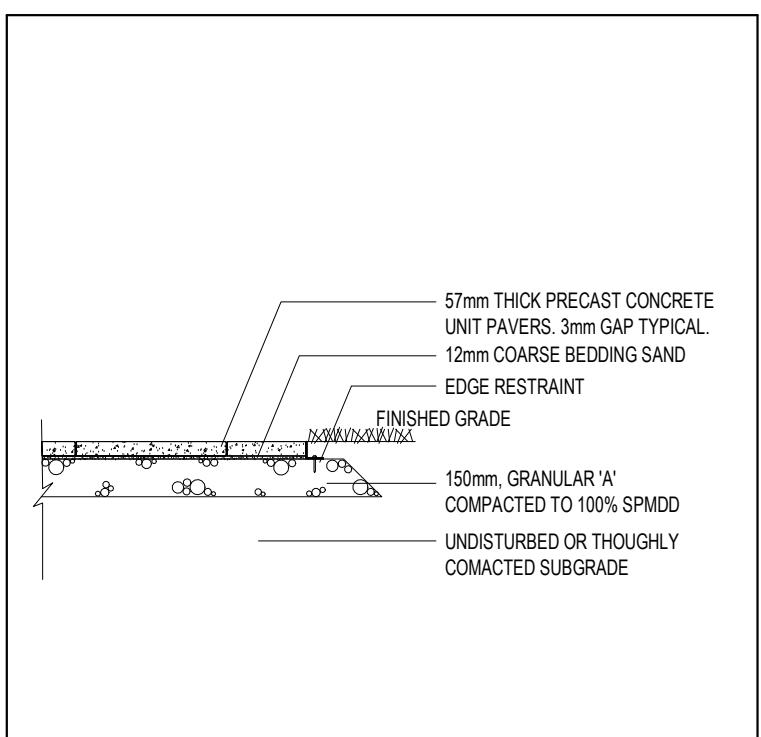
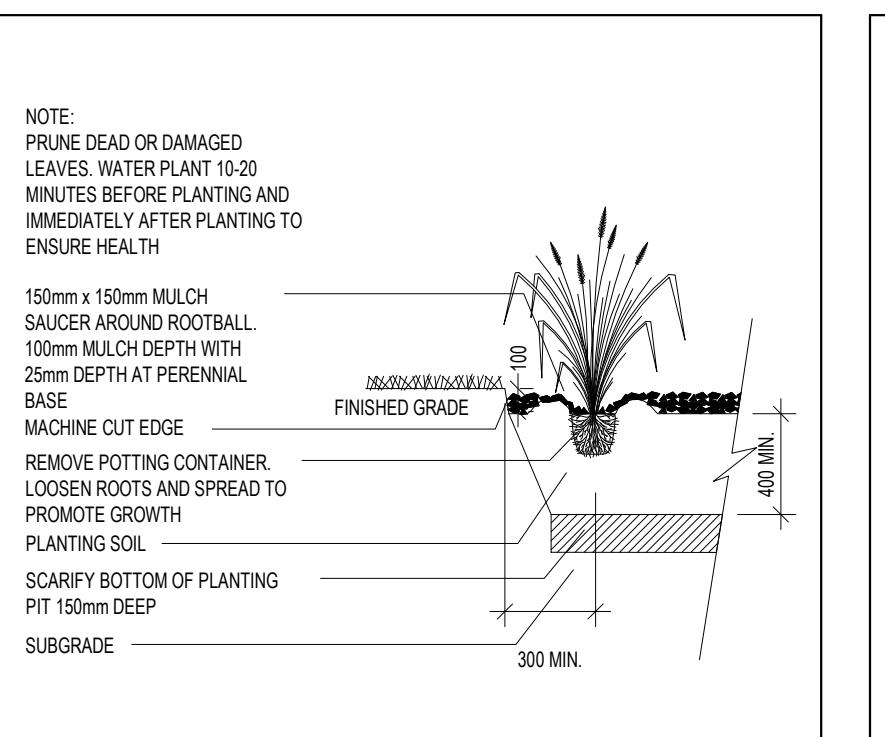


GENERAL ARCHITECTURAL NOTES:
1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
2. Drawings are not to be scaled. The Contractor is responsible for checking and obtaining clarification of all levels and dimensions and shall report all discrepancies to the Architect.
3. Upon request the Architect will provide written graphic clarification or supplemental information regarding the intent of Contract Documents.
4. The Architectural drawings are to be read in conjunction with all other Contract Documents, including Project Manuals and the Structural, Mechanical and Electrical Drawings.
5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
6. These documents are not to be used for construction unless specifically noted for such purpose.

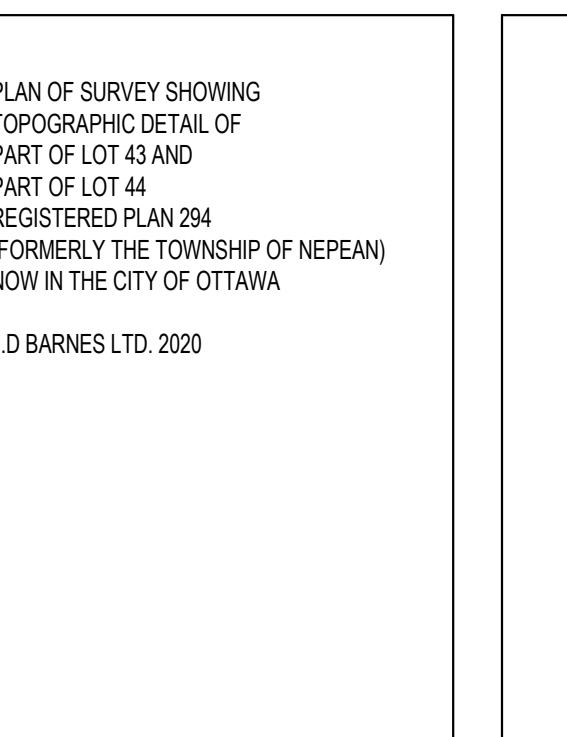
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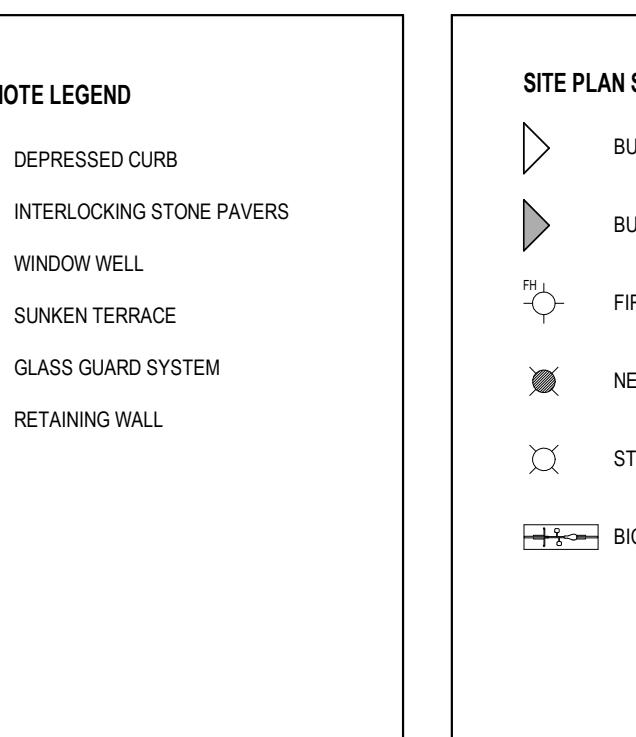
8 PRE-CAST PAVING
SP-01 SCALE: 1:30



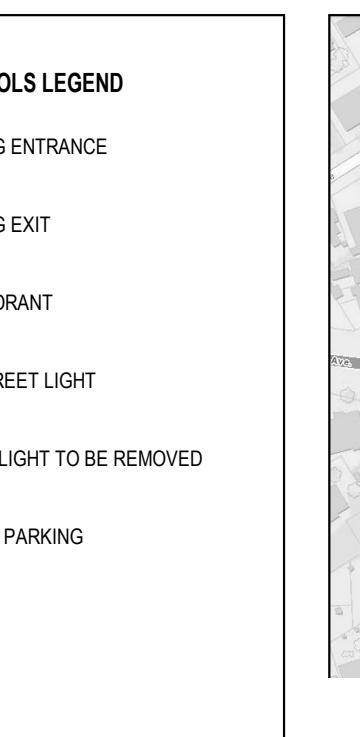
6 POTTED PLANT PLANTING
SP-01 SCALE: 1:30



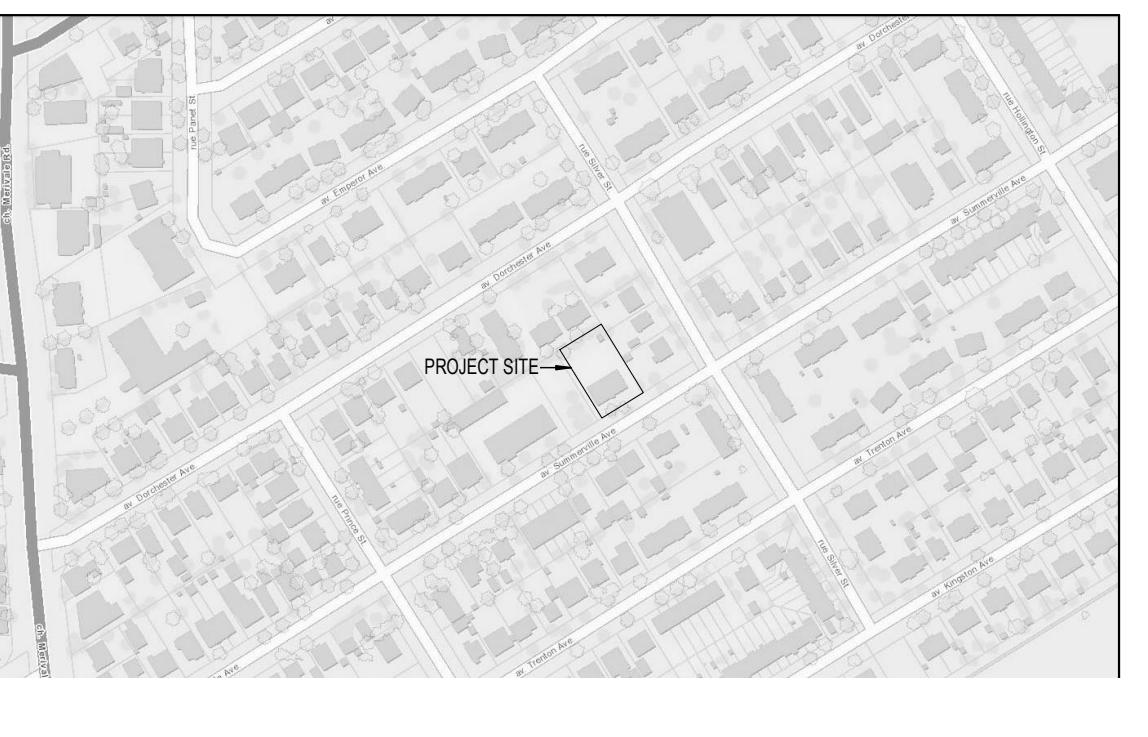
5 SURVEY INFO
SP-01 SCALE: 1:100



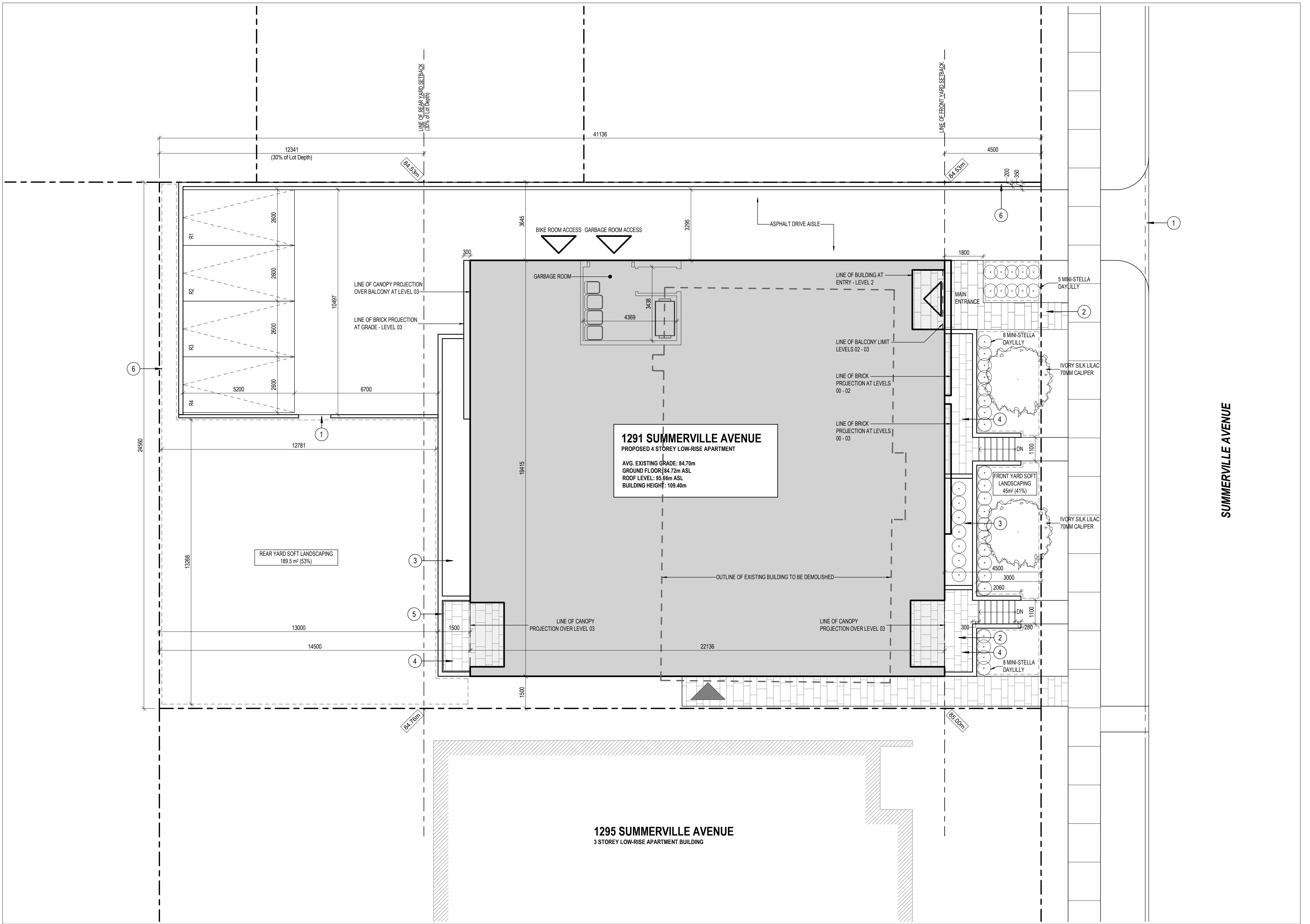
3 KEYNOTE LEGEND
SP-01 SCALE: 1:1



4 SYMBOLS LEGEND
SP-01 SCALE: 1:100



4 LOCATION PLAN
SP-01 SCALE: 1:1

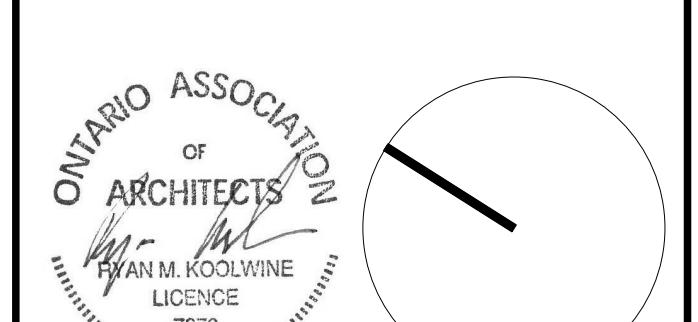


1 SITE PLAN
SP-01 SCALE: 1:100

Site Statistics		
Zoning Designation:	R4-UC	
Lot Width:	24.56m	
Total Lot Area:	1,010m ²	
Average Existing Grade:	84.71m	
Proposed Development - 16 Unit Low-Rise Apartment		
Zoning Mechanism	Required	Provided
Minimum Lot Width	15m	24.56m
162(g)	450m ²	1,010.3m ²
162(g)	4.5m	4.5m
Min. Interior Side Yard Setback	1.5m	1.5m
162(g)	12.34m (30% of Lot Depth)	14.5m
Maximum Building height	11m	10.95m
162(g)	2 Spaces (Area X, no parking required for first 12 units, 0.5unit thereafter)	4 Spaces
Parking Space Rates	0 Spaces (Area X, no parking required for first 12 units, 0.1unit thereafter)	0 Spaces
161(14)	8 Spaces (16 units x 0.5)	8 Spaces
Minimum Visitor Parking Rates	335m ² (Lots 450m ² or greater, at least 30% of the lot area)	178.1m ² (Lots 450m ² or greater, at least 50% of the rear yard)
Bicycle Parking Rates	44m ² (40% of Front Yard)	45m ²
Table 111A(d)(i)	14 Units (At least 25% of units)	14 Units (88% of Units)
Landscaped Area	303m ² (Lots 450m ² or greater, at least 30% of the lot area)	189.5m ²
Soft Landscaping	178.1m ² (Lots 450m ² or greater, at least 50% of the rear yard)	189.5m ²
Front Yard Soft Landscaping	44m ² (40% of Front Yard)	45m ²
Table 161	56.75m ² (25% of front façade)	110.98m ² (49% of front façade)
Minimum 2-Bedroom Unit Rates	No recession required on the front façade if on a lot of 15m or more there is a balcony for each unit that faces a public street above the first storey.	Complies
161(14)(i)		
Front Façade Minimum Glazing		
161(13)(g)		
Façade Articulation / Balconies		
161(13)(j)(i)		

8 ISSUED FOR SITE PLAN CONTROL 21-08-16
7 ISSUED FOR SITE PLAN CONTROL 21-06-17
6 ISSUED FOR COORDINATION 21-05-27
5 ISSUED FOR COORDINATION 21-05-25
4 ISSUED FOR COORDINATION 21-04-28
3 ISSUED FOR COORDINATION 21-04-26
1 ISSUED FOR COORDINATION 21-03-30

ISSUE RECORD



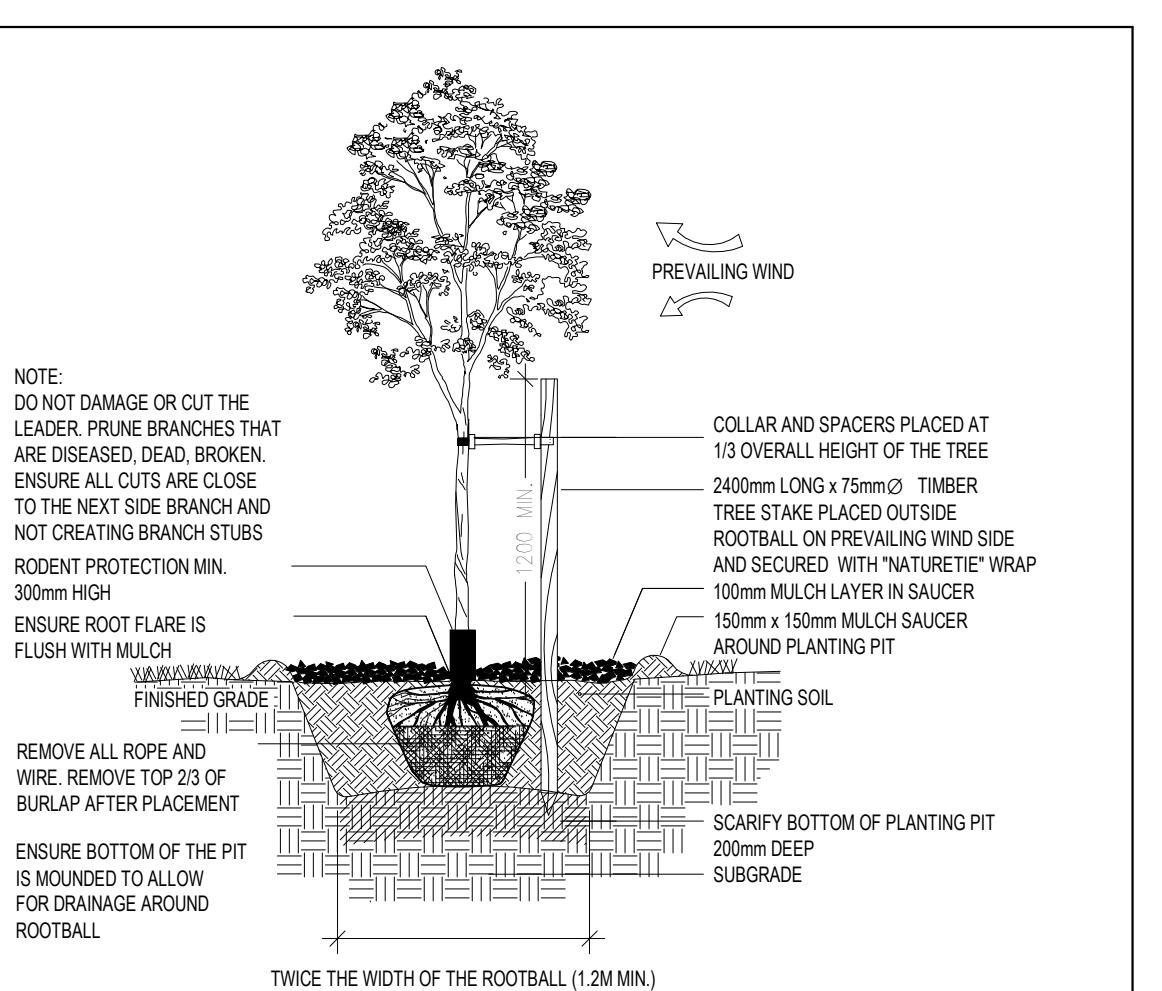
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1291 SUMMERVILLE

1291 Summerville Avenue
Ottawa, ON



7 DECIDUOUS TREE PLANTING
SP-01 SCALE: 1:30

PROJ. NO. 2019 DRAWN BY BH REVIEWED BY RMK

SITE PLAN

SP-01