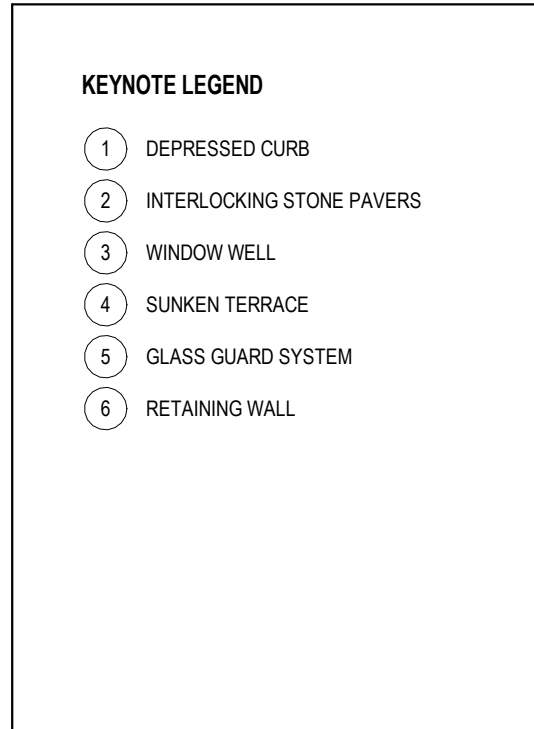


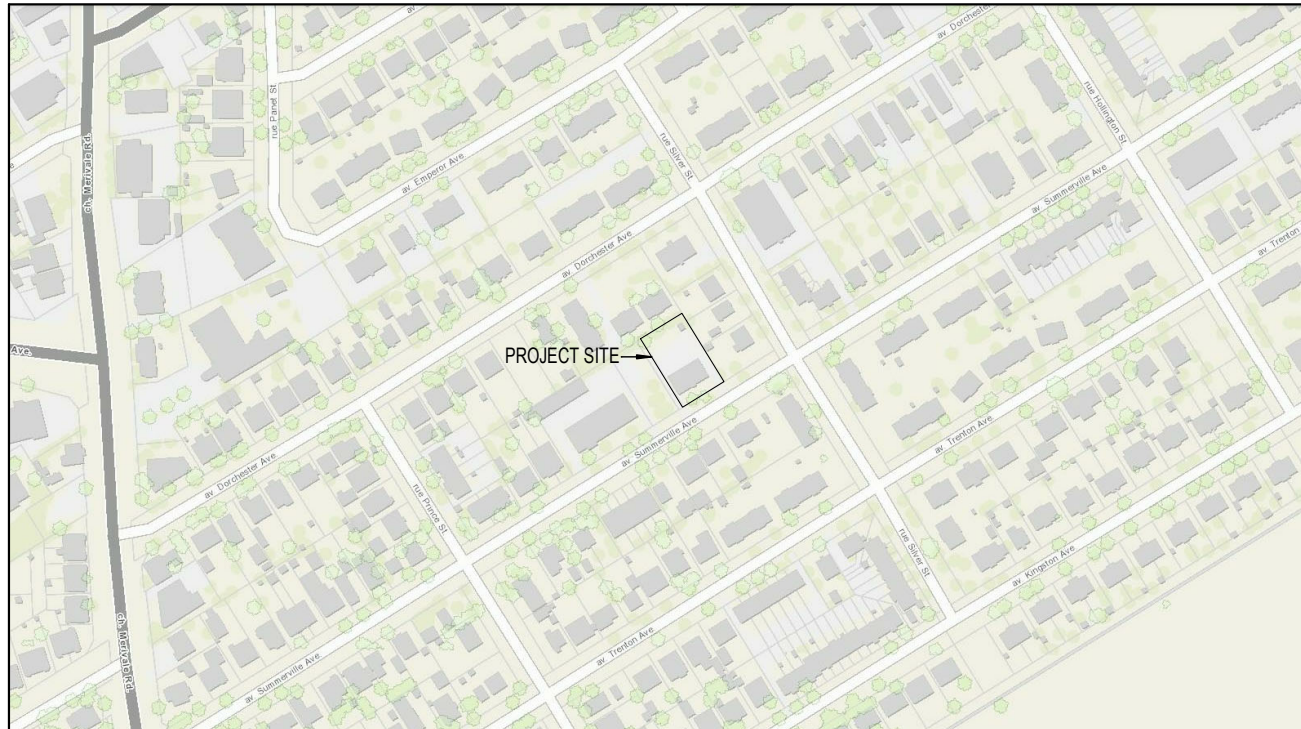
- GENERAL ARCHITECTURAL NOTES:
1. This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
  2. Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
  3. Upon notice in writing, the Architect will provide written/graphic clarification or supplementary information regarding the intent of the Contract Documents.
  4. The Architectural drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
  5. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
  6. These documents are not to be used for construction unless specifically noted for such purpose.



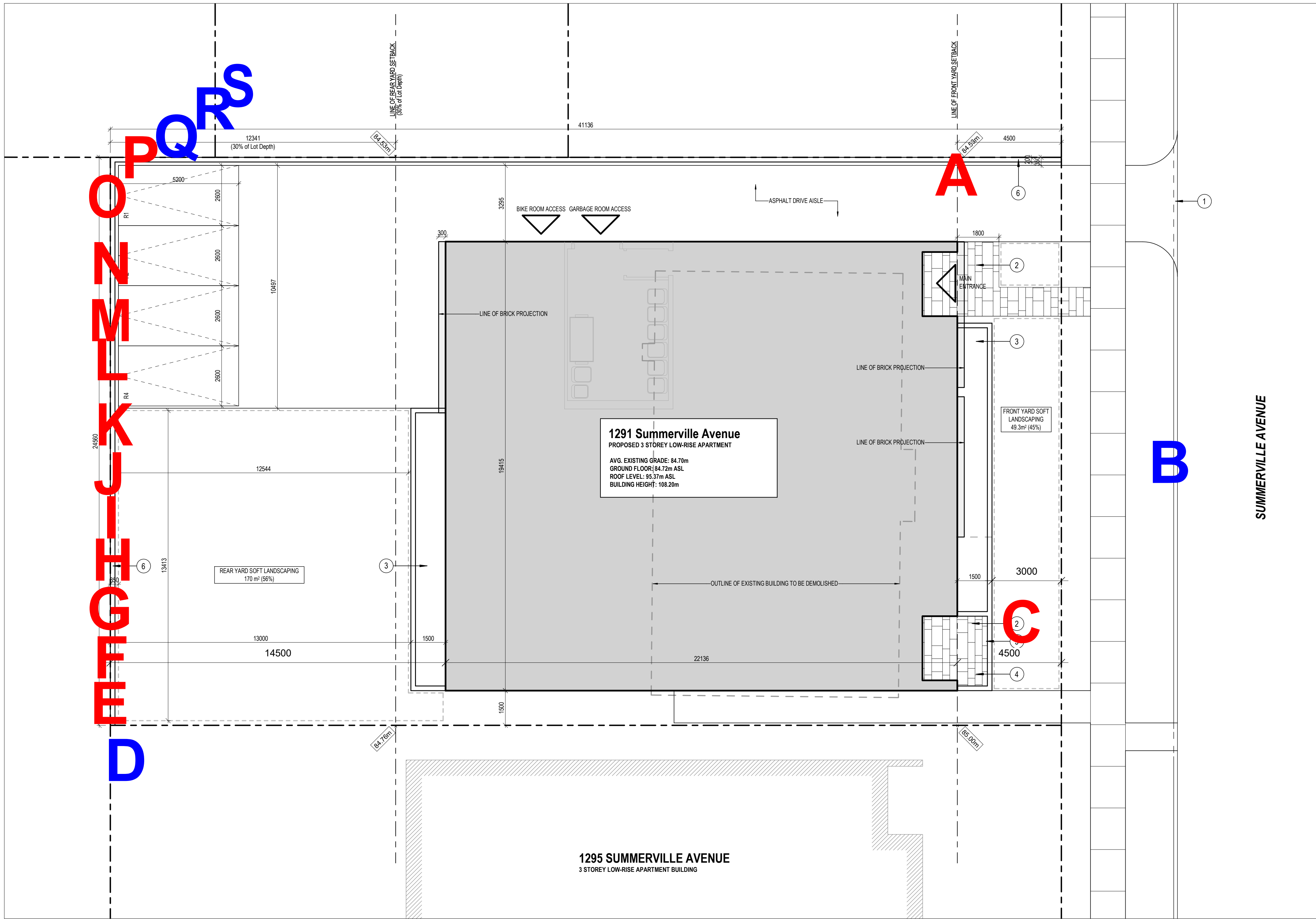
3 KEYNOTE LEGEND  
SP-01 SCALE: 1 : 1



SYMBOLS LEGEND  
SCALE: 1 : 100



4 LOCATION PLAN  
SP-01 SCALE: 1 : 1



1 SITE PLAN  
SP-01 SCALE: 1 : 100

**SITE & PROJECT STATISTICS**

ZONING DESIGNATION: RAUC

**BICYCLE PARKING CALCULATION**  
As per Table 111A

Dwelling Units: 16  
Required Parking: 8 spaces  
0.5 spaces/unit beyond 12 units  
Total Parking Provided: 20 spaces

**PARKING CALCULATION**  
As per Section 101 & Section 102

Parking Space Rate Area: Area X

Residential Units: 16 units  
Required Parking: 4 spaces  
0.5 spaces/unit beyond 12 units  
Parking Provided: 4 spaces

Visitor Parking:  
Required Parking: 0 space  
0.1 spaces/unit beyond 12 units  
Parking Provided: 0 space

Total Required Parking: 4 spaces  
Total Parking Provided: 4 spaces

**AMENITY AREA CALCULATION**  
As per Table 137

Total Amenity Area Req'd: 96 m²  
6m²/unit  
Communal Amenity Req'd: 54 m²  
Communal Amenity Provided: 58 m²

Private Amenity Provided: 61 m²  
Recessed Terrace: 19m²  
Balconies: 42m²

Total Amenity Area Provided: 119 m²

**BUILDING AREA CALCULATION**

Gross Building Area  
Lower Level: 4,582 sqft  
Ground Floor: 4,582 sqft  
2nd Floor: 4,590 sqft  
3rd Floor: 4,590 sqft  
Total: 18,344 sqft

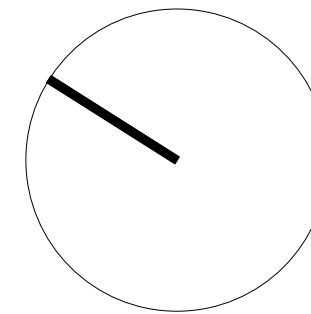
Rentable Area  
Lower Level: 3,155 sqft  
Ground Floor: 3,915 sqft  
2nd Floor: 4,166 sqft  
3rd Floor: 4,166 sqft  
Total: 15,402 sqft

Efficiency - Overall: 84%  
Efficiency - Typical Floor: 90%

2 ZONING  
SP-01 SCALE: 1 : 1

1 ISSUED FOR COORDINATION 2021-03-30

**ISSUE RECORD**



**project1 studio**

Project1 Studio Incorporated  
1615 884-3939 | mail@project1studio.ca

**1291 SUMMERVILLE**

1291 Summerville Avenue  
Ottawa, ON

PROJ	SCALE	DRAWN	REVIEWED
2019	As indicated	BH	Checker

**SITE PLAN**

**SP-01**