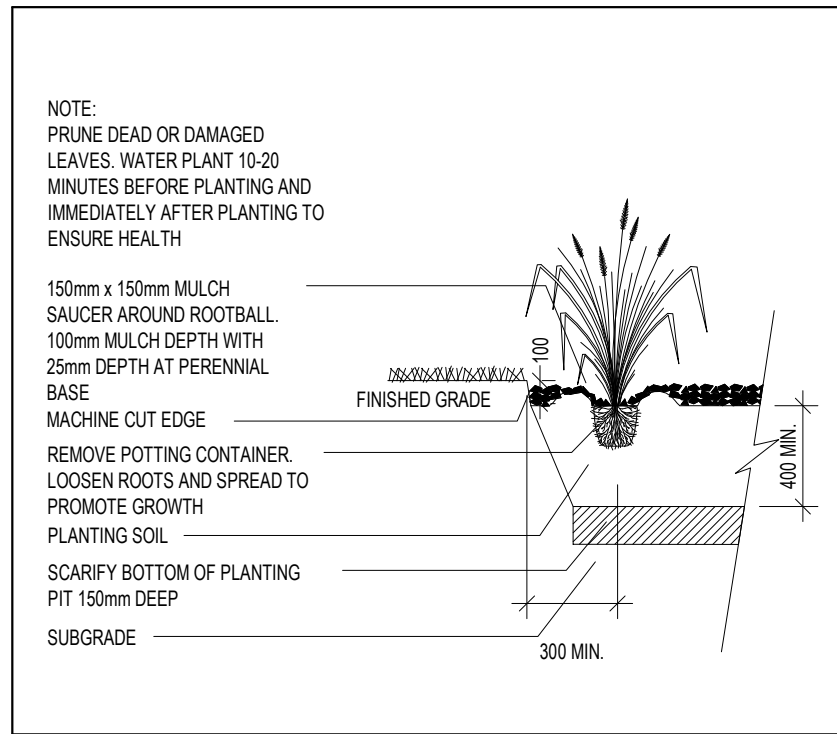
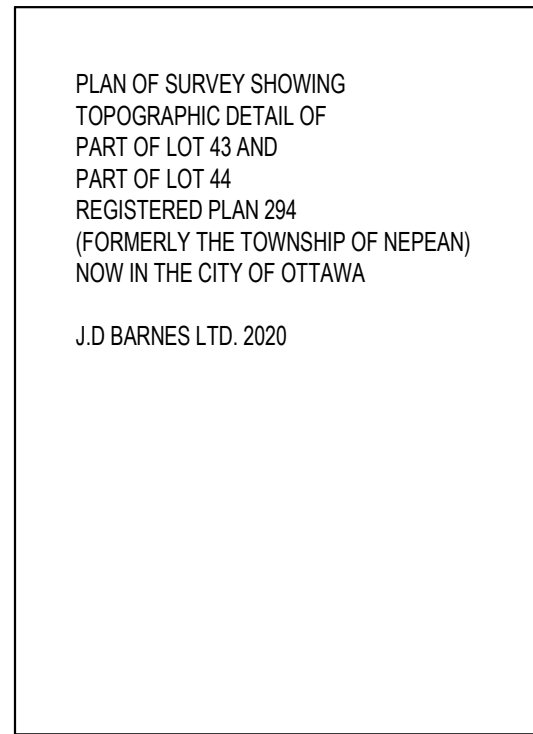


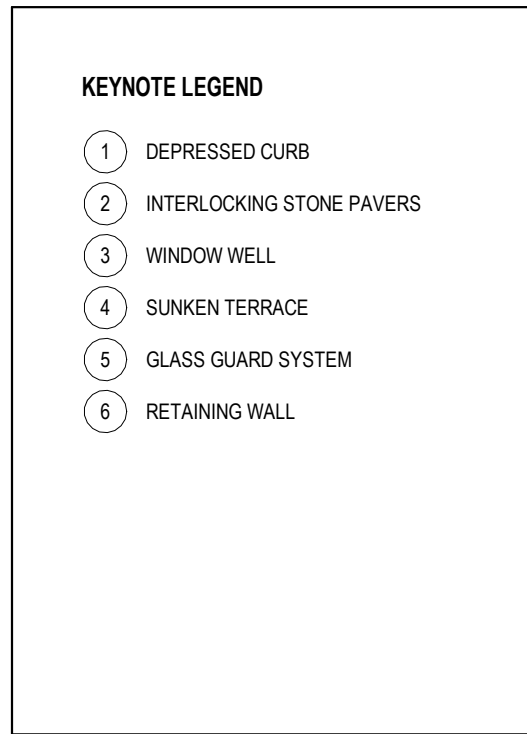
8 PRE-CAST PAVING  
SP-01 SCALE: 1 : 30



6 POTTED PLANT PLANTING  
SP-01 SCALE: 1 : 30



5 SURVEY INFO  
SP-01 SCALE: 1 : 1



3 KEYNOTE LEGEND  
SP-01 SCALE: 1 : 1



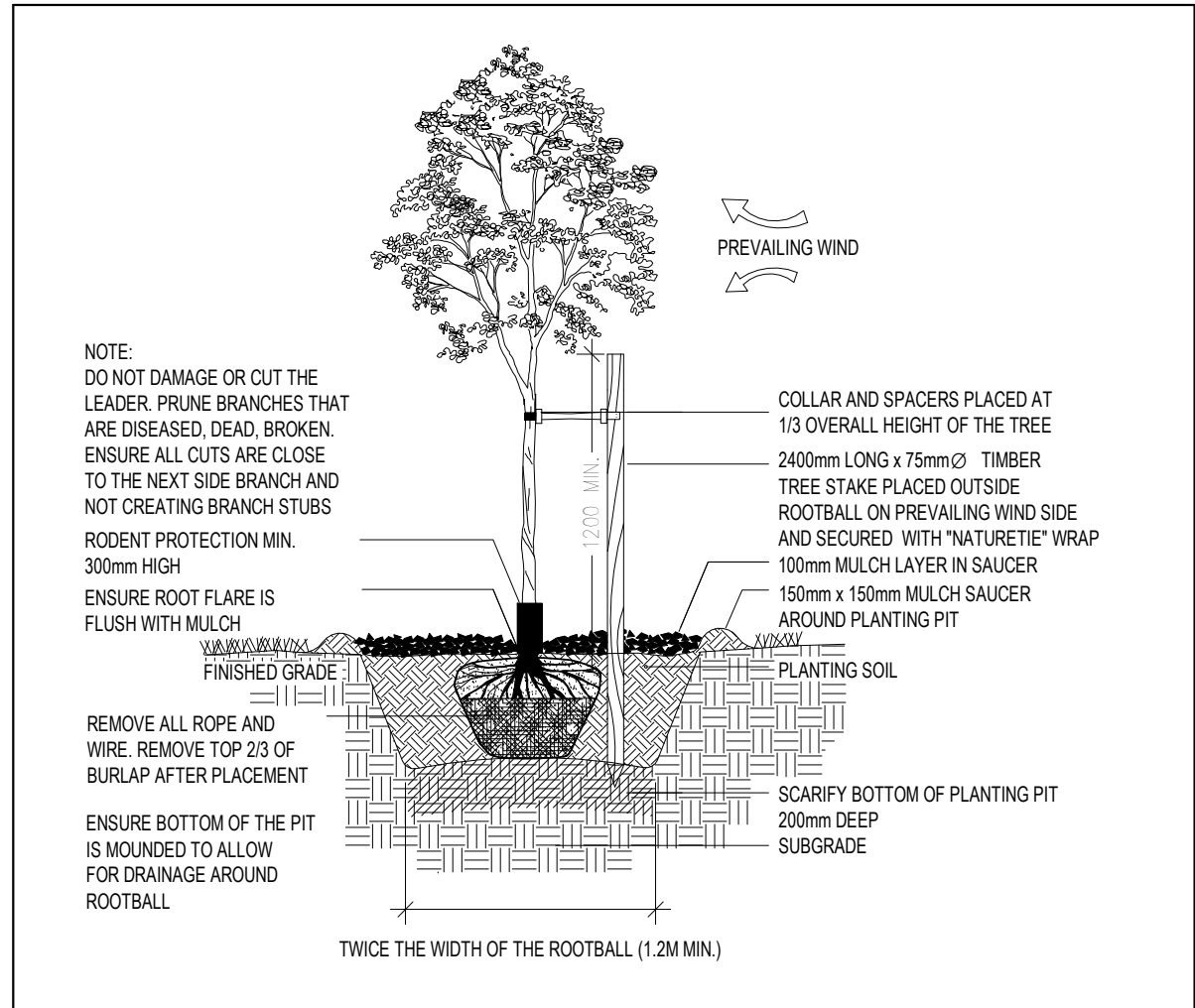
SYMBOLS LEGEND  
SCALE: 1 : 100



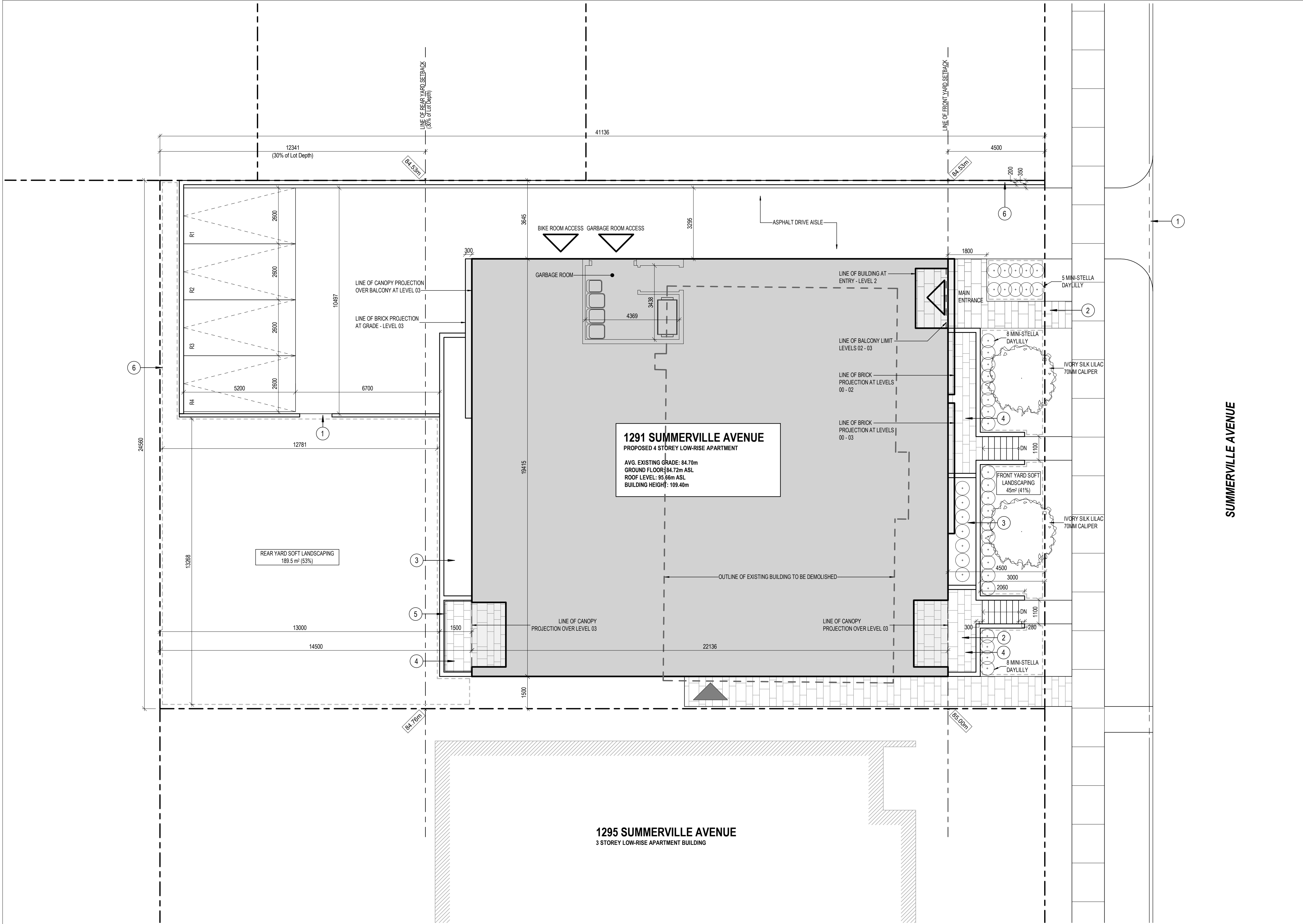
4 LOCATION PLAN  
SP-01 SCALE: 1 : 1

Site Statistics		
Zoning Designation:	R4-UC	
Lot Width:	24.56m	
Total Lot Area:	1,010m2	
Average Existing Grade:	84.71m	
Proposed Development - 16 Unit Low-Rise Apartment		
Zoning Mechanism	Required	Provided
Minimum Lot Width 162(a)	15m	24.56m
Minimum Lot Area 162(a)	450m2	1,010.3m2
Min. Front Yard Setback 162(a)	4.5m	4.5m
Min. Interior Side Yard Setback 162(a)	1.5m	1.5m
Min Rear Yard Setback 161(a)(iii)	12.34m (30% of Lot Depth)	14.5m
Maximum Building height 162(a)	11m	10.95m
Parking Space Rates 161(14)	2 Spaces (Area "X", no parking required for first 12 units, 0.5/unit thereafter)	4 Spaces
Minimum Visitor Parking Rates 161(14)(i)	0 Spaces (Area "X", no parking required for first 12 units, 0.1/unit thereafter)	0 Spaces
Bicycle Parking Rates Table 111A(b)(i)	8 Spaces (16 units x 0.5)	8 Spaces
Landscaped Area 161 (8)	303m2 (Lots 450m2 or greater, at least 30% of the lot area)	335m2 (33%)
Soft Landscaping 161 (13)(b)(iii)	178.1m2 (Lots 450m2 or greater, at least 50% of the rear yard)	169.5m2
Front Yard Soft Landscaping Table 161	44m2 (40% of Front Yard)	45m2
Minimum 2-Bedroom Unit Rates 161(14)(ii)	4 Units (At least 25% of units)	14 Units (88% of Units)
Front Façade Minimum Glazing 161(13)(g)	56.75m2 (25% of front façade)	110.98m2 (49% of front façade)
Façade Articulation / Balconies 161(13)(j)(ii)	No recession required on the front façade if on a lot of 15m or more there is a balcony for each unit that faces a public street above the first storey.	Complies

2 ZONING  
SP-01 SCALE: 1 : 1



7 DECIDUOUS TREE PLANTING  
SP-01 SCALE: 1 : 30



1 SITE PLAN  
SP-01 SCALE: 1 : 100

GENERAL ARCHITECTURAL NOTES:  
1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.  
2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.  
3. Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.  
4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.  
5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.  
6. These documents are not to be used for construction unless specifically noted for such purpose.

8 ISSUED FOR SITE PLAN CONTROL	21-08-16
7 ISSUED FOR SITE PLAN CONTROL	21-06-17
6 ISSUED FOR COORDINATION	21-05-27
5 ISSUED FOR COORDINATION	21-05-25
4 ISSUED FOR COORDINATION	21-04-28
3 ISSUED FOR COORDINATION	21-04-26
1 ISSUED FOR COORDINATION	21-03-30

#### ISSUE RECORD



project1  
studio

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#### 1291 SUMMERVILLE

1291 Summerville Avenue  
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2019	NOTED	BH	RMK

#### SITE PLAN

SP-01