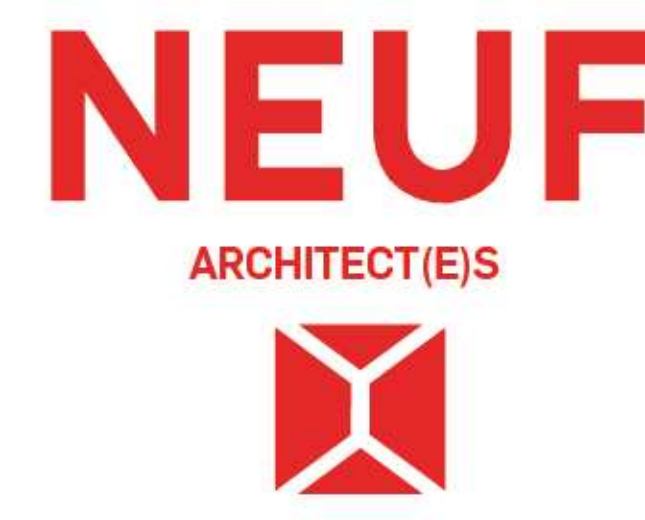
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• TOPOGRAPHIC PLAN OF SURVEY OF PART OF LOT 3 WEST NELSON STREET LOTS, REGISTERED PLAN 43886 CITY OF OTTAWA, DATED NOVEMBER 25TH, 2022



Requirement	Provided
Residential Fm-2 (m-h), (R5) Zone	Complies
Minimum Lot Area	3,488m ²
Minimum Lot Width	18.0m
Minimum Building Height	23m (3 stories)
Minimum Front Yard Setback	Along Nelson: 3m and additional 2m setback above 5th story
Minimum Rear Yard Setback	1.5m to retain wall, 3m (7.3m) to building
Minimum Interior Side Yard Setback	Eastern interior lot line (abutting 110 Nelson): 4.5m with additional 1.5m setback above 4th story with a 1.7m setback above 5th story
Minimum Landscaped area	3,149 m ²
Amenity Area	1,236 m ² total 1,236m ² communal
Minimum Vehicular Parking	Residential: 0.4 spaces per dwelling unit, 10% of total Visitor: 0.04 spaces per dwelling unit Total: 34 (17 per the amendment)
Parking Space Dimensions	Width: 2.6 metres Length: 5.2 metres Number of required spaces is a function of the total square provided
Accessible Parking Requirements	Type A spaces: 3, 4m x 2m Type B spaces: 2, 4.5 x 3m 1.5m aisle between accessible spaces
Driveway Width	Minimum 6m
Alley Width	Minimum 6m
Bicycle Parking	Required: 210 Provided: P1 - 276 Ground Floor - 48
Bicycle Parking Dimensions	Horizontal: 0.5m x 1.8m Vertical: 0.5m x 1.5m
Bicycle Parking Access	Minimum aisle width: 1.5m Location of space must be on the floor (abutting a street) Accessed from view with a 2m equivalent space
Exterior Garbage Enclosure	8m from lot line

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- SCEAU** / Seal



PROJECT Coverage
112 NELSON

LOCATION Employment
112 & 134 NELSON STREET, OTTAWA

PROJECT NO. / No. Proj.
112 & 134 NELSON STREET, OTTAWA
13368

NO. REVISION / RÉVISION **DATE (aaaa-mm-jj)**

1	30% FOR COORDINATION	2024.03.22
2	60% FOR COORDINATION	

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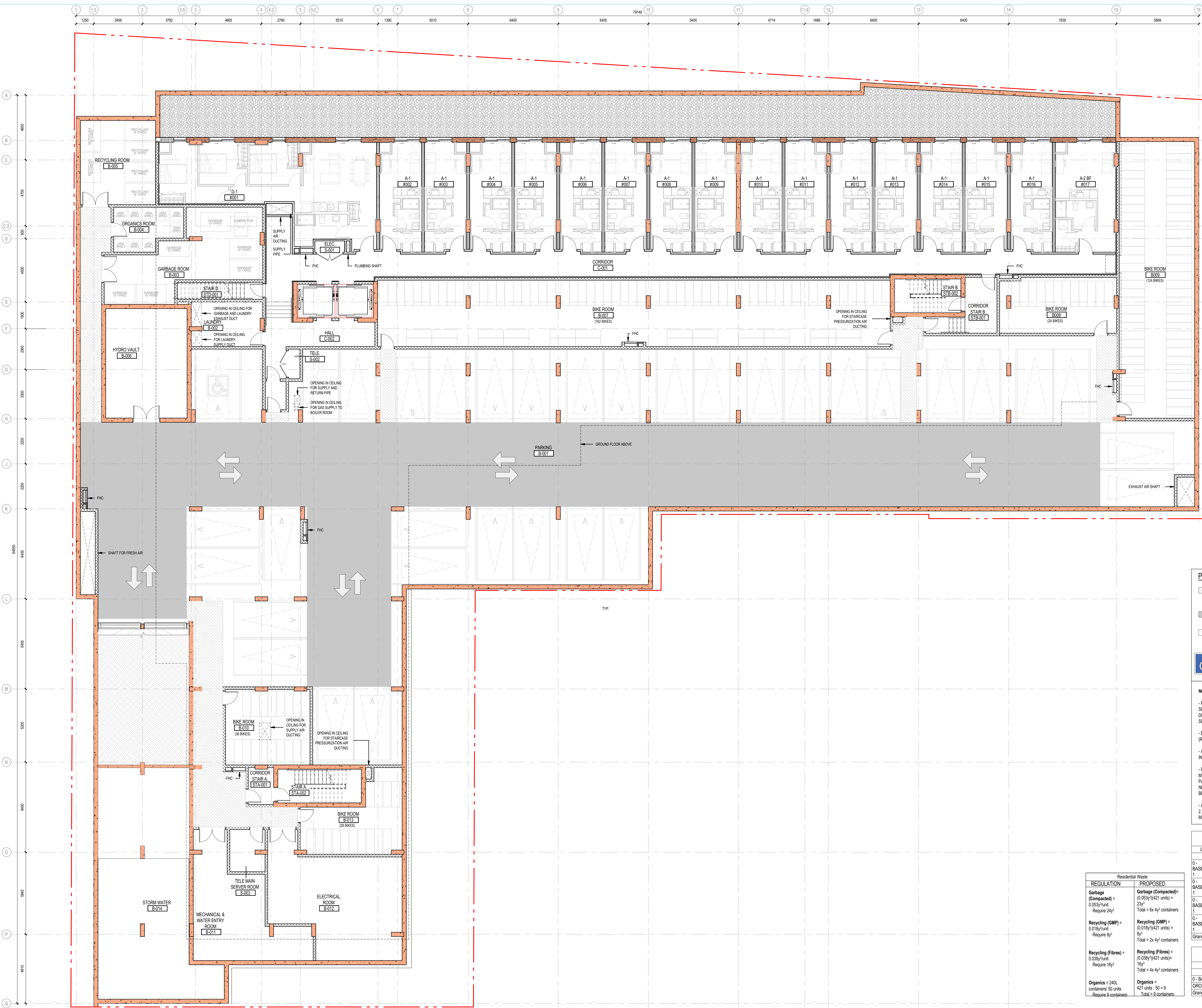
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SITE PLAN - GROUND FLOOR

REVISION Révision **DRAWING NO. / No. Dessin**
2 **A103**

Autodesk Docs://13368_NELSON_R24/NELSON_R24/NELSON_ARC_INT_R24.rvt



PARKING LEGEND

- PEDESTRIAN TRAFFIC HATCHING TO BE PAINTED (REFER TO SPEC SECTION 09 91 13)
- ZONE WITH A CLEAR HEIGHT OF 2100mm MIN.
- TRAFFIC MEMBRANE ON VEHICULAR CIRCULATION (REFER TO SPEC SECTION 07 18 00)
- PAINTED LOGO TO BE PROVIDED (REFER TO SPEC SECTION 09 91 13)

NOTES:

- PARKING SPACES NUMBERING TO BE SPECIFIED/CONFIRMED BY CLIENT DURING CONSTRUCTION (REFER TO SPEC SECTION 09 91 13).
- BOTTOM OF COLUMNS TO BE PAINTED (REFER TO SPEC SECTION 09 91 13).
- ALL PARKING ARE 2.6m x 5.2m UNLESS INDICATED OR NOTED OTHERWISE.
- PARKING SPACES OUTLINE SHOWS THE MINIMUM SPACE REQUIRED. PAINTED PARKING LINES ARE TO BE ALIGNED WITH NEAREST COLUMNS AND BE CENTERED BETWEEN COLUMNS.
- ALL AREAS NOT NOMINATED AS MIN. 2.1m TO HAVE A CLEAR HEIGHT OF 2m MIN.

PARKING SCHEDULE

Level	Description	Count
0- BASEMENT 1	ACCESSIBLE - TYPE A	1
0- BASEMENT 1	SMALL CAR	2
0- BASEMENT 1	STANDARD	14
0- BASEMENT 1	VISITORS	17
Grand total:		34

BIKE PARKING SCHEDULE

Level	Count
0- BASEMENT 1	374
GROUND FLOOR	48
Grand total:	422

Residential Waste	
REGULATION	PROPOSED
Garbage (Compacted) = 0.053y ³ /unit Require 24y ³	Garbage (Compacted) = (0.053y ³)/(421 units) = 23y ³ Total = 6x 4y ³ containers
Recycling (GMP) = 0.018y ³ /unit Require 8y ³	Recycling (GMP) = (0.018y ³)/(421 units) = 8y ³ Total = 2x 4y ³ containers
Recycling (Fibres) = 0.038y ³ /unit Require 19y ³	Recycling (Fibres) = (0.038y ³)/(421 units) = 16y ³ Total = 4x 4y ³ containers
Organics = 240L containers/ 50 units Require 9 containers	Organics = 421 units : 50 = 9 Total = 9 containers

BASEMENT
1:100

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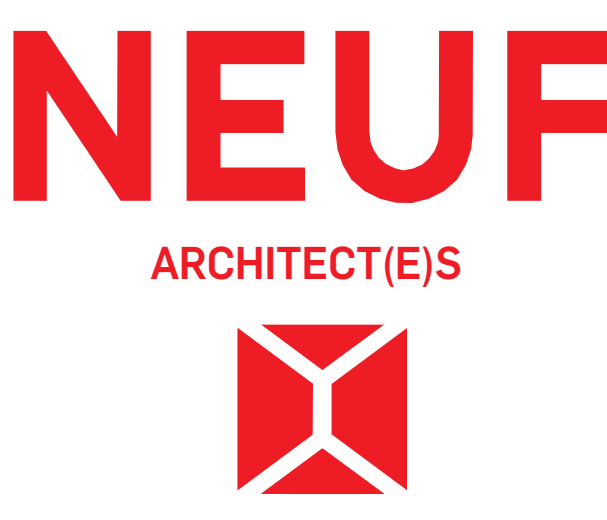
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SMART LIVING PROPERTIES
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PROJECT Ouvrage
112 NELSON
LOCATION Location
112 & 134 NELSON STREET, OTTAWA
PROJET NO. / No. Projet
13368

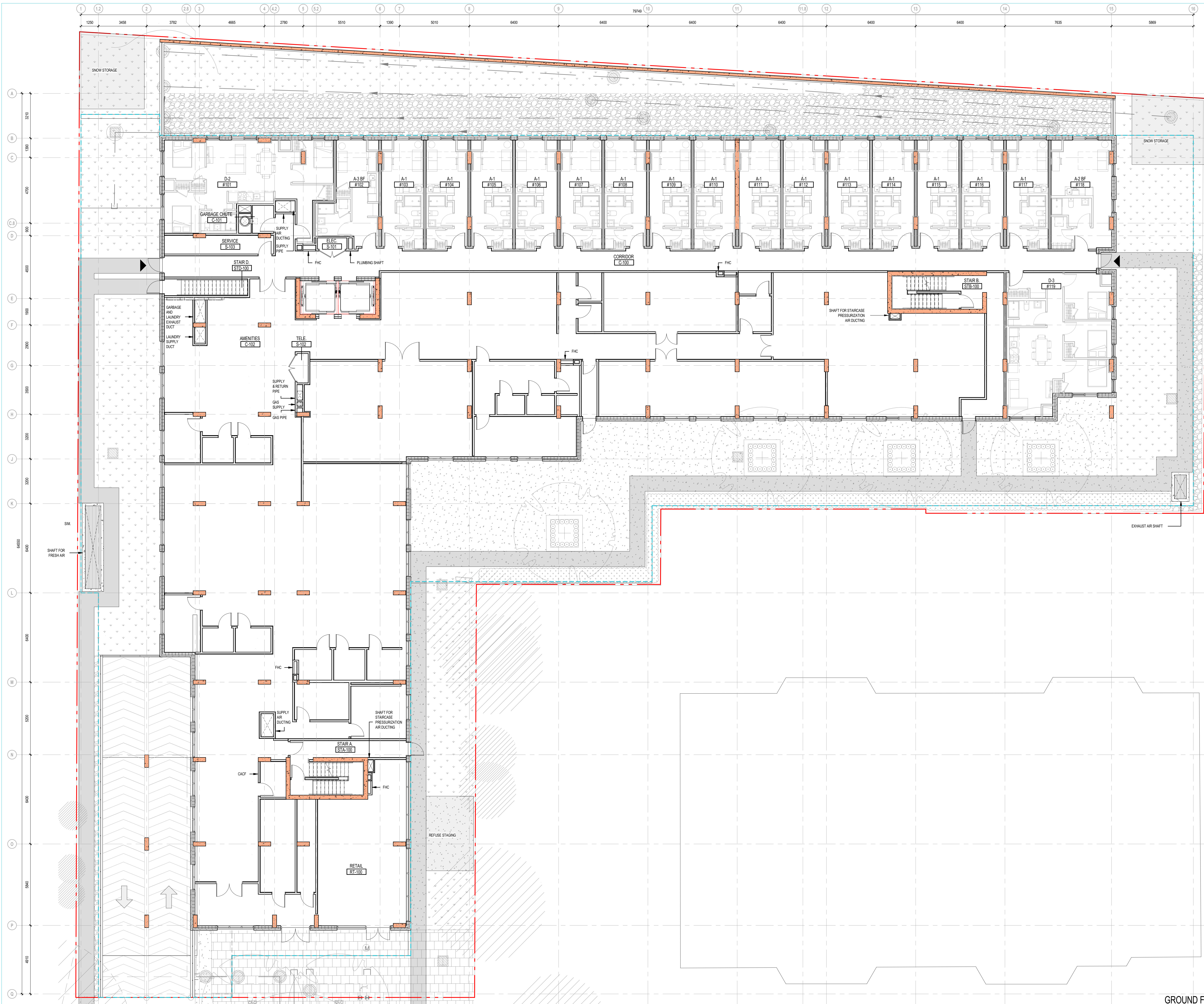
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2	SPC SUBMISSION	2024.07.10

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FLOOR PLAN - BASEMENT

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SCALE Echelle
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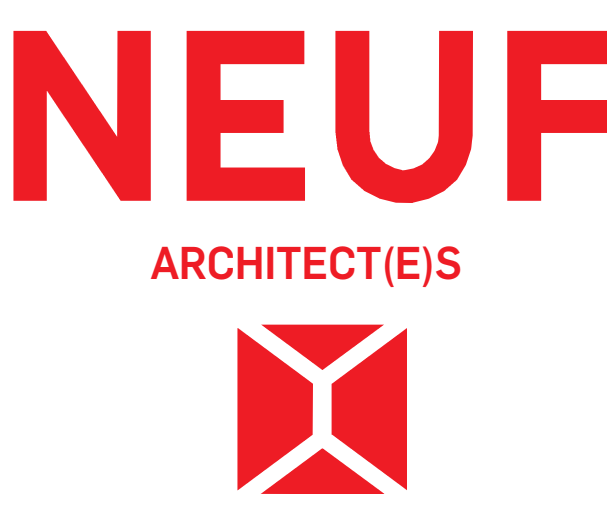
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PROJECT Ouvrage
112 NELSON

LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA

PROJET NO. / No. Projet
13368

NO	REVISION / RÉVISION	DATE (aaaa-mm-jj)
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2	SPC SUBMISSION	2024.07.10

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SCALE Echelle
As indicated

FLOOR PLAN - GROUND FLOOR

REVISION Révision
2

DRAWING NO. No. Dessin
A201

GROUND FLOOR
 1:100

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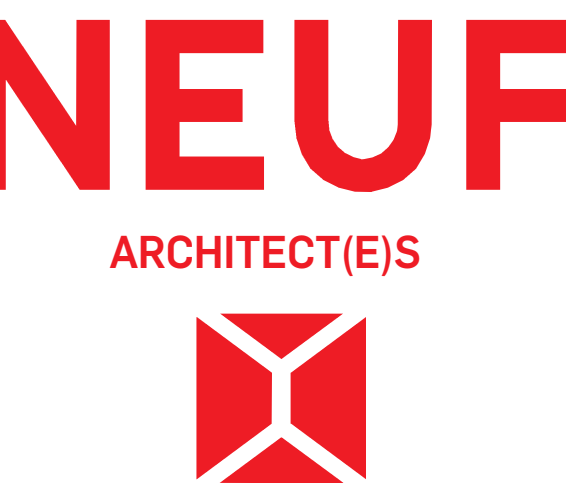
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CLIENT Client
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PROJECT Ouvrage
112 NELSON

LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA

PROJET NO. / No. Projet
13368

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SCALE Echelle
As Indicated

FLOOR PLAN - 2ND FLOOR

REVISION Révision
2

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2ND FLOOR
1:100

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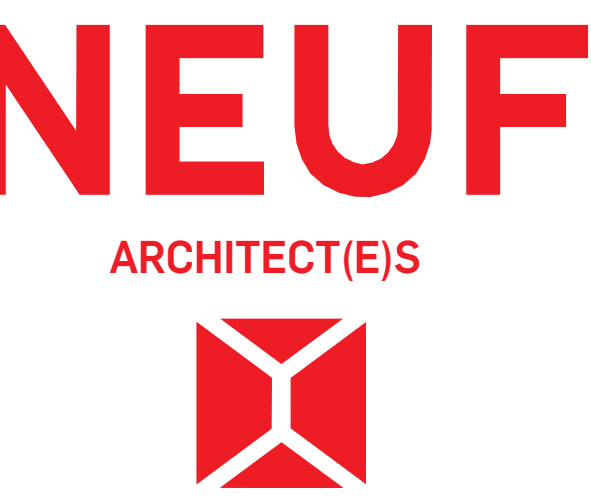
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CLIENT Client
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228 Argyle Avenue, Ottawa, Ontario K2P 1B9

PROJECT Ouvrage
112 NELSON

LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA

PROJET NO. / No. Projet
13368

NO	REVISION / RÉVISION	DATE (aaaa-mm-jj)
1	30% FOR COORDINATION	2024.03.22
2	SPC SUBMISSION	2024.07.10

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DATE (aaaa-mm-jj)
2024.07.10

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FLOOR PLAN - 3RD FLOOR

REVISION Révision
2

DRAWING NO. / No. Dessin
A203

3RD FLOOR
1:100

1
A203

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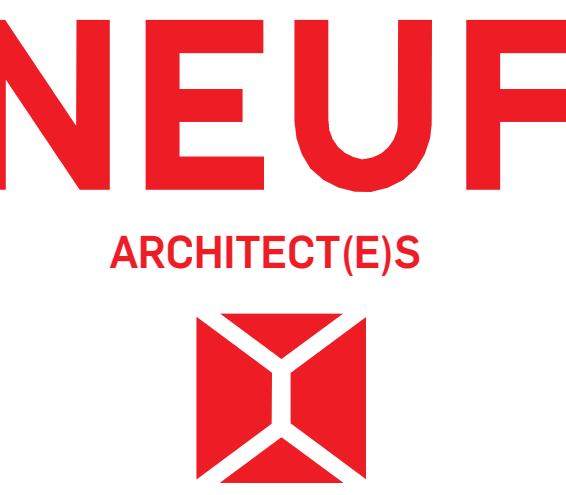
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CLIENT Client
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PROJECT Ouvrage
112 NELSON
LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA

PROJET NO. / No. Projet
13368

NO REVISION / RÉVISION DATE (aaaa-mm-jj)
1 30% FOR COORDINATION 2024.03.22
2 SPC SUBMISSION 2024.07.10

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FLOOR PLAN - 4TH FLOOR

REVISION Révision
2
DRAWING NO. / No. Dessin
A204



4TH FLOOR
1:100

1
A204

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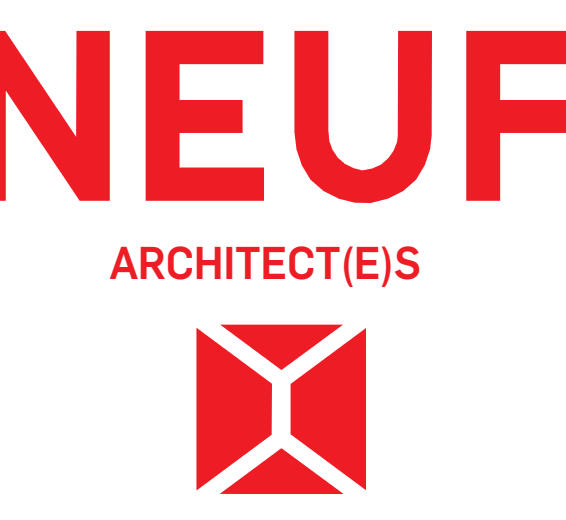
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PROJECT Ouvrage
112 NELSON

LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA

PROJET NO. / No. Projet
13368

NO	REVISION / RÉVISION	DATE (aaaa-mm-jj)
1	30% FOR COORDINATION	2024.03.22
2	SPC SUBMISSION	2024.07.10

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SCALE Echelle
As Indicated

DRAWING TITLE Titre du Dessin
FLOOR PLAN - 5TH FLOOR

REVISION Révision
2

DRAWING NO. No. Dessin
A205



5TH FLOOR
1:100

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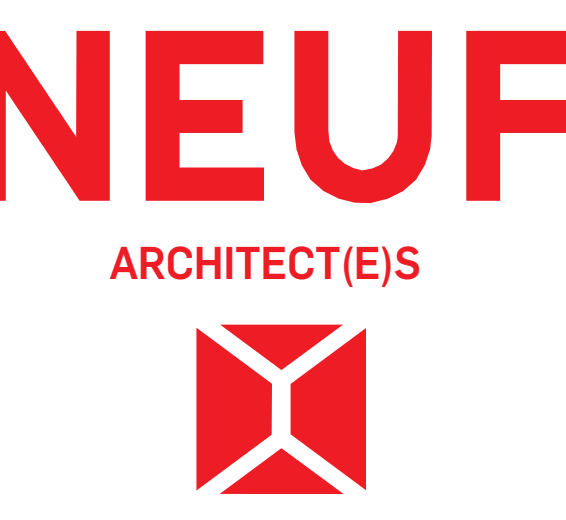
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CLIENT Client
SMART LIVING PROPERTIES
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PROJECT Ouvrage
112 NELSON

LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA

PROJET NO. / No. Projet
13368

NO	REVISION / RÉVISION	DATE (aaaa-mm-jj)
1	30% FOR COORDINATION	2024.03.22
2	SPC SUBMISSION	2024.07.10

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SCALE Echelle
As Indicated

DRAWING TITLE Titre du Dessin
FLOOR PLAN - 6TH FLOOR

REVISION Révision
2

DRAWING NO. No. Dessin
A206



6TH FLOOR
1:100

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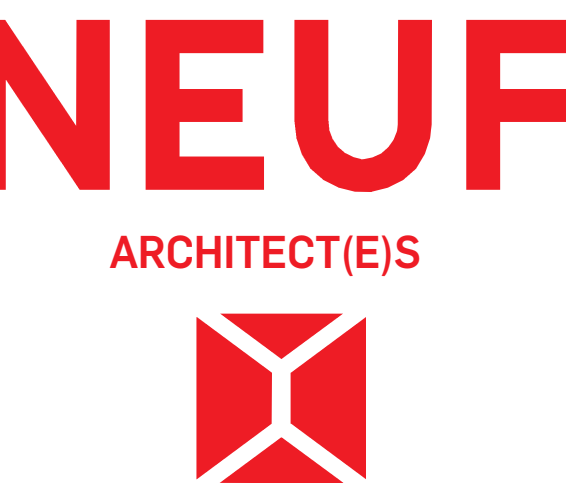
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CLIENT Client
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PROJECT Ouvrage
112 NELSON
LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA
PROJET NO. / No. Projet
13368

NO	REVISION / RÉVISION	DATE (aaaa-mm-jj)
1	30% FOR COORDINATION	2024.03.22
2	SPC SUBMISSION	2024.07.10

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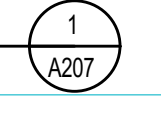
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2024.07.10
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FLOOR PLAN - 7TH FLOOR

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SCALE Echelle
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2
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A207

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7TH FLOOR
1:100



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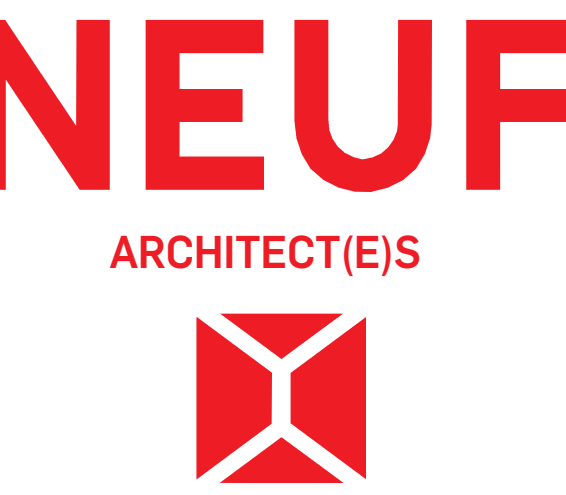
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PROJECT Ouvrage
112 NELSON

LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA

PROJECT NO. / No. Projet
13368

NO REVISION / RÉVISION DATE (aaaa-mm-jj)
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DRAWING NO. No. Dessin
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8TH FLOOR
1:100

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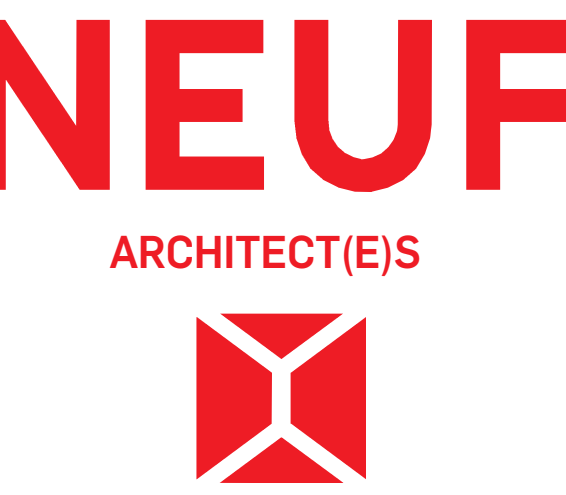
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CLIENT Client
SMART LIVING PROPERTIES
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PROJECT Ouvrage
112 NELSON
LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA
PROJECT NO. / No. Projet
13368

NO	REVISION / RÉVISION	DATE (aaaa-mm-jj)
1	30% FOR COORDINATION	2024.03.22
2	SPC SUBMISSION	2024.07.10

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FLOOR PLAN - 9TH FLOOR

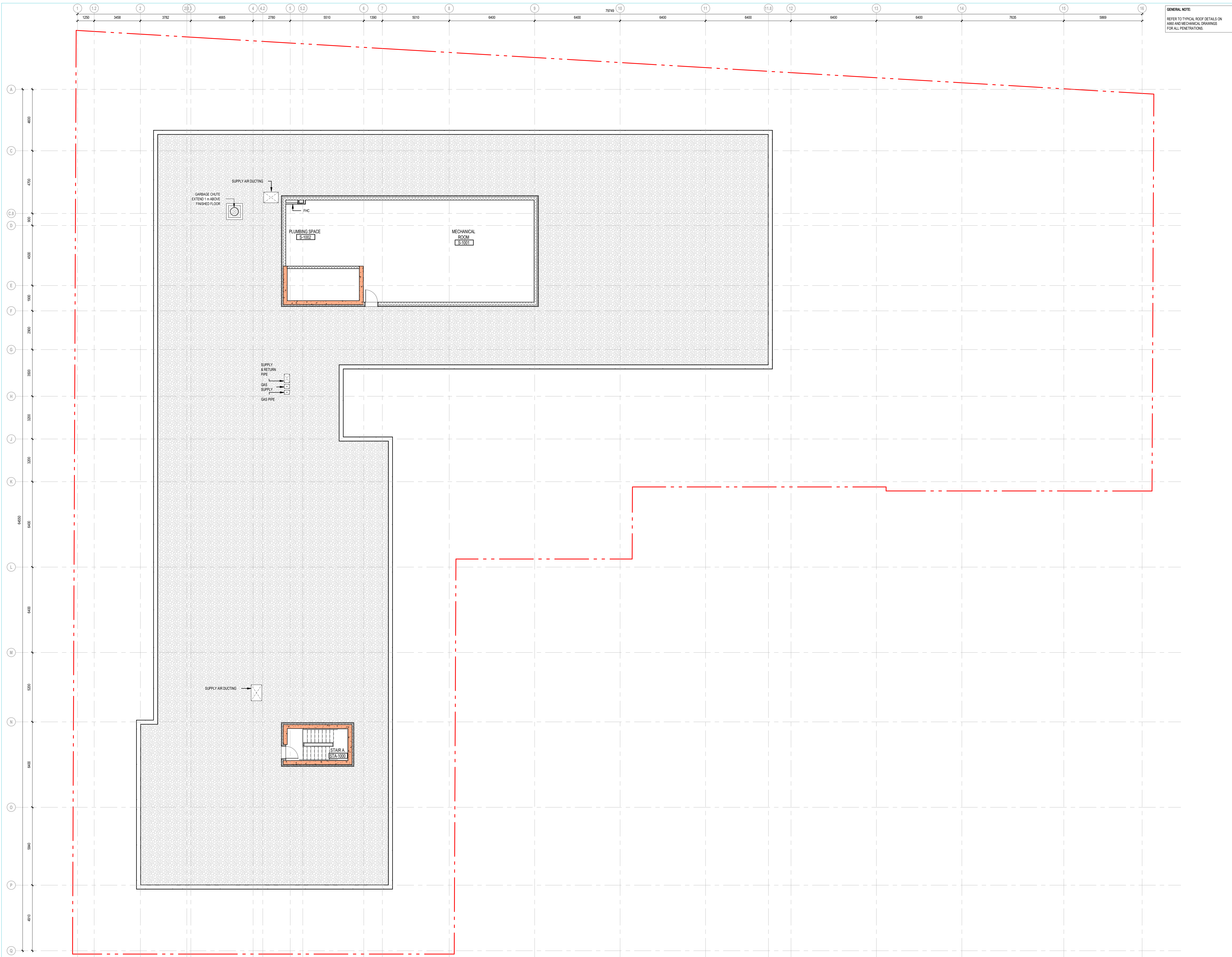
REVISION Révision
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DRAWING NO. No. Dessin
A209

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9TH FLOOR
1:100

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A209

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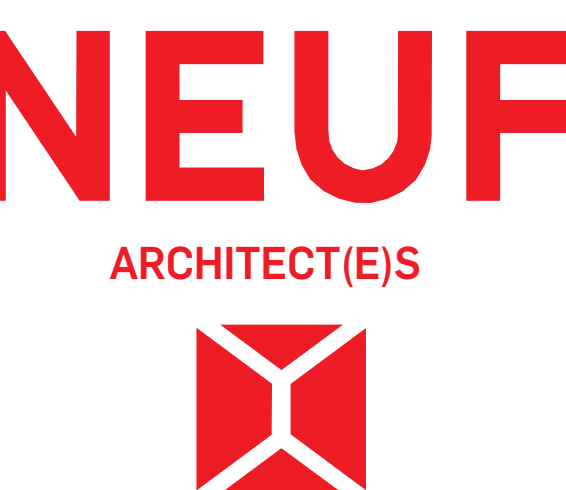
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CLIENT Client

SMART LIVING PROPERTIES
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PROJECT Ouvrage
112 NELSON

LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA

PROJ. NO. / No. Proj. **13368**

NO	REVISION / RÉVISION	DATE (aaaa-mm-jj)
1	30% FOR COORDINATION	2024.03.22
2	SPC SUBMISSION	2024.07.10

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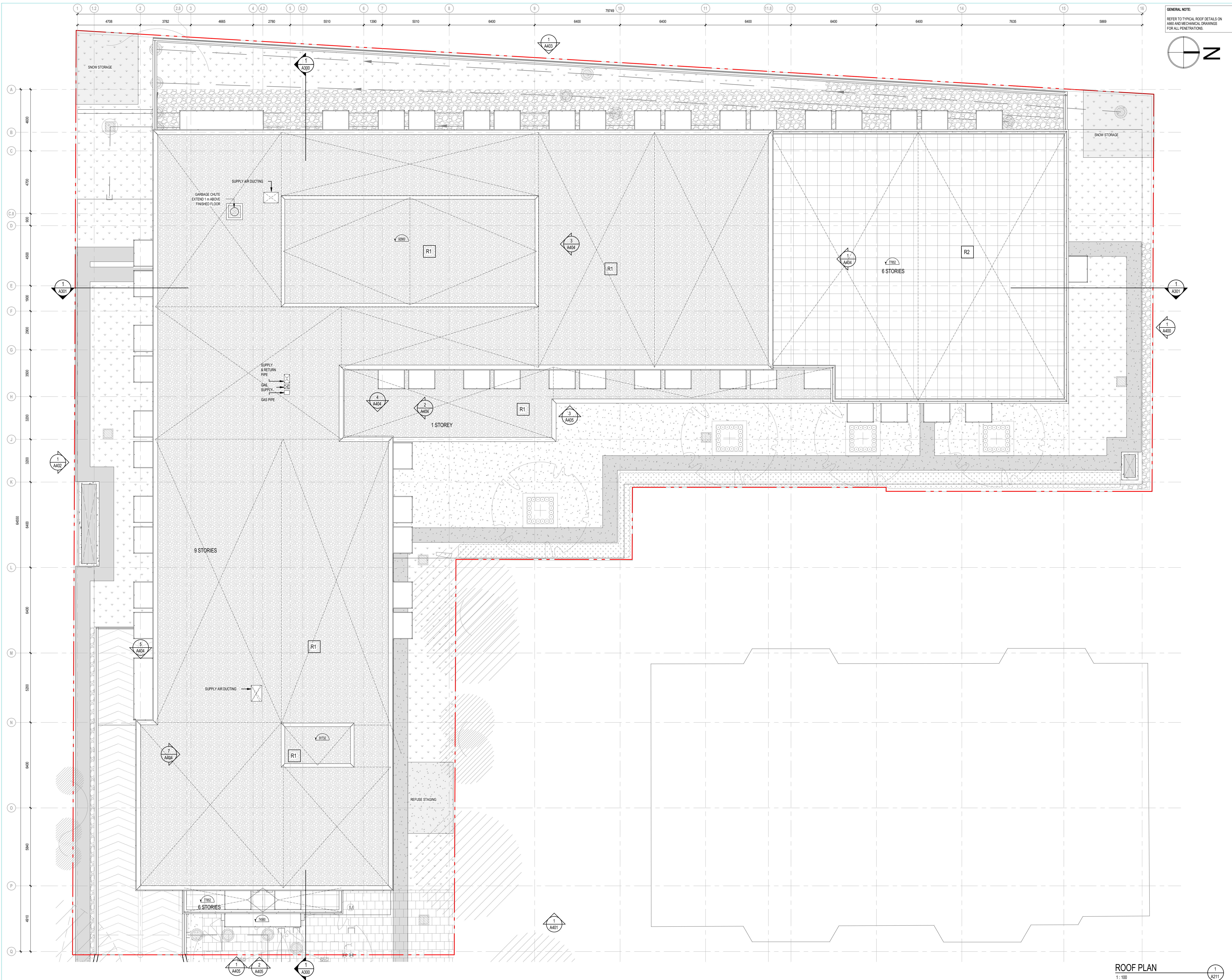
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 DATE (aaaa.mm.jj) **2024.07.10** SCALE Echelle **As indicated**

FLOOR PLAN - MECHANICAL FLOOR

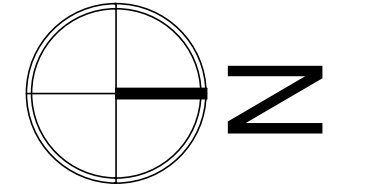
REVISION Révision **2** DRAWING NO. / No. Dessin **A210**

ROOF (MECHANICAL SPACES)
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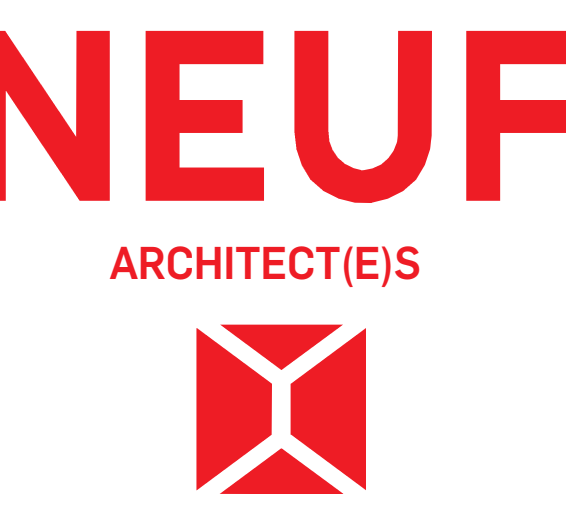
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CLIENT Client
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PROJECT Ouvrage
112 NELSON

LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA

NO	REVISION / RÉVISION	DATE (aaaa-mm-jj)
1	30% FOR COORDINATION	2024.03.22
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ROOF PLAN

REVISION Révision
2

DRAWING NO. Nb. Dessin
A211

ROOF PLAN
1:100



EXTERIOR MATERIALS LEGEND	
MASONRY	
1.1	MASONRY FINISH: GREY (COLOR CODE TBC)
1.2	MASONRY FINISH: GREY (COLOR CODE TBC)
METAL CLADDING	
2.1	PRE-PAINTED METAL PANEL FINISH: OFF-WHITE (COLOR CODE TBC)
2.2	PRE-PAINTED METAL PANEL FINISH: GREY (COLOR CODE TBC)
2.3	PRE-PAINTED METAL FLASHING FINISH: GREY (COLOR CODE TBC)
2.4	PRE-PAINTED METAL FLASHING FINISH: OFF-WHITE (COLOR CODE TBC)
2.5	PRE-PAINTED METAL PANEL FINISH: OFF-WHITE (COLOR CODE TBC)
WINDOWS, DOORS AND CURTAIN WALLS	
WINDOWS, CURTAIN WALLS AND DOORS: PRE-PAINTED ALUMINUM & CLEAR TEMPERED GLASS FINISH: PALE CHARCOAL (COLOR CODE TBC)	
4.1	DOOR: PAINTED STEEL FINISH: PALE CHARCOAL (COLOR CODE TBC)
4.2	DOOR: PAINTED STEEL FINISH: OFF-WHITE (COLOR CODE TBC)
RAILINGS AND SCREENS	
5.1	ANODIZED ALUMINUM FRAME & NATURAL CLEAR GLASS FINISH: OFF-WHITE (COLOR CODE TBC)
5.2	ANODIZED ALUMINUM FRAME & PATTERNED GLASS FINISH: OFF-WHITE (COLOR CODE TBC)

ELEVATION LEGEND	
MATERIAL NOTE	
D	EXTERIOR DOOR/BALCONY TYPE SYMBOL (SEE DOOR SCHEDULE SHEET)
W	WINDOW TYPE SYMBOL (SEE WINDOW ELEVATIONS SHEET)
CW	CURTAIN WALL ELEVATION SYMBOL (SEE WINDOW ELEVATIONS SHEET)
EX	LIGHTING FIXTURE SYMBOL (SEE ELEC. DRAWINGS)
STRUCTURAL LINTEL (TO BE INTERRUPTED AT VERTICAL MOVEMENT JOINT)	
LOOSE LINTEL	
VERTICAL MOVEMENT JOINT	
RADIATION FACADE SURFACE TO BE PROTECTED, 1HR RAF.	

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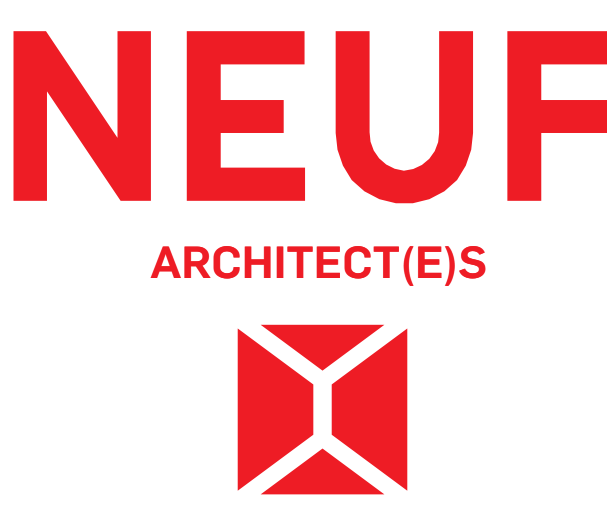
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CLIENT Client

SMART LIVING PROPERTIES
 226 Argyle Avenue, Ottawa, Ontario K2P 1B9

PROJECT Ouvrage
112 NELSON

LOCATION Emplacement **PROJET NO. / No. Projet**
112 & 134 NELSON STREET, OTTAWA **13368**

NO	REVISION / RÉVISION	DATE (aaaa-mm-jj)
1	30% FOR COORDINATION	2024.03.22
2	SPC SUBMISSION	2024.07.10

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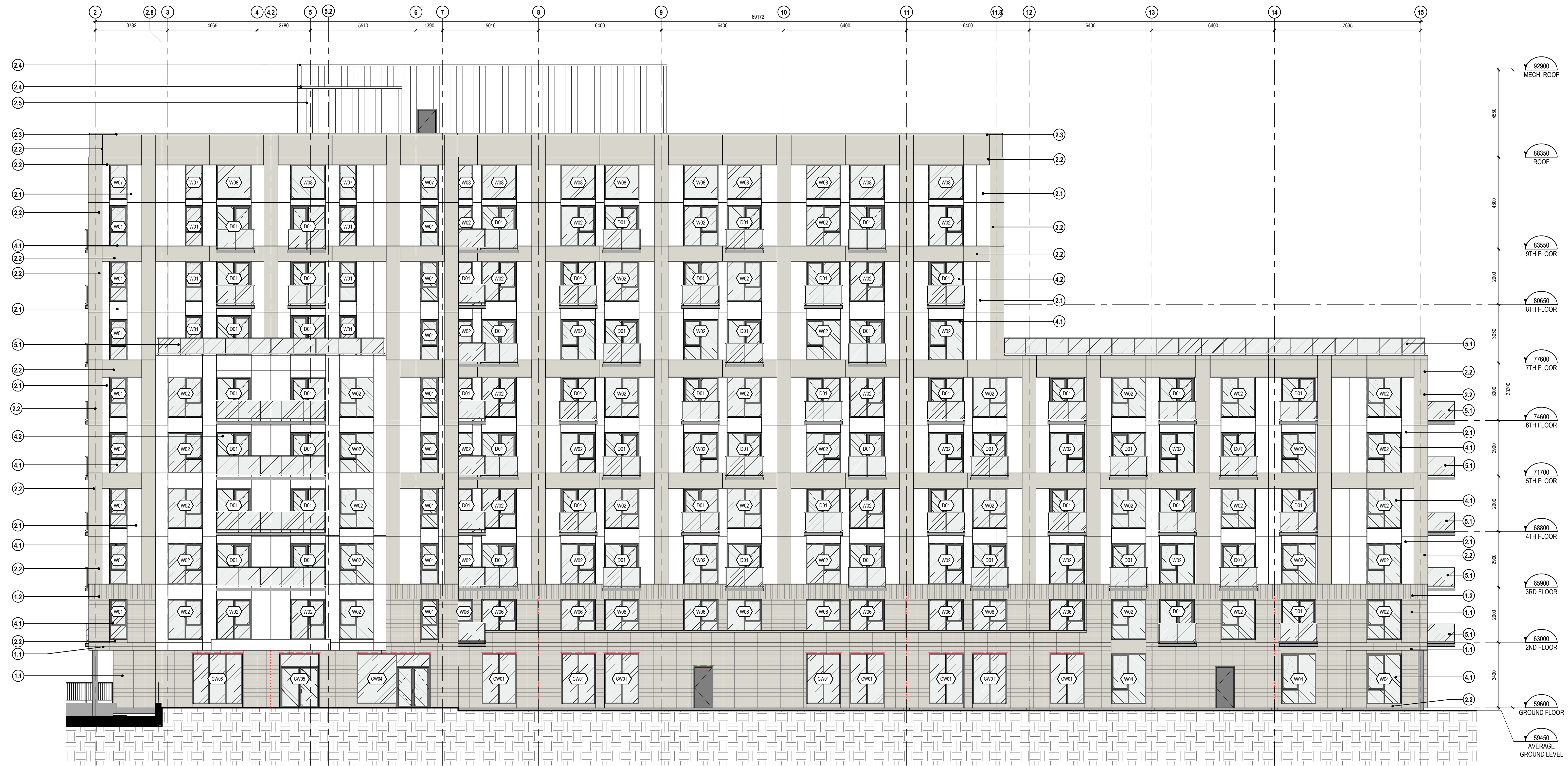
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DATE (aaaa mm jj) **SCALE Echelle**
 2024.07.10 As Indicated
DRAWING TITLE Titre du Dessin

NORTH ELEVATION

REVISION Révision **DRAWING NO. No. Dessin**
2 **A400**

NORTH ELEVATION
 1:100

EXTERIOR MATERIALS LEGEND		ELEVATION LEGEND	
MASONRY		MATERIAL NOTE	
1.1	MASONRY FINISH: GREY (COLOR CODE TBC)	D	EXTERIOR DOOR/BALCONY TYPE SYMBOL (SEE DOOR SCHEDULE SHEET)
1.2	MASONRY FINISH: GREY (COLOR CODE TBC)	W	WINDOW TYPE SYMBOL (SEE WINDOW ELEVATIONS SHEET)
METAL CLADDING		CW	CURTAIN WALL ELEVATION SYMBOL (SEE WINDOW ELEVATIONS SHEET)
2.1	PRE-PAINTED METAL PANEL FINISH: OFF-WHITE (COLOR CODE TBC)	EX	LIGHTNING FIXTURE SYMBOL (SEE ELEC. DRAWINGS)
2.2	PRE-PAINTED METAL PANEL FINISH: GREY (COLOR CODE TBC)	---	STRUCTURAL LINTEL (TO BE INTERRUPTED AT VERTICAL MOVEMENT JOINT)
2.3	PRE-PAINTED METAL FLASHING FINISH: GREY (COLOR CODE TBC)	- - -	LOOSE LINTEL
2.4	PRE-PAINTED METAL FLASHING FINISH: OFF-WHITE (COLOR CODE TBC)	---	VERTICAL MOVEMENT JOINT
2.5	PRE-PAINTED METAL PANEL FINISH: OFF-WHITE (COLOR CODE TBC)	▨	RADIATION FACADE SURFACE TO BE PROTECTED, 1HR RWF.
WINDOWS, DOORS AND CURTAIN WALLS			
4.1	WINDOWS, CURTAIN WALLS AND DOORS: PRE-PAINTED ALUMINUM & CLEAR TEMPERED GLASS FINISH: PALE CHARCOAL (COLOR CODE TBC)		
4.2	DOOR: PAINTED STEEL FINISH: PALE CHARCOAL (COLOR CODE TBC)		
4.3	DOOR: PAINTED STEEL FINISH: OFF-WHITE (COLOR CODE TBC)		
RAILINGS AND SCREENS			
5.1	ANODIZED ALUMINUM FRAME & NATURAL CLEAR GLASS FINISH: OFF-WHITE (COLOR CODE TBC)		
5.2	ANODIZED ALUMINUM FRAME & PATTERNED GLASS FINISH: OFF-WHITE (COLOR CODE TBC)		



EAST ELEVATION
1 : 100

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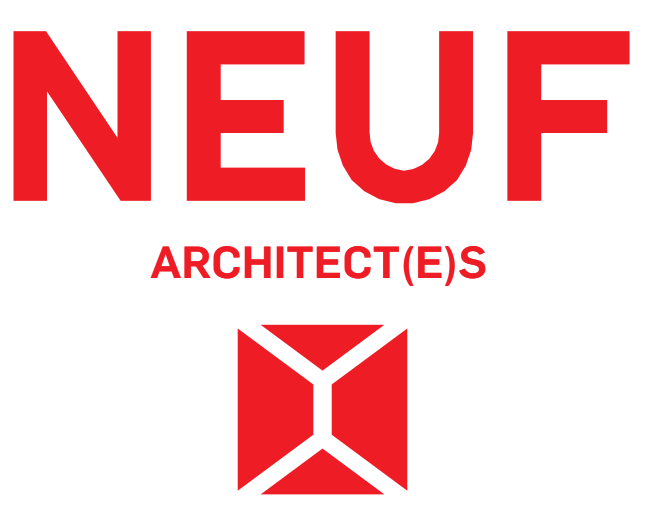
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SCEAU / Seal



CLIENT Client
SMART LIVING PROPERTIES
226 Argyle Avenue, Ottawa, Ontario K2P 1B9

PROJECT Ouvrage
112 NELSON

LOCATION Emplacement
112 & 134 NELSON STREET, OTTAWA

PROJECT NO. / No. Projet
13368

NO REVISION / RÉVISION **DATE** (aaaa-mm-jj)
1 30% FOR COORDINATION 2024.03.22
2 SPC SUBMISSION 2024.07.10

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EAST ELEVATION

REVISION Révision **DRAWING NO. / No. Dessin**
2 **A401**

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EXTERIOR MATERIALS LEGEND	
MASONRY	
1.1	MASONRY FINISH: GREY (COLOR CODE TBC)
1.2	MASONRY FINISH: GREY (COLOR CODE TBC)
METAL CLADDING	
2.1	PRE-PAINTED METAL PANEL FINISH: OFF-WHITE (COLOR CODE TBC)
2.2	PRE-PAINTED METAL PANEL FINISH: GREY (COLOR CODE TBC)
2.3	PRE-PAINTED METAL FLASHING FINISH: GREY (COLOR CODE TBC)
2.4	PRE-PAINTED METAL FLASHING FINISH: OFF-WHITE (COLOR CODE TBC)
2.5	PRE-PAINTED METAL PANEL FINISH: OFF-WHITE (COLOR CODE TBC)
WINDOWS, DOORS AND CURTAIN WALLS	
WINDOWS, CURTAIN WALLS AND DOORS: PRE-PAINTED ALUMINUM & CLEAR TEMPERED GLASS FINISH: PALE CHARCOAL (COLOR CODE TBC)	
4.2	DOOR: PAINTED STEEL FINISH: PALE CHARCOAL (COLOR CODE TBC)
4.3	DOOR: PAINTED STEEL FINISH: OFF-WHITE (COLOR CODE TBC)
RAILINGS AND SCREENS	
5.1	ANODIZED ALUMINUM FRAME & NATURAL CLEAR GLASS FINISH: OFF-WHITE (COLOR CODE TBC)
5.2	ANODIZED ALUMINUM FRAME & PATTERNED GLASS FINISH: OFF-WHITE (COLOR CODE TBC)

ELEVATION LEGEND	
MATERIAL NOTE	
D	EXTERIOR DOOR BALCONY TYPE SYMBOL (SEE DOOR SCHEDULE SHEET)
W	WINDOW TYPE SYMBOL (SEE WINDOW ELEVATIONS SHEET)
CW	CURTAIN WALL ELEVATION SYMBOL (SEE WINDOW ELEVATIONS SHEET)
EX	LIGHTING FIXTURE SYMBOL (SEE ELEC. DRAWINGS)
STRUCTURAL LINTEL (TO BE INTERRUPTED AT VERTICAL MOVEMENT JOINT)	
LOOSE LINTEL	
VERTICAL MOVEMENT JOINT	
RADIATION FACADE SURFACE TO BE PROTECTED, 1HR RAF.	

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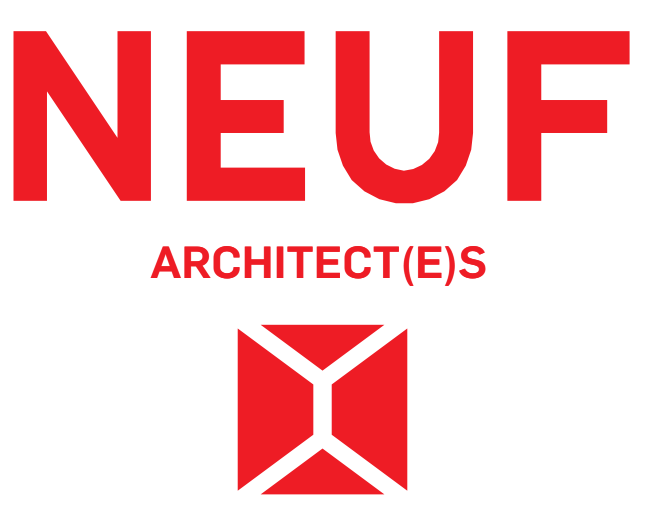
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PROJECT Ouvrage
112 NELSON

LOCATION Emplacement **PROJET NO. / No. Projet**
112 & 134 **13368**
NELSON STREET,
OTTAWA

NO	REVISION / RÉVISION	DATE (aaaa-mm-jj)
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SOUTH ELEVATIONS

REVISION Révision **DRAWING NO. No. Dessin**
2 **A402**



SOUTH ELEVATION
 1 / A402
 1:100

EXTERIOR MATERIALS LEGEND		ELEVATION LEGEND	
MASONRY		MATERIAL NOTE	
1.1	MASONRY FINISH: GREY (COLOR CODE TBC)	D	EXTERIOR DOOR BALCONY TYPE SYMBOL (SEE DOOR SCHEDULE SHEET)
1.2	MASONRY FINISH: GREY (COLOR CODE TBC)	W	WINDOW TYPE SYMBOL (SEE WINDOW ELEVATIONS SHEET)
METAL CLADDING		CW	CURTAIN WALL ELEVATION SYMBOL (SEE WINDOW ELEVATIONS SHEET)
2.1	PRE-PAINTED METAL PANEL FINISH: OFF-WHITE (COLOR CODE TBC)	EX	LIGHTNING FIXTURE SYMBOL (SEE ELEC. DRAWINGS)
2.2	PRE-PAINTED METAL PANEL FINISH: GREY (COLOR CODE TBC)	---	STRUCTURAL LINTEL (TO BE INTERRUPTED AT VERTICAL MOVEMENT JOINT)
2.3	PRE-PAINTED METAL FLASHING FINISH: GREY (COLOR CODE TBC)	- - -	LOOSE LINTEL
2.4	PRE-PAINTED METAL FLASHING FINISH: OFF-WHITE (COLOR CODE TBC)	---	VERTICAL MOVEMENT JOINT
2.5	PRE-PAINTED METAL PANEL FINISH: OFF-WHITE (COLOR CODE TBC)	▨	RADIATION FACADE SURFACE TO BE PROTECTED, 1HR RWF.
WINDOWS, DOORS AND CURTAIN WALLS			
4.1	WINDOWS, CURTAIN WALLS AND DOORS: PRE-PAINTED ALUMINIUM & CLEAR TEMPERED GLASS FINISH: PALE CHARCOAL (COLOR CODE TBC)		
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4.3	DOOR: PAINTED STEEL FINISH: OFF-WHITE (COLOR CODE TBC)		
RAILINGS AND SCREENS			
5.1	ANODIZED ALUMINIUM FRAME & NATURAL CLEAR GLASS FINISH: OFF-WHITE (COLOR CODE TBC)		
5.2	ANODIZED ALUMINIUM FRAME & PATTERNED GLASS FINISH: OFF-WHITE (COLOR CODE TBC)		

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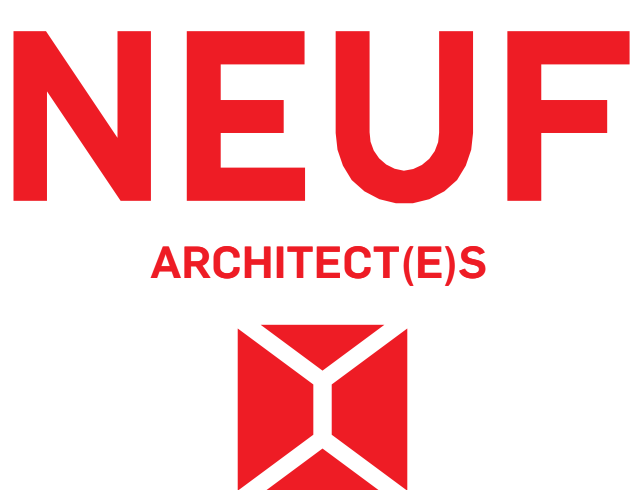
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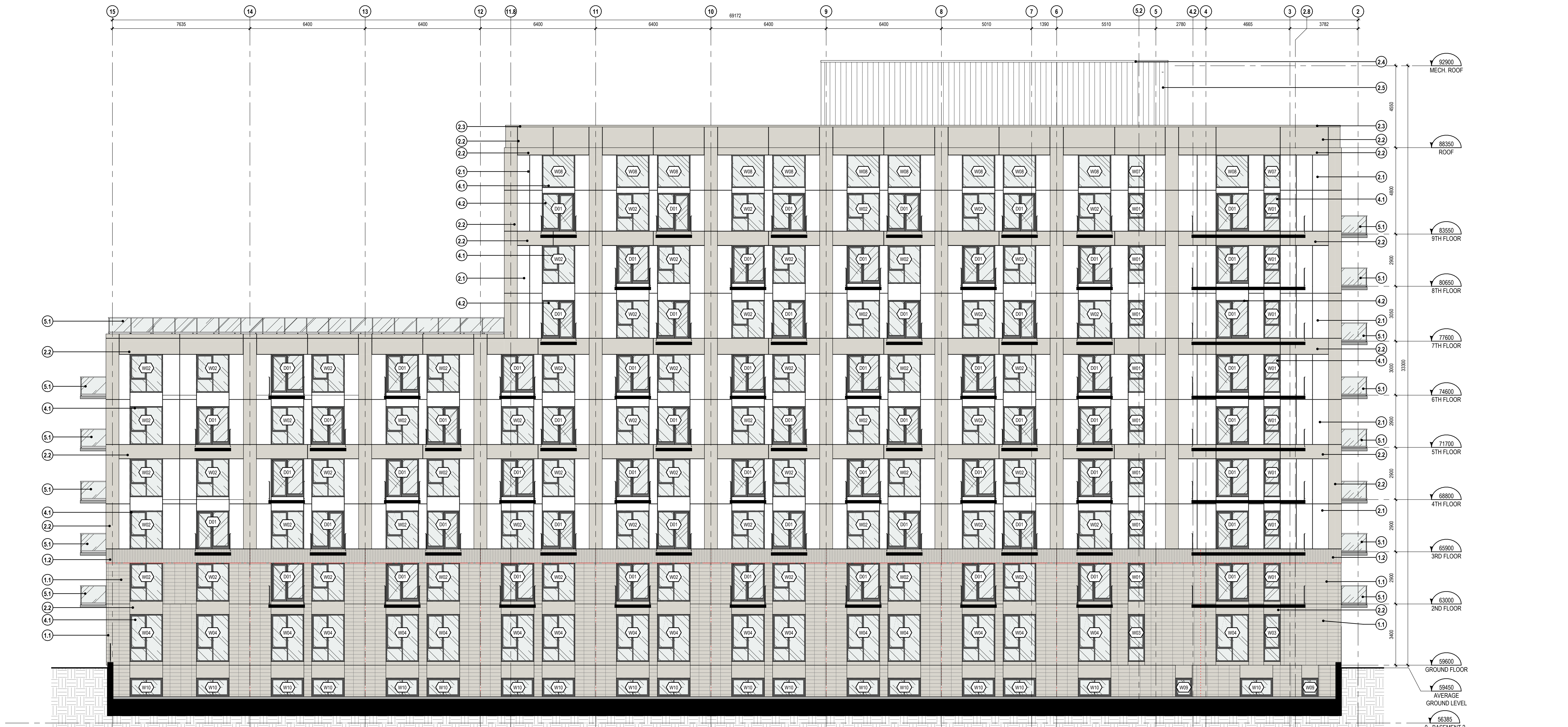
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WEST ELEVATION

REVISION Révision: 2
DRAWING NO. No. Dessin: A403



WEST ELEVATION
 1: 100

